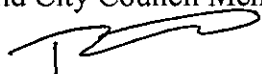



**PLANNING AND DEVELOPMENT DEPARTMENT
MEMORANDUM 13-10**

DATE: April 22, 2013
TO: Honorable Mayor Joyce Downing and City Council Members
FROM: David Willett, Acting City Manager 
Brook Svoboda, Director of Planning and Development 
SUBJECT: CB-1798; Rezoning for Certain Real Properties at 120th & Grant – Webster Lake Promenade Preliminary and Final PUD

BACKGROUND

Attached to this memorandum is a proposed ordinance, which if approved, would rezone the 120th and Grant St property to a Preliminary PUD (Planned Unit Development) to create a Webster Lake Promenade. Staff presented the Preliminary and Final PUD application to the Planning Commission through a Public Hearing at the April 2, 2012 Meeting. Also attached to this memorandum is a copy of the staff report with the Planning Commission recommendation.

As part of the PUD approval process, the following items will be considered at the time of second reading of this ordinance (05/13/13):

- First Addendum to the Re-Development Agreement which will provide for:
 - Identifying Public Improvement Obligations
 - Securitizing Public Improvement Infrastructure
 - Performance requirements for completion and warranty of Public Improvements
 - Display Public Art
 - Dedication for Public Park
 - Northglenn Urban Renewal Authority Monetary Contribution
 - Additional Incentive for two (Roof Top) Restaurant Users
- Final Subdivision Plat for Webster Lake Promenade
- Vacation of Community Center Drive -- developer will assume maintenance of road and city shall reserve easement access rights to public infrastructure

PROCEDURE

The Planning Commission unanimously recommended approval, via Planning Commission Resolution 2013-01, the Webster Lake Promenade PUD based on five findings of fact:

- The proposed development is compatible with the surrounding area;
- The proposed development is not inconsistent with the City's Master Plan;
- The proposed development does not adversely affect the health, safety, and welfare of the inhabitants of the area and the City of Northglenn;
- Adequate circulation exists and traffic movement will not be impeded by the proposed development; and
- Additional municipal service costs will not be incurred.

Planning Commission Resolution 2013-01 also includes the following conditions for final adoption by the Council:

1. The PUD shall conform to the performance standards prescribed on the PUD.
2. The Developer shall enter into a Development Agreement that will memorialize the following:
 - a. Construction of all civil infrastructure improvements necessary to mitigate the impact of the development and required security for said improvements.
 - b. Securing a Special Use Permit from the Colorado Department of Transportation Special Use Permit, for the construction improvements on 120th St
 - c. Establishing the licensing for the display of public art on the property
3. Colorado Department of Transportation shall issue a Special Use permit for the auxiliary lane improvement to 120th prior to the issuance of building permit for the project.

BUDGET/TIME IMPLICATIONS

This ordinance amendment request has no budgetary impacts.

POTENTIAL OBJECTIONS

No objection from the public were heard at the Planning Commission meeting

RECOMMENDATION

Staff recommends Council approve CB-1798

STAFF REFERENCE

Brook Svoboda, Director of Planning and Development bsvoboda@northglenn.org or 303.450.8937

Attachment #1 Planning Commission Packet w/ Staff report & PUD Documents

SPONSORED BY: MAYOR DOWNING

COUNCILMAN'S BILL

ORDINANCE NO.

No. CB-1798
Series of 2013

Series of 2013

A BILL FOR A SPECIAL ORDINANCE REZONING FROM PLANNED UNIT DEVELOPMENT (PUD), ADMINISTRATIVE AND PROFESSIONAL ZONE (C-0), AND OPEN ZONE (O-1) TO PLANNED UNIT DEVELOPMENT CERTAIN REAL PROPERTY IN THE CITY OF NORTHGLENN COMMONLY KNOWN AS THE "WEBSTER LAKE PROMENADE" IN THE COUNTY OF ADAMS, STATE OF COLORADO, AND AMENDING THE ZONING MAP OF THE CITY OF NORTHGLENN

WHEREAS, all of the property described in **Exhibit A** is currently zoned PUD with a legal description as follows:

Lots 1 & 2, Block 1, Holiday Park, A Part of McElwain Tract and Part of McElwain Tract No. 2, North Line of the Northeast One Quarter of Section 3, Township 2 South, Range 68 West of the Sixth Principal Meridian, City of Northglenn, County of Adams, State of Colorado; and

WHEREAS, the City Council desires to rezone the property described in **Exhibit A** to PUD, pursuant to the Preliminary and Final PUD attached hereto as **Exhibit B**.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. Findings of Fact. The City Council hereby makes the following findings of fact:

- A. A need exists for the rezoning from Planned Unit Development (PUD) to Planned Unit Development (PUD);
- B. The property at the SW corner of Grant Street and 120th Avenue is the correct location for the proposed development;
- C. Significant changes in the area have occurred to warrant the proposed zone change;
- D. Adequate circulation exists and traffic movement will not be impeded by the proposed development; and
- E. Additional municipal service costs will not be incurred which the City is not prepared to meet.

Section 2. Rezoning. Pursuant to the provisions of the Northglenn Zoning Ordinance, as amended, and upon the recommendation of the Northglenn Planning Commission (Case No. Z-1-13), a zoning change to Planned Unit Development (PUD) is hereby allowed and granted for the real property in the City of Northglenn, Colorado described in the attached **Exhibit A**, pursuant to the Preliminary and Final PUD attached as **Exhibit B**.

Section 3. Change of Zone Maps. The official zoning map of the City of Northglenn, pursuant to the provisions of Section 11-3-1 of the Municipal Code of the City of Northglenn, as amended, and the Comprehensive Master Plan of the City of Northglenn shall be and hereby are ordered amended to conform with the provisions of this Ordinance.

Section 4. Violations-Penalty. Violations of the provisions of this Ordinance shall be punishable by a fine of not more than one thousand dollars (\$1,000.00), or by imprisonment for a period of not more than one (1) year, or both such fine and imprisonment.

INTRODUCED, READ AND ORDERED POSTED this ____ day of _____, 2013.

JOYCE DOWNING
Mayor

ATTEST:

JOHANNA SMALL, CMC
City Clerk

PASSED ON SECOND AND FINAL READING this ____ day of _____, 2013.

JOYCE DOWNING
Mayor

ATTEST:

APPROVED AS TO FORM:

JOHANNA SMALL, CMC
City Clerk

COREY Y. HOFFMANN
City Attorney

EXHIBIT A

LEGAL DESCRIPTION

LEGAL DESCRIPTION

PART OF THE MCELWAIN TRACT, A SUBDIVISION RECORDED IN FILE 12 AT MAP 40, ADAMS COUNTY RECORDS, A PART OF MCELWAIN TRACT 2, A SUBDIVISION RECORDED IN FILE 12 AT MAP 153, ADAMS COUNTY RECORDS, A PART OF LOT 1 AND LOT 2, HOLIDAY PARK, A SUBDIVISION RECORDED IN FILE 16 AT MAP 427, ADAMS COUNTY RECORDS, ALL OF NORTHGLENN CIVIC CENTER SUBDIVISION, A SUBDIVISION RECORDED IN FILE 18 AT MAP 733, ADAMS COUNTY RECORDS AND A PART OF COMMUNITY CENTER DRIVE AND BEING A PART OF THE NORTH ONE HALF OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE N1/4 CORNER OF SECTION 3, T.2S., R.68W., OF THE 6TH P.M.;
THENCE S00°31'46"E ALONG THE WEST LINE OF THE NE 1/4 OF SECTION 3, A DISTANCE OF 58.00 FEET;

THENCE S89°50'25"E A DISTANCE OF 10.00 FEET TO THE **POINT OF BEGINNING**;

THENCE S89°50'25"E, ALONG THE SOUTH R.O.W. LINE OF EAST 120TH AVENUE A DISTANCE OF 490.16 FEET;

THENCE S49°50'25"E, ALONG SAID SOUTH R.O.W. LINE A DISTANCE OF 46.00 FEET TO A POINT ON THE WESTERLY R.O.W. LINE OF GRANT STREET;

THENCE THE FOLLOWING FIVE (5) COURSES ALONG SAID WESTERLY R.O.W. LINE

- 1) THENCE S05°58'56"E A DISTANCE OF 72.80 FEET;
- 2) THENCE S00°09'35"W A DISTANCE OF 302.17 FEET TO A POINT OF CURVE
- 3) THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 50°03'25", A RADIUS OF 289.67 FEET, AN ARC LENGTH OF 253.07 FEET, A CHORD BEARING OF S28°48'44"W AND A CHORD DISTANCE OF 245.10 FEET;
- 4) THENCE S53°44'58"W A DISTANCE OF 70.33 FEET;
- 5) THENCE S58°31'55"W A DISTANCE OF 243.35 FEET TO A POINT ON THE WESTERLY R.O.W. LINE OF COMMUNITY CENTER DRIVE;

THENCE ALONG THE WESTERLY R.O.W. OF COMMUNITY CENTER DRIVE THE FOLLOWING FIVE (5) COURSES;

- 1) THENCE ALONG A CURVE TO THE RIGHT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A CENTRAL ANGLE OF 10°03'16", A RADIUS OF 343.20 FEET, AN ARC LENGTH OF 60.23 FEET, A CHORD BEARING OF S25°07'57"W AND A CHORD DISTANCE OF 60.15 FEET;
- 2) THENCE S30°09'35"W A DISTANCE OF 60.66 FEET TO A POINT OF CURVE;
- 3) THENCE ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 30°41'21", A RADIUS OF 330.34 FEET, AN ARC LENGTH OF 176.94 FEET, A CHORD BEARING OF S14°48'55"W AND A CHORD DISTANCE OF 174.83 FEET;
- 4) THENCE S00°31'46"E A DISTANCE OF 560.91 FEET TO A POINT OF CURVE;
- 5) THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 14°55'31", A RADIUS OF 729.58 FEET, AN ARC LENGTH OF 190.05 FEET, A CHORD BEARING OF S06°56'00"W AND A CHORD DISTANCE OF 189.52 FEET;

THENCE THE FOLLOWING THREE (3) COURSES ALONG THE SOUTHERLY LINE OF NORTHGLENN CIVIC CENTER SUBDIVISION;

- 1) THENCE N84°33'21"W A DISTANCE OF 223.32 FEET;
- 2) THENCE S75°45'59"W A DISTANCE OF 445.46 FEET;
- 3) THENCE N84°33'21"W A DISTANCE OF 210.00 FEET TO A POINT ON THE EASTERLY R.O.W. LINE OF INTERSTATE HIGHWAY 25;

THENCE THE FOLLOWING SIX (6) COURSES ALONG THE EASTERLY R.O.W. LINE ON INTERSTATE HIGHWAY 25;

- 1) THENCE N01°14'09"W A DISTANCE OF 330.41 FEET;
- 2) THENCE N02°58'03"E A DISTANCE OF 380.04 FEET;
- 3) THENCE N00°48'29"E A DISTANCE OF 131.27 FEET;
- 4) THENCE N26°38'47"E A DISTANCE OF 67.78 FEET;
- 5) THENCE N03°14'33"E A DISTANCE OF 79.80 FEET;
- 6) THENCE N28°48'35"E A DISTANCE OF 229.93 FEET;

THENCE THE FOLLOWING FIVE (5) COURSES ALONG THE NORTHERLY LINE OF NORTHGLENN CIVIC CENTER SUBDIVISION;

- 1) THENCE S09°14'56"W A DISTANCE OF 117.28 FEET;
- 2) THENCE S21°57'47"E A DISTANCE OF 107.97 FEET;
- 3) THENCE N68°02'13"E A DISTANCE OF 132.40 FEET;
- 4) THENCE N73°03'59"E A DISTANCE OF 268.00 FEET;
- 5) THENCE S89°50'25"E A DISTANCE OF 130.00 FEET;

THENCE THE FOLLOWING SIX (6) COURSES ALONG THE EASTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN INSTRUMENT RECORDED AT RECEPTION NO.

20050113000049660;

- 1) THENCE N00°09'35"E A DISTANCE OF 329.98 FEET;
- 2) THENCE S89°50'25"E A DISTANCE OF 285.92 FEET TO A POINT OF CURVE;
- 3) THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 25.00 FEET, AND ARC LENGTH OF 39.27 FEET, A CHORD BEARING OF S44°50'25"E AND A CHORD DISTANCE OF 35.36 FEET TO A POINT ON THE WEST R.O.W. LINE OF COMMUNITY CENTER DRIVE;
- 4) THENCE N00°09'35"E ALONG SAID WEST R.O.W. LINE A DISTANCE OF 80.00 FEET TO A POINT OF CURVE;
- 5) THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 39.27 FEET A CHORD BEARING OF S45°09'35"W AND A CHORD DISTANCE OF 35.36 FEET;
- 6) THENCE N89°50'25"W A DISTANCE OF 285.92 FEET;

THENCE N00°09'35"E ALONG THE SAID EASTERLY LINE AND ALONG THE EASTERLY LINE OF A PARCEL OF LAND DESCRIBED IN INSTRUMENT RECORDED AT RECEPTION NO.

20050113000049650, A DISTANCE OF 322.33 FEET;

THENCE N76°37'46"E ALONG THE SOUTHERLY LINE OF SAID PARCEL RECORDED AT RECEPTION NO. 20050113000049660, A DISTANCE OF 143.76 FEET TO A POINT ON THE WEST LINE OF MCELWAIN TRACT;

THENCE N00°31'46"W ALONG SAID WEST LINE, A DISTANCE OF 72.63 FEET TO THE **POINT OF BEGINNING.**

PARCEL CONTAINS (1,360,435 SQUARE FEET) 31.2313 ACRES

EXHIBIT B

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2

NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



90 Spruce Street - Suite 201 Denver CO 80202

303.220.8800 303.220.0708 Fax

www.SEMarchitects.com

LEGAL DESCRIPTION

Part of the McElwain Tract, a Subdivision recorded in File 12 at Map 40, Adams County Records, a part of McElwain Tract 2, a Subdivision recorded in File 12 at Map 153, Adams County Records, a part of Lot 1 and Lot 2, Holiday Park, a Subdivision recorded in File 16 at Map 427, Adams County Records, all of Northglenn Civic Center Subdivision, a Subdivision recorded in File 18 at Map 733, Adams County Records and a part of Community Center Drive and being a part of the North One Half of Section 3, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado, described as follows:

Commencing at the N1/4 Corner of Section 3, T.2S., R.68W., of the 6th P.M.; Thence S00°31'46"E along the West Line of the NE 1/4 of Section 3, a distance of 58.00 feet; Thence S89°50'25"E a distance of 10.00 feet to the Point of Beginning; Thence S89°50'25"E, along the South R.O.W. Line of East 120th Avenue a distance of 490.15 feet;

Thence S49°50'25"E, along said South R.O.W. Line a distance of 46.00 feet to a point on the Westerly R.O.W. Line of Grant Street; Thence the following five (5) courses along said Westerly R.O.W. Line 1) Thence S05°58'56"E a distance of 72.80 feet; 2) Thence S00°09'35"W a distance of 302.17 feet to a point of curve 3) Thence along a curve to the right having a central angle of 50°03'25", a radius of 289.67 feet, an arc length of 253.07 feet, a chord bearing of S28°48'44"W and a chord distance of 245.10 feet;

4) Thence S53°44'58"W a distance of 70.33 feet; 5) Thence S58°31'55"W a distance of 243.35 feet to a point on the Westerly R.O.W. Line of Community Center Drive; Thence along the Westerly R.O.W. of Community Center Drive the following five (5) courses; 1) Thence along a curve to the right, non-tangent to the last described course, having a central angle of 10°03'16", a radius of 343.20 feet, an arc length of 60.23 feet, a chord bearing of S25°07'57"W and a chord distance of 60.15 feet;

2) Thence S30°09'35"W a distance of 60.66 feet to a point of curve; 3) Thence along a curve to the left having a central angle of 30°41'21", a radius of 330.34 feet, an arc length of 176.94 feet, a chord bearing of S14°48'55"W and a chord distance of 174.83 feet; 4) Thence S00°31'46"E a distance of 560.91 feet to a point of curve; 5) Thence along a curve to the right having a central angle of 14°55'31", a radius of 729.58 feet, an arc length of 190.05 feet, a chord bearing of S06°56'00"W and a chord distance of 189.52 feet;

Thence the following three (3) courses along the Southerly Line of Northglenn Civic Center Subdivision; 1) Thence N84°33'21"W a distance of 223.32 feet; 2) Thence S75°45'59"W a distance of 445.46 feet; 3) Thence N54°33'21"W a distance of 210.00 feet to a point on the Easterly R.O.W. Line of Interstate Highway 25;

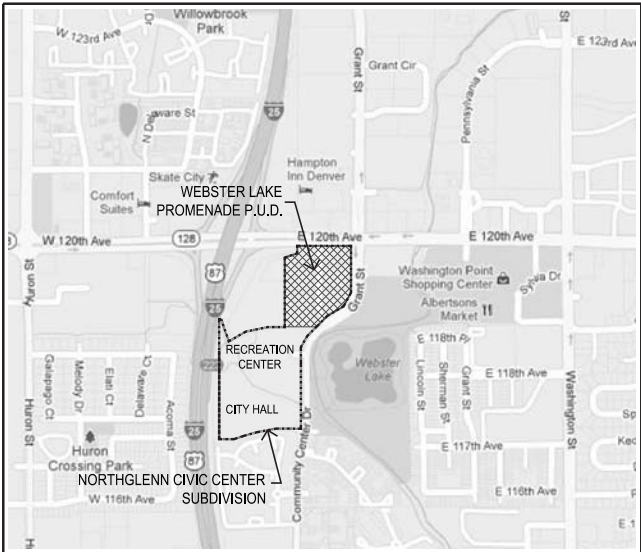
Thence the following six (6) courses along the Easterly R.O.W. Line on Interstate Highway 25; 1) Thence N01°14'09"W a distance of 330.41 feet; 2) Thence N02°58'03"E a distance of 380.04 feet; 3) Thence N00°48'29"E a distance of 131.27 feet; 4) Thence N26°38'47"E a distance of 67.78 feet; 5) Thence N03°14'33"E a distance of 79.80 feet; 6) Thence N28°48'35"E a distance of 229.93 feet;

Thence the following five (5) courses along the Northerly Line of Northglenn Civic Center Subdivision; 1) Thence S09°14'56"W a distance of 117.28 feet; 2) Thence S21°57'47"E a distance of 107.97 feet; 3) Thence N58°02'13"E a distance of 132.40 feet; 4) Thence N73°03'59"E a distance of 268.00 feet; 5) Thence S89°50'25"E a distance of 130.00 feet;

Thence the following six (6) courses along the Easterly Line of that parcel of land described in instrument recorded at Reception No. 20050113000049660; 1) Thence N00°09'35"E a distance of 329.98 feet; 2) Thence S89°50'25"E a distance of 285.92 feet to a point of curve; 3) Thence along a curve to the right having a central angle of 90°00'00", a radius of 25.00 feet, and arc length of 39.27 feet, a chord bearing of S44°50'25"E and a chord distance of 35.36 feet to a point on the West R.O.W. Line of Community Center Drive;

4) Thence N00°09'35"E along said West R.O.W. Line a distance of 80.00 feet to a point of curve; 5) Thence along a curve to the right having a central angle of 90°00'00", a radius of 25.00 feet, an arc length of 39.27 feet a chord bearing of S45°09'35"W and a chord distance of 35.36 feet; 6) Thence N89°50'25"W a distance of 285.92 feet; Thence N00°09'35"E along the said Easterly Line and along the Easterly Line of a parcel of land described in instrument recorded at Reception No. 20050113000049660, a distance of 322.33 feet; Thence N76°37'46"E along the Southerly Line of said parcel recorded at Reception No. 20050113000049660, a distance of 143.76 feet to a point on the West Line of McElwain Tract;

Thence N00°31'46"W along said West Line, a distance of 72.63 feet to the Point of Beginning.



LEGAL DESCRIPTION FOR WEBSTER LAKE PROMENADE:

PART OF THE McELWAIN TRACT, A SUBDIVISION RECORDED IN FILE 12 AT MAP 40, ADAMS COUNTY RECORDS, PART OF McELWAIN TRACT 2, A SUBDIVISION RECORDED IN FILE 12 AT MAP 153, ADAMS COUNTY RECORDS, PART OF LOT 1 AND LOT 2, HOLIDAY PARK, A SUBDIVISION RECORDED IN FILE 16 AT MAP 427, ADAMS COUNTY RECORDS, PART OF COMMUNITY CENTER DRIVE AND A PART OF THE NORTH ONE HALF OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH ONE-QUARTER CORNER OF SAID SECTION 3, THENCE SOUTH 00 DEGREES 41 MINUTES 21 SECONDS EAST ALONG THE WEST LINE OF SAID NORTHEAST ONE-QUARTER, A DISTANCE OF 58.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 3, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 50 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 46.00 FEET;

THENCE SOUTH 06 DEGREES 08 MINUTES 31 SECONDS EAST, A DISTANCE OF 72.80 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 302.17 FEET TO THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT, THE RADIUS OF SAID CURVE IS 289.67 FEET, THE DELTA OF SAID CURVE IS 50 DEGREES 03 MINUTES 25 SECONDS, THE CHORD OF SAID CURVE BEARS SOUTH 28 DEGREES 39 MINUTES 09 SECONDS WEST, 245.10 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 253.07 FEET TO THE END OF SAID CURVE; THENCE SOUTH 53 DEGREES 35 MINUTES 23 SECONDS WEST NON-TANGENT TO THE PREVIOUSLY DESCRIBED CURVE, A DISTANCE OF 70.33 FEET;

THENCE SOUTH 58 DEGREES 24 MINUTES 21 SECONDS WEST, A DISTANCE OF 243.35 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 290.48 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 60.23 FEET; THENCE NORTH 76 DEGREES 38 MINUTES 11 SECONDS EAST, A DISTANCE OF 143.76 FEET; THENCE NORTH 00 DEGREES 41 MINUTES 21 SECONDS WEST PARALLEL WITH THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 3, A DISTANCE OF 72.63 FEET TO THE POINT OF BEGINNING.

- PROJECT TEAM: DEVELOPER: Kevin Hawkins, Hawkins Development, 10009 E. Argonne Pl, Suite A103, Centennial, Colorado 80112; ARCHITECT: Kristoffer Kenton, SEM Architects, 90 Spruce Street, Suite 201, Denver, Colorado 80230, 303.220.8800; CIVIL ENGINEER: Randy Smith, Galloway, 5300 DTC Parkway, Suite 100, Greenwood Village, CO 80111, 303.770.8884; LANDSCAPE ARCHITECT: Kerry Smeester, Meuran Design Group, 700 Colorado Boulevard, Suite 131, Denver, Colorado 80220, 303.512.0549; SURVEYOR: Chip Beckstrom, Engineering Service Company, 1300 S. Potomac Street, Suite 126, Aurora, Colorado 80012, 303.337.1393

SHEET INDEX table with 2 columns: SHEET NO. and DESCRIPTION. Rows include COVER SHEET, PUD NOTES, OVERALL PUD BOUNDARY, SITE PLAN, GRADING & DRAINAGE PLAN, OVERALL UTILITY PLAN, LANDSCAPE PLAN, LANDSCAPE PLAN, LANDSCAPE NOTES, LANDSCAPE DETAILS, BUILDING B ELEVATIONS, BUILDING C ELEVATIONS, BUILDING G ELEVATIONS, SIGNAGE.

OWNER: I, KEVIN HAWKINS, HEREBY AFFIRM THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREIN, KNOWN AS WEBSTER LAKE PROMENADE.

OWNER _____ DATE _____

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2013, BY _____

WITNESS MY HAND AND OFFICIAL SEAL, _____

_____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ENGINEER'S CERTIFICATE: I, RANDY SMITH, P.E., A REGISTERED PROFESSIONAL ENGINEER, DO CERTIFY THAT THE GRADING, DRAINAGE AND UTILITY PLANS FOR THE WEBSTER LAKE PROMENADE P.U.D. WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION

ENGINEER _____ DATE _____

APPROVAL LIST:

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

DIRECTOR OF PLANNING AND DEVELOPMENT _____ DATE _____

DIRECTOR OF PUBLIC WORKS AND UTILITIES _____ DATE _____

MAYOR _____ DATE _____

CITY CLERK _____ DATE _____

CERTIFICATE OF CLERK AND RECORDER: THIS P.U.D. WAS FILED FOR RECORDING IN THE OFFICE OF THE CITY CLERK AND RECORDER IN THE COUNTY OF ADAMS, STATE OF COLORADO, THIS _____ DAY OF _____, 2013, AND ENTERED IN PLAT BOOK _____ AT PAGE _____ RECEPTION NO. _____

BY: _____ DEPUTY _____

CLERK AND RECORDER _____

MY COMMISSION EXPIRES: _____

INSTRUMENT NO. _____

Webster Lake Promenade City of Northglenn Adams County, Colorado Hawkins Development

Table with columns Date and Issue. Rows include 12-21-2012 (PUD 1ST SUBMITTAL), 3-5-2013 (PUD RESUBMITTAL), 3-25-2013 (PUD RESUBMITTAL), December 21, 2012 (COVER SHEET), 12051.01.

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2

NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



30 Spruce Street - Suite 201 Denver CO 80202

303-220-6900 303-220-0708 Fax

www.SEMarchitects.com

Webster Lake Promenade

City of Northglenn Adams County, Colorado

Hawkins Development

USES:

- ALLOWED USES:
1. IN ADDITION TO THOSE SET FORTH IN ARTICLE 19 OF CHAPTER 11 OF THE NORTHGLENN MUNICIPAL CODE, THE FOLLOWING SHALL BE USES-BY-RIGHT:
2. ALL USES-BY-RIGHT IN C-0, C-1 AND C-3 ZONE
3. LOUNGES AND TAVERNS
4. RESTAURANTS, INCLUDING THOSE WITH DRIVE-THRU SERVICES AND/OR LIVE MUSIC VENUE
5. HEALTH, FITNESS AND EXERCISE FACILITIES, INCLUDING DAY SPAS

PROHIBITED USES:

- 1. ANY USES EXCLUDED IN THE DEED RESTRICTIONS OF COVENANTS, CONTROLS AND RESTRICTIONS (CCRS).
2. GAS SERVICE STATIONS OR CAR WASHES, BOTH OPEN BAY AND WHERE THE PRIMARY WASH FUNCTION IS ENCLOSED WITHIN A STRUCTURE.
3. NOT-FOR-PROFIT, FRATERNAL, HOUSE OF WORSHIP OR INSTITUTIONAL USES
4. THRIFT, SECOND-HAND, PAWN AND OTHER BUSINESSES SELLING PREVIOUSLY OWNED OR DEEPLY DISCOUNTED MERCHANDISE INCLUDING DOLLAR STORES, VARIETY STORES OR PRICE POINT RETAILERS THAT SELL INEXPENSIVE ITEMS, USUALLY WITH A SINGLE PRICE POINT FOR ALL ITEMS IN THE STORE
5. SEXUALLY ORIENTED BUSINESSES AS DESCRIBED AND REGULATED BY CHAPTER 11, ARTICLE 54 OF THE NORTHGLENN ZONING ORDINANCE
6. AUCTION HOUSE, FIRE SALE OR BANKRUPTCY SALE (EXCEPT PURSUANT TO COURT ORDER), PROVIDED THAT ANY OCCUPANT THAT IN FACT GOES OUT OF BUSINESS MAY HOLD ONE GOING OUT OF BUSINESS SALE LIMITED TO FOUR WEEKS IN DURATION.
7. BAIL BONDS BUSINESS
8. BODY PIERCING SHOPS
9. HEAD SHOP (DRUG PARAPHERNALIA)
10. MESSAGE PARLOR
11. MORTUARY, CREMATORIUM OR FUNERAL HOME
12. PUBLIC OR PRIVATE NUISANCES (PREMISES EMITTING OR RESULTING IN STRONG, UNUSUAL OR OFFENSIVE ODORS, FUMES, DUST OR VAPORS, NOISE OR SOUNDS WHICH ARE OBJECTIONABLE OR CREATING A HAZARDOUS CONDITION) (EXCEPT BACKGROUND MUSIC FOR PUBLIC SPACES)
13. SURPLUS, SALVAGE OR LIQUIDATION STORE (SUCH AS GOODWILL, SALVATION ARMY OR GOVERNMENT SURPLUS STORE).
14. TATTOO SHOPS
15. CALL CENTER
16. UNEMPLOYMENT OFFICE
17. SALE OR CONSUMPTION OF MARIJUANA
18. WAREHOUSE, EXCEPT AS INCIDENTAL TO ANY RETAIL BUSINESS OPERATION

CONDITIONAL USES:

- 1. OTHER USES WHICH MAY BE DIRECTLY RELATED TO THE NATURE OF THIS PLANNED UNIT DEVELOPMENT WHICH HAVE NOT BEEN PREVIOUSLY ALLOWED, BUT ARE CONSIDERED BY THE CITY MANAGER OR THEIR DESIGNEE TO BE CONSISTENT WITH THE DEVELOPED AREA AND IN GENERAL HARMONY WITH THE SURROUNDING LAND USES.
2. ALL PROPOSED CONDITIONAL USES MUST ADHERE TO THE REGULATION, PROCESSES AND FEES AS DESCRIBED IN CHAPTER 11, ARTICLE 30 OF THE NORTHGLENN ZONING ORDINANCE.

THE CITY HALL AND RECREATION CENTER PROPERTIES DEPICTED AS LOT 8 ON THIS P.U.D. SHALL REMAIN IN THEIR CURRENT FORM UNTIL A SUBSEQUENT P.U.D. AMENDMENT IS APPROVED BY THE CITY COUNCIL FOR A FUTURE PHASE OF THE PROJECT.

STANDARD NOTES:

- 1. THE CITY OF NORTHGLENN RESERVES THE RIGHT TO PERIODICALLY REVIEW THIS P.U.D. FOR CONFORMANCE WITH ITS PROPOSED CONSTRUCTION SCHEDULE AND WHEN APPROPRIATE, REZONE THIS PROPERTY TO A DIFFERENT ZONING CLASSIFICATION.
2. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE CITY OF NORTHGLENN UTILITY STANDARDS AND SPECIFICATIONS.
3. ALL UTILITY TAPS SHALL BE SUPERVISED AND INSPECTED BY THE CITY OF NORTHGLENN PERSONNEL.
4. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE CITY OF NORTHGLENN PUBLIC RIGHT-OF-WAY STANDARDS AND SPECIFICATIONS AT THE TIME OF CERTIFICATE OF OCCUPANCY.
5. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT OF 1990.
6. PRIOR TO ISSUANCE OF BUILDING PERMIT(S), THE CITY MUST REVIEW AND APPROVE THE FOLLOWING:
- GRADING AND DRAINAGE PLAN AND REPORT
- EROSION CONTROL PLAN
- WATER AND SANITARY SEWER UTILITY CONSTRUCTION PLANS
- LANDSCAPE PLAN
- COMPLETE CONSTRUCTION PLANS FOR ALL REQUIRED PUBLIC IMPROVEMENTS, GUTTER, SIDEWALK AND TRAILS, ON AND ADJACENT TO THIS SITE.

INTENT AND MODIFICATIONS:

THE P.U.D. INDICATES THE INTENDED DEVELOPMENT PATTERN, CONFIGURATION AND USES AT THE TIME OF SUBMITTAL AND APPROVAL. THE SITE PLAN INDICATES THE ACCESS, CIRCULATION AND GENERAL PARKING CONFIGURATION AS WELL AS THE INTENDED BUILDING PAD LOCATIONS AND GENERAL FOOTPRINT CONFIGURATION. FINAL DESIGN OF INDIVIDUAL BUILDINGS WILL BE DETERMINED COMPLIANT IF THEY SUBSTANTIALLY MEET THE APPROVED SITE PLAN.

DESIGNS THAT REQUIRE MINOR MODIFICATIONS TO THE APPROVED SITE PLAN, MAY BE APPROVED BY THE DIRECTOR OF PLANNING, PROVIDED THAT THE PROPOSED DESIGN MEETS THE OVERALL DEVELOPMENT PATTERN, STANDARDS AND DESIGN INTENT.

ADDITIONS TO THE PROJECT (WHETHER AT ONCE OR FROM TIME TO TIME) OF UP TO 15% (IN THE AGGREGATE) OF THE ORIGINAL APPROVED SQUARE FOOTAGE OF THE PROJECT (QUALIFIED ADDITIONS) WILL BE DEEMED "MINOR CHANGES," WHICH MAY BE REVIEWED AND GIVEN FINAL APPROVAL BY THE CITY PLANNING STAFF ("STAFF") WITHOUT THE REQUIREMENT OF ANY PUBLIC HEARING OR CITY COUNCIL APPROVAL, PROVIDED THAT THE APPLICATION FOR APPROVAL THEREOF SHALL INCLUDE WRITTEN DOCUMENTATION FROM THE FOLLOWING QUALIFIED PROFESSIONALS THAT THE QUALIFIED ADDITION AND THE PROPOSED USE THEREOF CAN BE FULLY SERVED BY THE EXISTING PROJECT INFRASTRUCTURE, AND THAT THE QUALIFIED ADDITION WILL COMPLY IN ALL RESPECTS WITH THE REQUIREMENTS OF THE PUD AND CC&RS:

- 1. A COLORADO LICENSED ARCHITECT'S STATEMENT THAT THE QUALIFIED ADDITION COMPLIES WITH ALL DESIGN STANDARDS AND BUILDING REQUIREMENTS OF THE PUD AND CC&RS.
2. A COLORADO LICENSED CIVIL ENGINEER'S STATEMENT THAT THE EXISTING STORM AND SANITARY SYSTEMS AND CULINARY WATER SYSTEM (INCLUDING CAPACITY AND PRESSURE) ARE ADEQUATE TO SERVICE THE QUALIFIED ADDITION; AND
3. A COLORADO LICENSED TRAFFIC ENGINEER'S STATEMENT THAT THE EXISTING PARKING, DRIVE AISLES AND CURBS CUTS ARE ADEQUATE TO HANDLE THE ADDITIONAL TRAFFIC GENERATED BY THE QUALIFIED ADDITION.

TOTAL DEVELOPMENT AREAS, PARKING COUNTS AND QUANTITATIVE MEASURES SHALL MEET THE APPROVED DEVELOPMENT STANDARDS.

CONSTRUCTION SCHEDULE:

THE SITE WILL DEVELOP IN A LOGICAL SEQUENCE, MANAGED WITH THE GOAL OF OPENING ALL OF THE PROPOSED BUILDINGS EITHER CONCURRENTLY OR WITH A 24-MONTH PERIOD FOLLOWING THE INITIAL BUILDING OPENING(S).

THE FOLLOWING MILESTONES ARE ANTICIPATED TO OVERLAP, WITH ALL PORTIONS COMPLETED OVER AN 18-24 MONTH TIME PERIOD:

SEQUENCE A, MONTHS 1-12 - PUBLIC IMPROVEMENTS AND SITE DEVELOPMENT, OVERLOT GRADING, UTILITIES, PARKING, LANDSCAPING AND SITE LIGHTING TO BACK-OF-CURB AT BUILDING PADS

SEQUENCE B, MONTHS 4-12 - BUILDINGS C & G, CORE & SHELL CONSTRUCTION

SEQUENCE C, MONTHS 8-24 - PAD BUILDINGS* A, B, D, E & F AND TENANT IMPROVEMENTS IN BUILDINGS C & G

*PAD BUILDINGS A, B, D, E & F WILL BE DESIGNED, PERMITTED AND CONSTRUCTED BY THE INDIVIDUAL USER(S) AND THEREFORE, FOLLOWING SEQUENCE A, THEIR SCHEDULES ARE INDEPENDENT OF EACH OTHER AND OF THE REMAINDER OF THE PROJECT

PUBLIC IMPROVEMENTS:

PUBLIC IMPROVEMENTS IDENTIFIED BY THE DESIGN OF THIS PROJECT INCLUDE:

Table with 4 columns: IMPROVEMENT, COST, PHASE, and PHASE 1. Rows include 120" IMPROVEMENTS, GRANT STREET IMPROVEMENTS, and ON-SITE CITY INFRASTRUCTURE.

DEVELOPMENT STANDARDS:

1. GENERAL OVERVIEW

a. The design intent is to develop the property as indicated on the Planned Unit Development (PUD). This would include the primary pedestrian environment of sidewalks, plazas & patios, along with landscaping, site lighting, and project monument signage.

b. Minor Modifications that require minor amendments to the approved Planned Unit Development (PUD) may be approved by the City Manager or their designee, provided that the proposed design meets the overall development pattern, design intent, and development standards as prescribed herein.

c. Individual building areas, parking count and other quantitative measures, within 15% of the measures approved within this PUD, shall be deemed compliant. A Minor Amendment shall be any proposed re-development or change to the approved PUD as shown in this document and the approved Civil Construction documents that does not exceed 15% of the approved square footage, parking and other infrastructure systems, including but not limited to traffic, drainage, water and sewer and other utilities shall be reviewed as a Minor Amendment.

d. The individual building designs will be controlled by the Webster Lake Promenade Vision Book & Design Guidelines which will reside as an addendum to the Covenants, Controls, and Regulations (CC&R's) controlling development activities on the site and as may change from time to time.

e. Design review will be enforced by the developer and their designated design professionals.

f. Common area use, operations, and maintenance are controlled by the Webster Lake Promenade Covenants, Controls, and Restrictions which are incorporated into the PUD and Subdivision for this project. The referenced CC&R's for this project include, but are not limited to:

- i. Cross Access / Shared Access
ii. Joint Signage and Project Identification Details outside of those provided in the PUD
iii. Specific Details of Tenant Signage
iv. Common Area Maintenance Including: Building Grease Traps, Trash Collection, Recycling, Snow Removal, Etc
v. Landscape Maintenance
vi. Use of Common Area Plazas for Events and Promotions
vii. Use of Common Area Plazas for the display of Public Art

2. PARKING AND VEHICULAR CIRCULATION

a. In the event any tenant requires the use of shopping carts or similar devices, adequate facilities for their storage and containment is required and shall not cause the overall parking requirements to fall below City Parking Standards (cite reference) per 11-33-6.

b. Landscaped islands and medians shall be a minimum of 10 feet wide from flow line to flow line, except in limited areas. Each typical landscape island of 10 foot X 18 feet shall have 1 deciduous canopy tree. A landscape island shall be required when a single row of parking exceeds 15 spaces.

c. Parking lots shall be screened from view from public streets by use of landscaped buffers. Continuous screening, 30-inches in height, is required for any parking area directly abutting a public ROW.

d. Trash enclosures placed in the parking lots shall be set within a landscaped island to protect the structure and provide areas for landscape buffering. Trash enclosures shall not be constructed of the following materials:

- i. Wood
ii. Vinyl screening/fencing
iii. "Chain Link" fencing material

e. Parking requirements for the development shall be in conformance with Article 11-33-6 Off Street Parking Requirements.

3. TENANT SIGNAGE

a. Each tenant will be allowed signage on each of their frontages in the amount of 2 S.F. of sign per linear foot of frontage, with a maximum allowance per sign of 100 S.F. and a minimum sign area per frontage of 40 S.F.

b. A tenant's frontage is the exterior building facade that is oriented toward the public view of the tenants space, including public R.O.W., access drives and parking fields, as well as internal open spaces between buildings.

4. SIDEWALKS AND PEDESTRIAN ENVIRONMENT

a. In order to allow for the placement of street furniture such as benches and pots and the use of street trees and pedestrian lighting, the minimum width from building face to curb face shall be 15 feet.

b. No patio or outdoor dining arrangement, at the front of any building or abutting a primary pedestrian walkway, shall encroach on the 15-foot minimum sidewalk width by more than 50%.

5. ARCHITECTURE

a. Each building of the development shall incorporate a similar level of architectural detailing on all sides. Blank walls void of architectural details or other variation are prohibited. Four-sided design shall be achieved by meeting the requirements below:
i. A single, large, dominant building mass shall be avoided.
ii. Buildings shall be designed to reduce apparent mass by dividing facades into a series of smaller components.
iii. No individual component shall have a horizontal length of more than 70 feet. Components shall be distinguished from one another by two or more of the following:

- 1. Variations in roof form or variations in roof height of two feet or more;
2. Changes in wall plane of 6" or more;
3. Variations in the arrangement of windows;
4. Recognizable changes in texture, surface colors, or finish materials
iv. Glazing shall be maintained without interior or exterior obstructions that limit visibility (with exception of decorative windows on the rear or ends of buildings), including, but not limited to, window signs, interior shelving, or window coverings (excluding window shades or blinds) during hours of business operation.
v. Buildings shall feature architectural details on entry side of structure. A combination of at least two or more of the following techniques shall be used:
1. Canopy, portico, archway, arcade, or similar projection that provides architectural interest and protection for pedestrians.
2. Prominent tower, dome, or turret for each building or building group;
3. Steep roof;
4. Projecting or recessed entry;
5. A majority or predominance of windows or glazing
6. Outdoor features, such as seat walls, permanent landscape planters with integrated benches, or architectural detailing at pedestrian view level.

vi. The following materials are required as the primary exterior building material; Brick, integrally colored concrete masonry units, and stucco.
vii. The following materials are prohibited for use on exterior building walls:
1. Un-textured tilt-up concrete panels;
2. Corrugated metal;
3. Mirrored or reflective glass, except in limited decorative ways comprising no more than 25 percent of the exterior building material;
4. Wood is prohibited as the primary building material excepting standalone tenants that use wood as part of a signature design. Wood shall be acceptable as decorative or accent application.

b. All rooftop equipment shall be screened by materials 6' higher than the highest peak of equipment.

c. All utilities (water, gas, electric, etc.) shall be screened by walls, berms and/or dense landscaping.

6. LIGHTING

a. Exterior lighting shall be used to emphasize entryways and architectural features. All light sources shall be screened from view of adjacent properties and public rights-of-way.

7. LANDSCAPING

a. Landscaping standards shall conform to the City of Northglenn Zoning Ordinance Article 11-6-13 Landscaping with the exception of provisions provided below.

b. Landscape installation shall be in conformance with the approved landscape plan as part of the approved PUD. No reduction of greater than 10% of the overall quantities of landscaping material, as provided on the approved PUD, shall be allowed without a formal amendment to the PUD document. Species of landscaping plants and materials may be substituted but may not include any species currently (or in the future) prohibited by the City of Northglenn.

c. In an effort to promote overall water conservation a total of 40% of the required quantities of landscaping may be comprised of hardscape, non-living, decorative materials.

DEVELOPMENT STANDARDS:

Table with 2 columns: BUILDING SETBACKS and MAJOR ARTERIAL STREET (120'). Rows include ARTERIAL STREET (GRANT), COLLECTORS & INTERIOR DRIVES (FROM CURB-LINE), INTERIOR LOT LINES, PARKING SETBACKS, FROM STREETS, INTERIOR LOT LINES, BUILDING HEIGHT, and PARKING REQUIRED (COMMON PARKING W/ CROSS PARKING EASEMENT).

DEVELOPMENT STANDARDS:

Table with 2 columns: BUILDING SETBACKS and MAJOR ARTERIAL STREET (120'). Rows include ARTERIAL STREET (GRANT), COLLECTORS & INTERIOR DRIVES (FROM CURB-LINE), INTERIOR LOT LINES, PARKING SETBACKS, FROM STREETS, INTERIOR LOT LINES, BUILDING HEIGHT, and PARKING REQUIRED (COMMON PARKING W/ CROSS PARKING EASEMENT).

PARKING SETBACKS:

Table with 2 columns: FROM STREETS and INTERIOR LOT LINES. Rows include FROM STREETS, INTERIOR LOT LINES.

BUILDING HEIGHT:

Table with 2 columns: 60 MAXIMUM.

PARKING REQUIRED (COMMON PARKING W/ CROSS PARKING EASEMENT)

Table with 2 columns: RETAIL USES, OFFICE & SERVICES BUSINESSES, RESTAURANT USES, DAYCARE / PRESCHOOL. Rows include RETAIL USES, OFFICE & SERVICES BUSINESSES, RESTAURANT USES, DAYCARE / PRESCHOOL.

1. DRIVE-THRU EQUIVALENT, EA 20' OF QUEUE = 1 SPACE

Table with 2 columns: Date and Issue. Rows include 12-21-2012, 3-5-2013, 3-25-2013, and Title: PUD NOTES.

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
 NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



98 Spruce Street - Suite 201
 Denver CO 80230
 303-220-0900
 303-220-0708 Fax
 www.SEMarchitects.com



Webster Lake Promenade

City of Northglenn
 Adams County, Colorado

Hawkins Development

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL
•	
•	
•	
•	
•	
•	
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•	
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•	

Date	• December 21, 2012
Proj No	• 12051.01
Title	• OVERALL PUD BOUNDARY

1 OVERALL PUD BOUNDARY
 1" = 200'

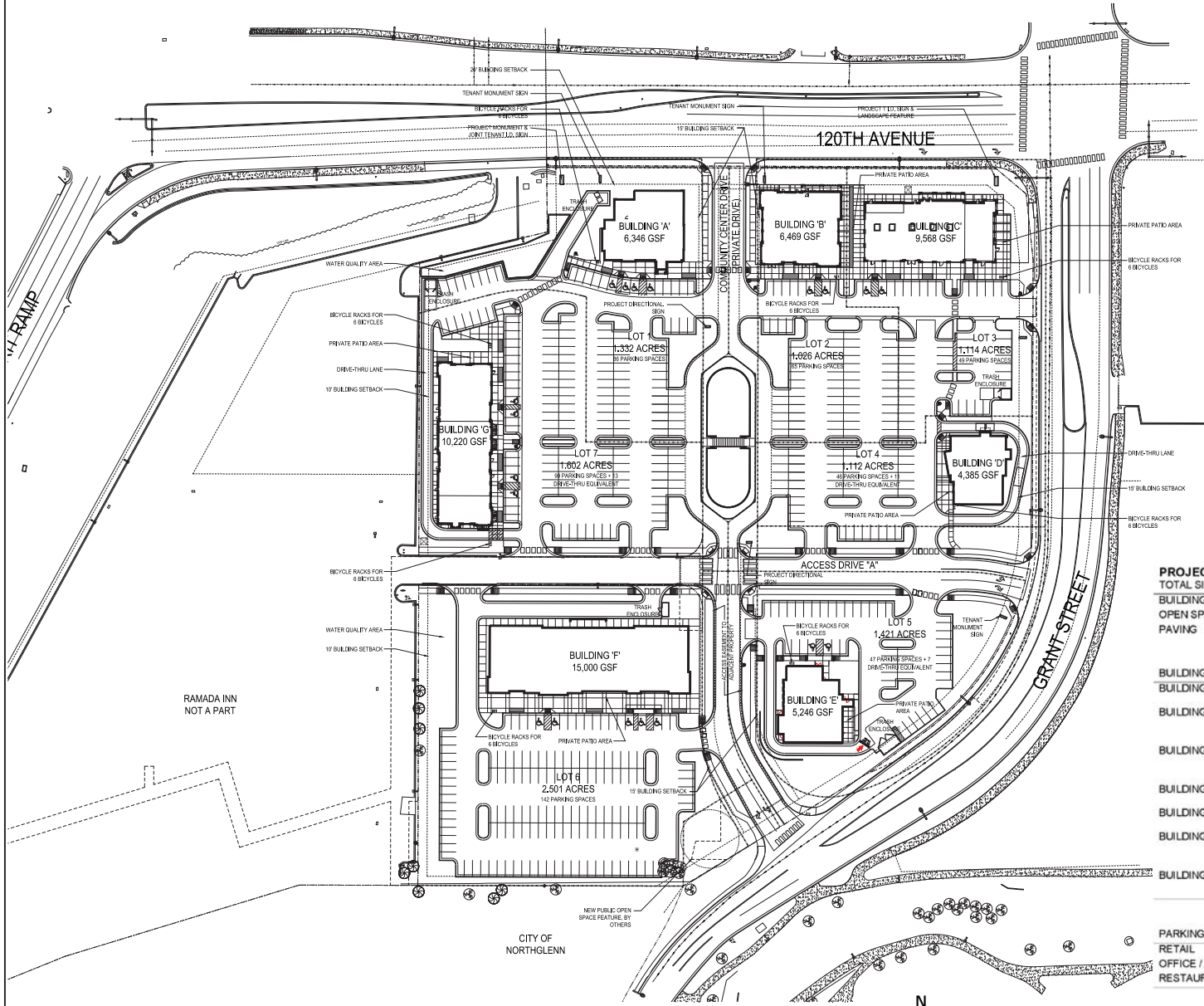
PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

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PROJECT DATA:

TOTAL SITE AREA	10.294 ACRE	+/- 448,416 S.F.	100%
BUILDING GLA	81,934 S.F.	18.2%	
OPEN SPACE	148,557 S.F.	33.2%	
PAVING	217,925 S.F.	48.6%	

BUILDING AREA:	USE	AREA
BUILDING A	RESTAURANT	6,346 S.F.
BUILDING B	RESTAURANT	3,134 S.F.
	RETAIL	3,035 S.F.
BUILDING C	RESTAURANT	4,914 S.F.
	RETAIL/SERV.	4,654 S.F.
BUILDING D	RESTAURANT	4,385 S.F.
BUILDING E	RESTAURANT	5,246 S.F.
BUILDING F	RESTAURANT	9,000 S.F.
	RETAIL/SERV.	6,000 S.F.
BUILDING G	RESTAURANT	6,000 S.F.
	RETAIL	4,220 S.F.
TOTAL		81,934 S.F.

PARKING:	USE	FACTOR	
RETAIL	12,909 S.F.	@ 1:200 =	65
OFFICE / SERVICE	3,000 S.F.	@ 1:300 =	10
RESTAURANT	39,024 S.F.	@ 1:100 =	390
	TOTAL REQUIRED		465

PROVIDED:

PARKING SPACES	534
DRIVE-THRU EQUIVALENT	31
TOTAL PARKING PROVIDED	565

Webster Lake Promenade
 City of Northglenn
 Adams County, Colorado
 Hawkins Development

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL

Date	• December 21, 2012
Proj No	• 12051.01
Title	• SITE PLAN

1 SITE PLAN
 1" = 80'

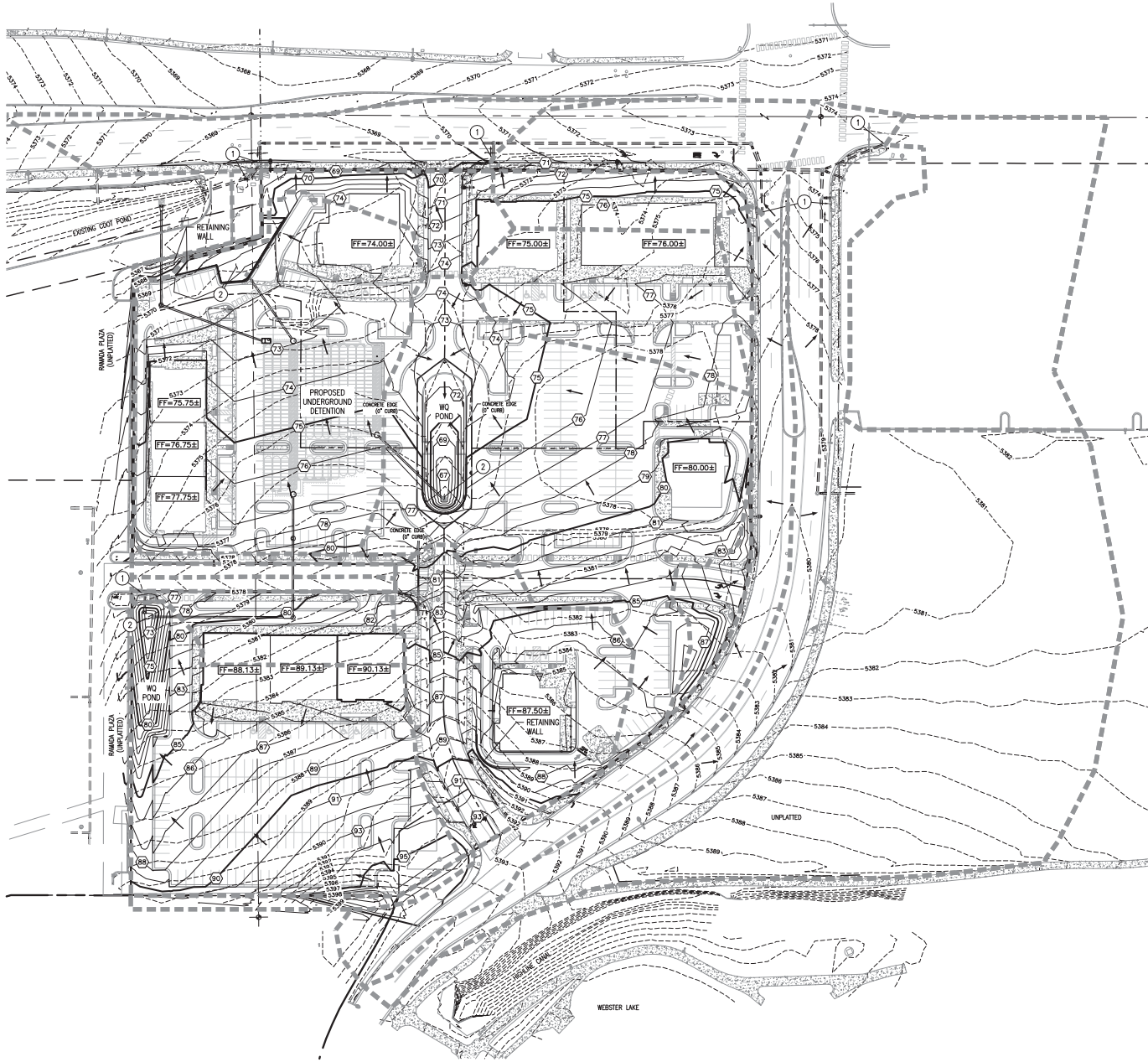


PLANNED UNIT DEVELOPMENT WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

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SITE LEGEND

- PROPERTY BOUNDARY LINE
- - - ADJACENT PROPERTY BOUNDARY LINE
- SECTION LINE
- - - EASEMENT BOUNDARY LINE
- - - EXISTING FENCE TO REMAIN
- - - EXISTING TO REMAIN
- - - EXISTING TO BE REMOVED
- - - PROPOSED NEW
- EXISTING INLET
- PROPOSED INLET

GRADING LEGEND

- - - 5375 - - - EXISTING CONTOUR
- 24 - - - PROPOSED CONTOUR
- - - EXISTING STORM SEWER
- - - PROPOSED STORM SEWER
- FLOW ARROW

DRAINAGE LEGEND

- - - PROPOSED BASIN

SCHEDULE

- ① STORM INLET
- ② WO POND OUTLET STRUCTURE



SCALE: 1"=80'

Webster Lake Promenade

City of Northglenn
Adams County, Colorado

Hawkins Development

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL
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Date	• December, 2012
Proj No	• HAW000001.01
Title	• GRADING & DRAINAGE PLAN

PLANNED UNIT DEVELOPMENT WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
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SITE LEGEND

- PROPERTY BOUNDARY LINE
- LOT LINE
- ADJACENT PROPERTY BOUNDARY LINE
- SECTION LINE
- EASEMENT BOUNDARY LINE

UTILITY LEGEND

- MANHOLE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- PROPOSED SLEEVED EX. SAN
- PROPOSED STORM SEWER
- PROPOSED UNDERGROUND DETENTION
- EXISTING UNDERGROUND GAS LINE
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING UNDERGROUND TELEPHONE
- EXISTING FIBER OPTIC LINE
- EXISTING ELECTRICAL BOX
- PROPOSED SITE LIGHT
- EXISTING TRAFFIC CONTROL PEDESTAL
- EXISTING TELEPHONE PEDESTAL
- PROPOSED WATER METER
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED INLET
- EXISTING INLET

SCHEDULE

- ① PROPOSED GREASE TRAP (ALL BUILDINGS)
- ② PROPOSED FIRE HYDRANT
- ③ EXISTING FIRE HYDRANT
- ④ PROPOSED MANHOLE

BUILDING FIRE FLOW REQUIREMENTS (2009 IFC)					
BUILDING	CONST. TYPE	GROSS FLOOR AREA	SPRINKLER REDUCTION	REQUIRED FLOW	REQUIRED # OF HYDRANTS
BUILDING A	II-B	6346 sf	50%	1500 GPM	1
BUILDING B	II-B	6469 sf	50%	1500 GPM	1
BUILDING C	II-B	9898 sf	50%	1500 GPM	1
BUILDING D	II-B	4385 sf	50%	1500 GPM	1
BUILDING E	II-B	5524 sf	50%	1500 GPM	1
BUILDING F	II-B	13,692 sf	50%	1500 GPM	1
BUILDING G	II-B	10,220 sf	50%	1500 GPM	1

Webster Lake Promenade

City of Northglenn
Adams County, Colorado

Hawkins Development

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL

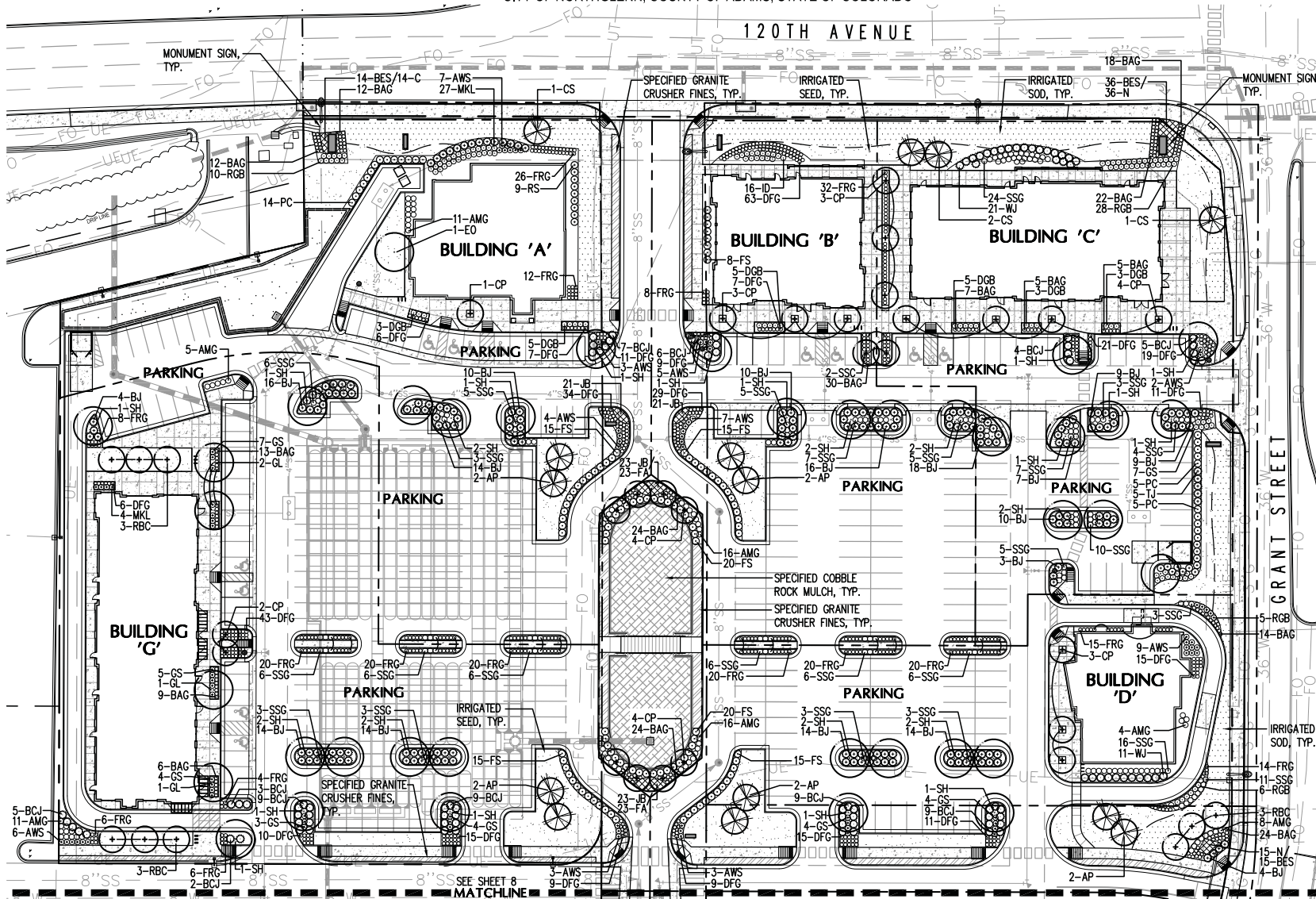
Date	• December, 2012
Proj No	• HAW00001.01

Title • **OVERALL UTILITY PLAN**

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
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Webster Lake Promenade

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Hawkins Development

Date	Issue
12-21-2012	PUD 1ST SUBMITTAL
3-5-2013	PUD RESUBMITTAL
3-25-2013	PUD RESUBMITTAL

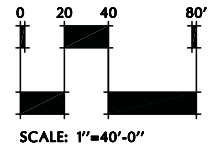
Date	December 21, 2012
Proj No	12.128

Title	LANDSCAPE PLAN
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PLANT LEGEND

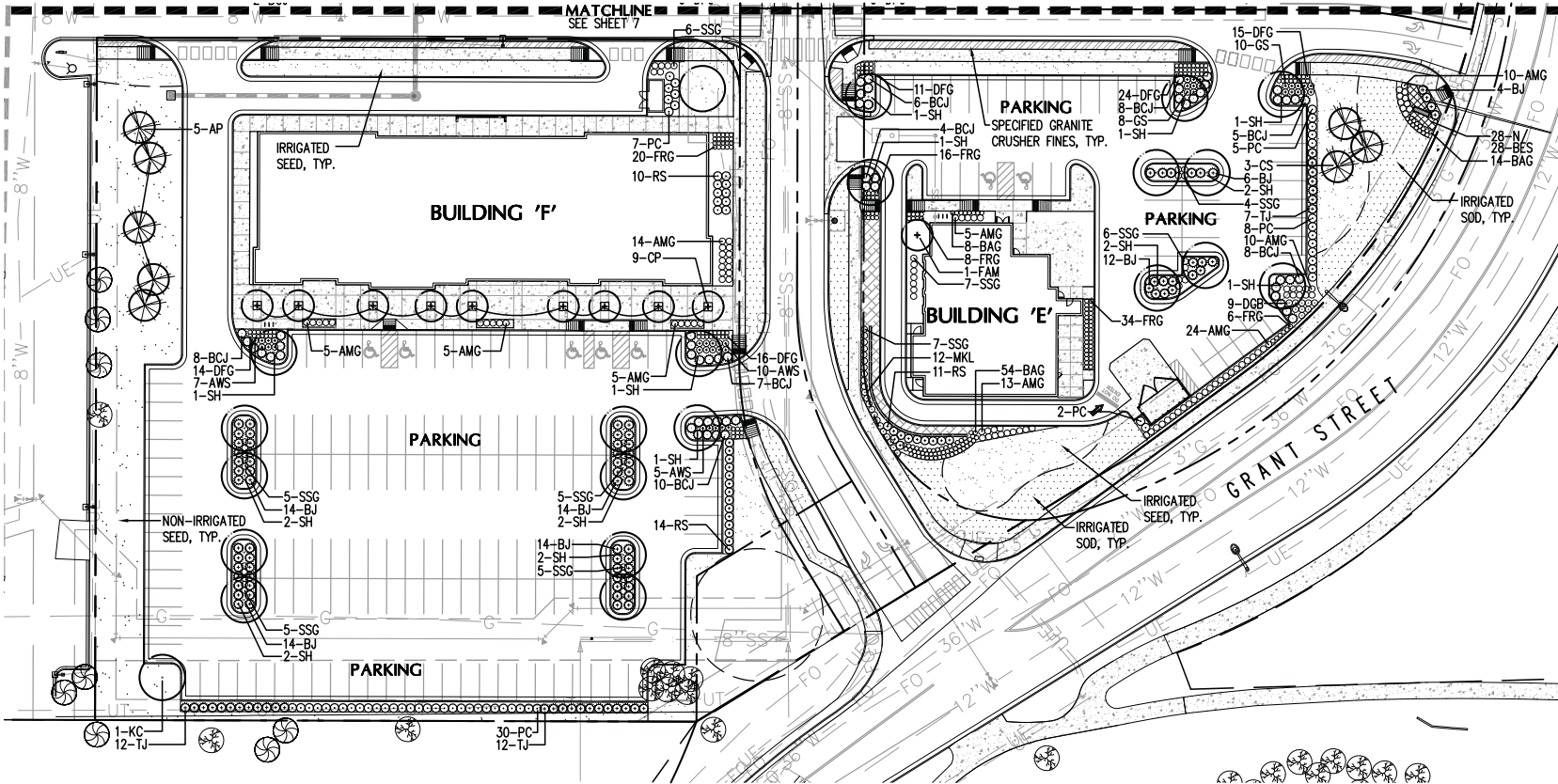
- NEW DECIDUOUS SHADE TREE
- NEW DECIDUOUS ORNAMENTAL TREE
- NEW EVERGREEN TREE
- NEW DECIDUOUS SHRUB
- NEW EVERGREE SHRUB
- NEW PERENNIALS
- NEW ORNAMENTAL GRASSES

REFER TO SHEET 9 FOR
 LANDSCAPE NOTES AND PLANT LIST








PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT
WEBSTER LAKE PROMENADE








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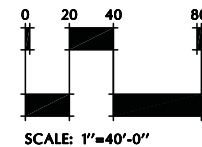
GROUNDCOVER LEGEND

	IRRIGATED SOD— Texas Hybrid 'Thermal Blue'		GRANITE CRUSHER FINES OVER SPECIFIED FILTER FABRIC
	IRRIGATED SEED MIX— Name %Mix Western Wheatgrass 'Arriba' 12% Thick Spike Wheatgrass 'Crittana' 18% Sideoats Grama 12% Blue Grama 25% Little Bluestem 16% Prairie Sandreed 'Goshen' 12% Sand Dropseed 5%		3"-6" ROUNDED RIVER COBBLE OVER SPECIFIED FILTER FABRIC
	TEMP-IRRIGATED NATIVE SEED— Name %Mix Big Bluegrass, Sherman 10% Sandberg/Canby Bluegrass 10% Arizona Fescue, Redondo 40% Sheep Fescue, Ovina 40%		

PLANT LEGEND

-  NEW DECIDUOUS SHADE TREE
-  NEW DECIDUOUS ORNAMENTAL TREE
-  NEW EVERGREEN TREE
-  NEW DECIDUOUS SHRUB
-  NEW EVERGREEN SHRUB
-  NEW PERENNIALS
-  NEW ORNAMENTAL GRASSES

REFER TO SHEET 9 FOR
 LANDSCAPE NOTES AND PLANT LIST



Webster Lake Promenade

City of Northglenn
 Adams County, Colorado

Hawkins Development

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL

Date	Issue
December 21, 2012	
Proj No	• 12.128

Title • LANDSCAPE PLAN

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2

NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PLANT LIST

Table with 10 columns: QTY., SYM., COMMON/ BOTANIC NAME, SIZE, COMMENTS, QTY., SYM., COMMON/ BOTANIC NAME, SIZE, COMMENTS. It is divided into sections for Deciduous Shade Trees, Ornamental Trees, Evergreen Trees, and Deciduous Shrubs, listing various plant species and their specifications.

LANDSCAPE NOTES

- 1. ALL IRRIGATED SEEDED AREAS, AS WELL AS THE SHRUB, PERENNIAL, AND ORNAMENTAL GRASS BEDS, SHALL BE ROTOTILLED WITH CLASS 1 ORGANIC COMPOST AT THE RATE OF 4 CUBIC YARDS PER 1,000 SQUARE FEET. THIS PREPARATION SHALL BE THOROUGHLY INCORPORATED INTO THE TOP 6" OF SOIL.
2. ALL LANDSCAPE INCLUDING THE TEMP--IRRIGATED SEED AREAS SHALL BE WATERED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. ALL IRRIGATED TURF AREAS LESS THAN 25' WIDTH SHALL HAVE A POP--UP SPRAY SYSTEM AND ALL IRRIGATED TURF AREAS GREATER THAN 25' WIDTH SHALL HAVE A ROTARY POP--UP SYSTEM PROVIDING HEAD TO HEAD COVERAGE. ALL SHRUB BEDS SHALL HAVE FULL COVERAGE WITH A DRIP OR POP--UP HEAD SYSTEM. ALL IRRIGATED SEED AREAS WILL HAVE A SEPARATELY ZONED SPRAY SYSTEM. ALL TEMP--IRRIGATED SEED AREAS SHALL HAVE A RAIN SENSOR SHUTOFF INSTALLED.
3. ALL TURF AND SHRUB BEDS SHALL BE ZONED SEPARATELY. ALL MAINLINE AND LATERALS SHALL BE PVC SOLVENT WELD PIPE SIZED TO MAINTAIN VELOCITY BELOW 5 F.P.S. ALL HEADS SHALL BE DESIGNED AND ADJUSTED TO MINIMIZE OVERSPRAY ONTO WALKWAYS AND ROADWAYS.
4. SIDEWALKS SHALL BE CONSTRUCTED OF CONCRETE AND PARKING TO BE CONSTRUCTED OF ASPHALT.
5. ALL SHRUB BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER NOT REQUIRED AT CURB, WALK, OR BUILDING. PLACE STEEL EDGER BETWEEN WOOD AND ROCK MULCHES.
6. ALL SHRUB/ORNAMENTAL GRASS BEDS AND LANDSCAPE AREAS ADJACENT TO THE BUILDING SHALL HAVE 3" DEPTH SPECIFIED 3/4" CRUSHED GRANITE ROCK MULCH OVER SPECIFIED FILTER FABRIC.
7. ALL PERENNIAL BEDS SHALL HAVE 4" DEPTH WESTERN RED CEDAR WOOD MULCH. DO NOT PLACE FILTER FABRIC UNDER WOOD MULCH.
8. SEE GROUND COVER LEGEND FOR IRRIGATED AND NON--IRRIGATED SEED MIX.
9. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR LENGTH.



98 Spruce Street - Suite 201
Denver CO 80230
303 220 8900
303 220 0708 Fax
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Webster Lake Promenade

City of Northglenn
Adams County, Colorado

Hawkins Development

Table with 2 columns: Date, Issue. It contains a revision schedule with dates and descriptions of submittal and resubmittal events.

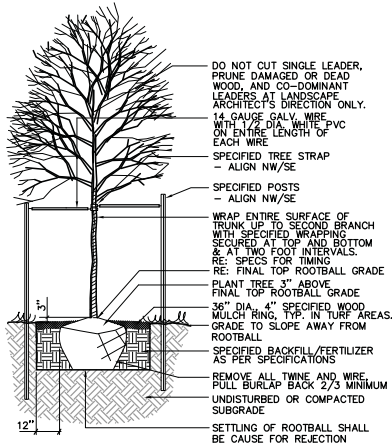


meurandesigngroup
site design
landscape architecture
site planning
700 colorado boulevard, suite 131
denver, colorado 80206
303.512.0549 fax 303.320.5322

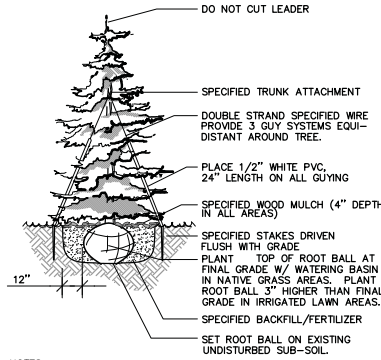
PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

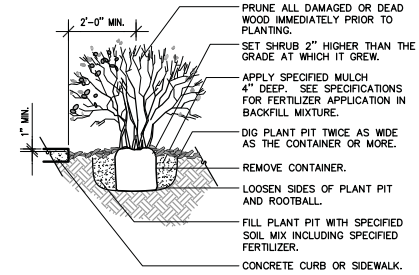
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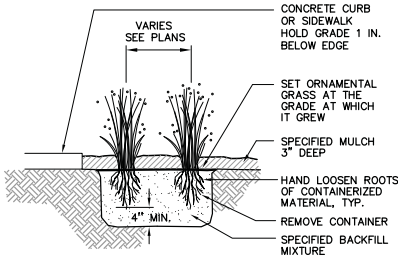
1 DECIDUOUS TREE PLANTING
 N.T.S.



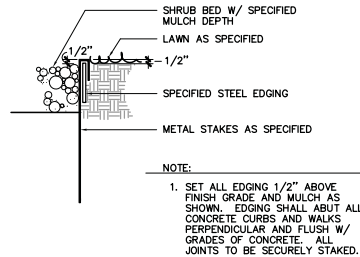
NOTES:
 1. INSTALL SPECIFIED MULCH TO DRIPLINE OF TREE WHERE PLANTED IN GRASS AREAS.
 2. DO NOT PROVIDE WATER BASIN IN IRRIGATED LAWN AREAS.
 2 EVERGREEN TREE PLANTING
 N.T.S.



NOTES:
 1. ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
 2. HOLD GRADE 1" BELOW EDGE OF WALK OR CURB. THIS DETAIL SHALL ALSO APPLY TO PERENNIAL FLOWERS IN CONTAINER.
 3. ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF MULCH LAYER.
 3 SHRUB PLANTING DETAIL
 N.T.S.



4 ORNAMENTAL GRASS DETAIL
 N.T.S.



NOTE:
 1. SET ALL EDGING 1/2" ABOVE FINISH GRADE AND MULCH AS SHOWN. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH W/ GRADES OF CONCRETE. ALL JOINTS TO BE SECURELY STAKED.
 5 STEEL EDGER DETAIL
 N.T.S.

Webster Lake Promenade

City of Northglenn
 Adams County, Colorado

Hawkins Development

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
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Date • December 21, 2012
 Proj No • 12.128

Title • LANDSCAPE DETAILS

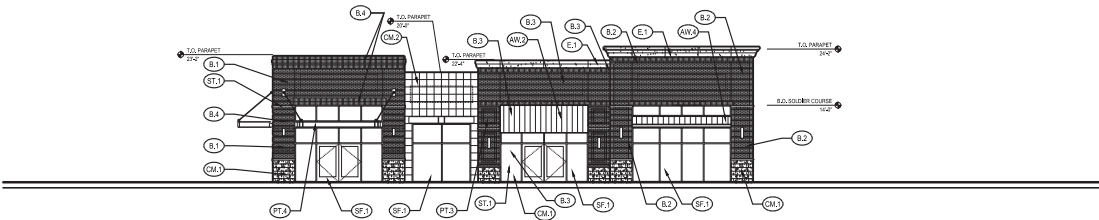
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WEBSTER LAKE PROMENADE

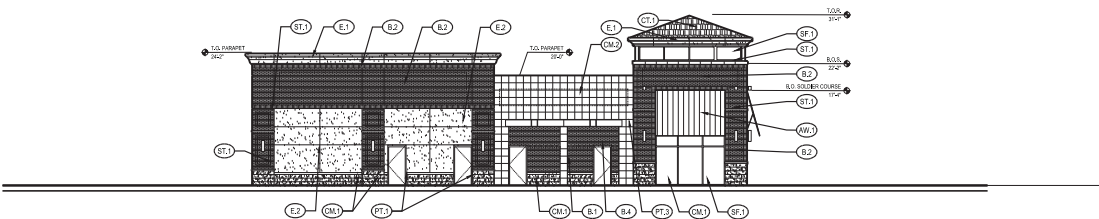
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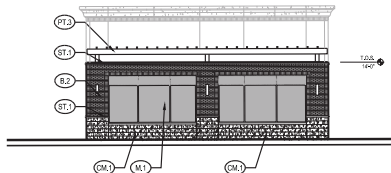
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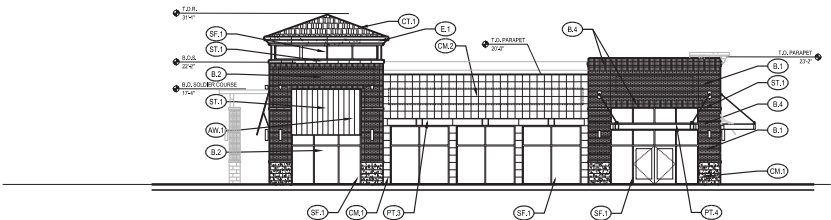
1 BUILDING B - SOUTH ELEVATION
 1/16" = 1'-0"



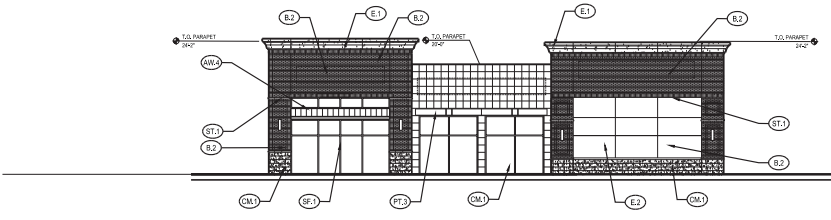
2 BUILDING B - NORTH ELEVATION
 1/16" = 1'-0"



5 BUILDING B - NORTH ELEVATION
 1/16" = 1'-0"
 SCREEN WALL



3 BUILDING B - WEST ELEVATION
 1/16" = 1'-0"



4 BUILDING B - EAST ELEVATION
 1/16" = 1'-0"

ELEVATION FINISH NOTES: (X)

- MASONRY:**
- B.1 BRICK; BRICK VENEER, GENERAL SHALE, "COLONIAL S"
 - B.2 BRICK; BRICK VENEER, GENERAL SHALE, "COFFEE BEAN"
 - B.3 BRICK; BRICK VENEER, GENERAL SHALE, "COOPERSTOWN"
 - B.4 BRICK; BRICK VENEER, GENERAL SHALE, "BALL PARK"
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- ST.1 C.M.U. ACCENT; ARRISCRRAFT, SMOOTH, "OAK RIDGE"
- EXTERIOR INSULATION FINISH SYSTEM:**
- E.1 E.I.F.S.; DRYVIT COLOR CANVAS, MANOR WHITE #108, FINE TEXTURE
 - E.2 E.I.F.S.; DRYVIT COLOR CANVAS, OYSTER SHELL #456, FINE TEXTURE
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- PT.1 PAINT FINISH, TO MATCH E.1 MANOR WHITE, BENJAMIN MOORE, OC-96, "GENTLE CREAM"
 - PT.2 PAINT FINISH, TO MATCH B1 COLONIAL S, BENJAMIN MOORE, 2092-30, "BOSTON BRICK"
 - PT.3 PAINT FINISH, BENJAMIN MOORE, 2121-10, "GRAY"
 - PT.4 PAINT FINISH, BENJAMIN MOORE, 2121-30 "PEWTER"

- METAL**
- M.1 PERFERATED METAL
 - M.2 COPPER
- WINDOW SYSTEM:**
- SF.1 ALUMINUM WINDOW SYSTEM, CLEAR ANODIZED FINISH, WITH 1" INSULATED GLASS UNITS, CLEAR LOW-E GLASS
- ROOFING:**
- CT.1 CONCRETE ROOF TILE; WESTILE "CHARCOAL"
 - TPO INTEGRALLY COLORED T.P.O. ROOFING, TAN COLOR.
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Date	Issue
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Title	• ELEVATIONS
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Webster Lake Promenade
 City of Northglenn
 Adams County, Colorado
 Hawkins Development

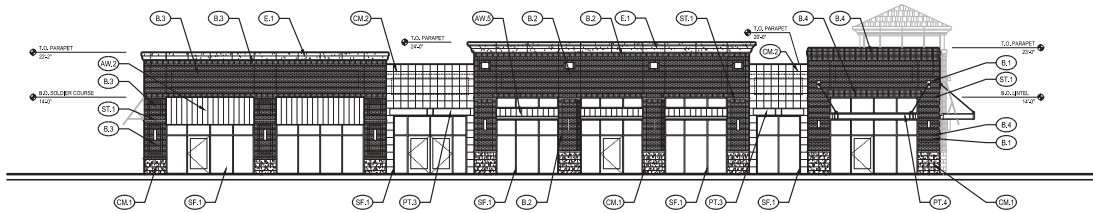
PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

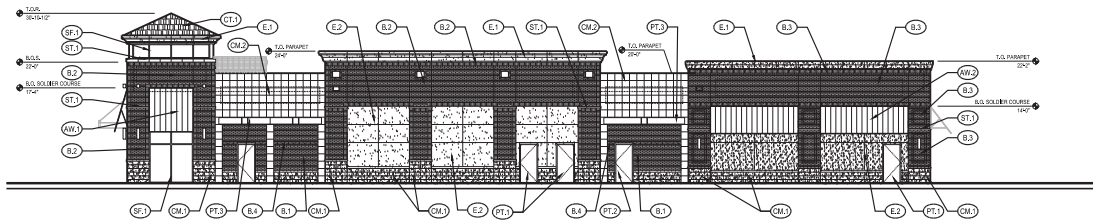
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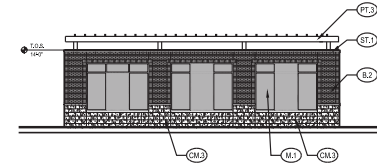
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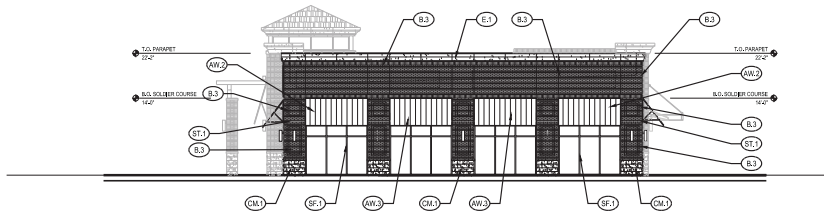
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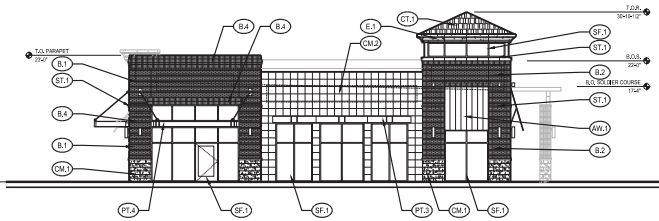
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Webster Lake Promenade

City of Northglenn
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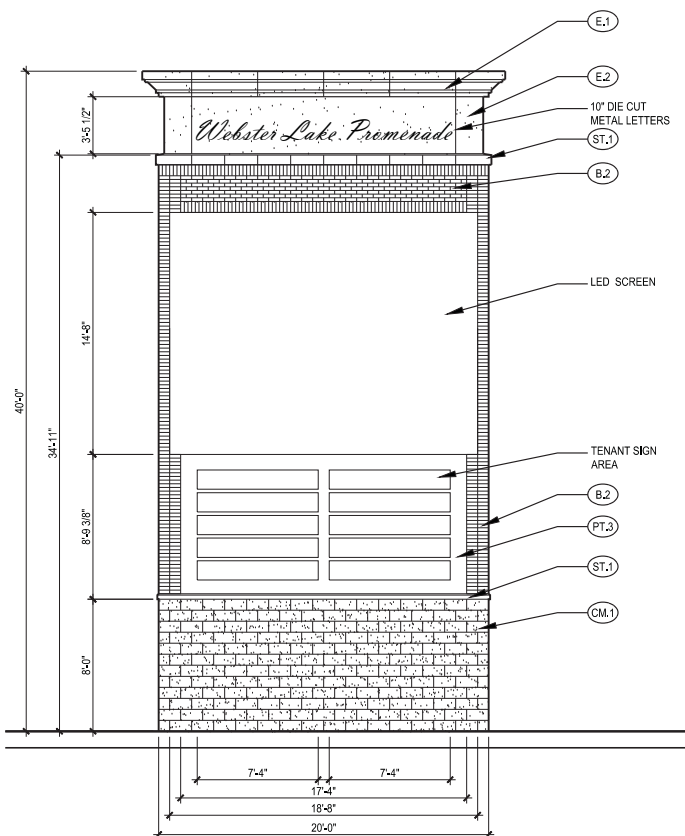
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Date	• December 21, 2012
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Webster Lake Promenade

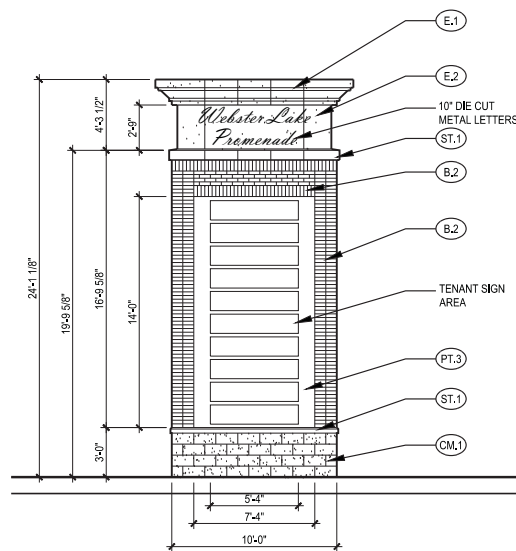
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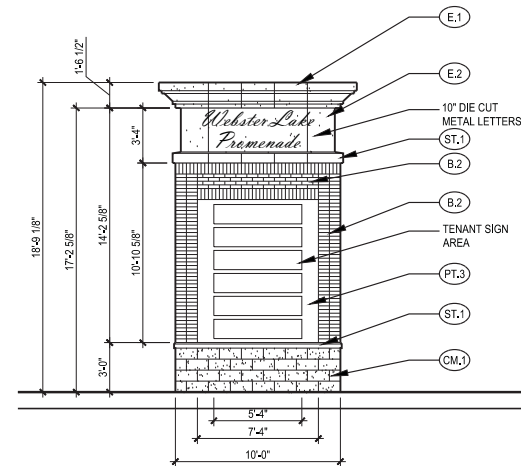
1 PROJECT MONUMENT WITH LED SCREEN & JOINT TENANT I.D. SIGN

3/16" = 1'-0"



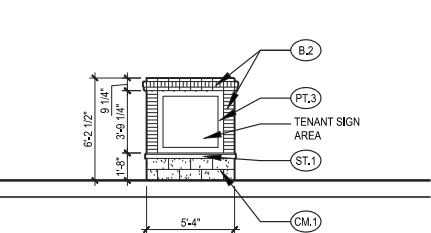
2 PROJECT MONUMENT & JOINT TENANT I.D. SIGN

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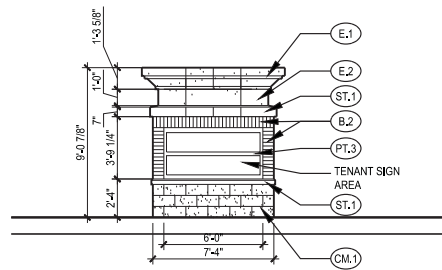
3 TENANT MONUMENT SIGN

3/16" = 1'-0"



4 TENANT MONUMENT SIGN

3/16" = 1'-0"



5 PROJECT DIRECTIONAL SIGN

3/16" = 1'-0"

ELEVATION FINISH NOTES: (X)

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Date	• December 21, 2012
Proj No	• 12051.01
Title	• SIGNAGE

ATTACHMENT 1

Case No. Z-1-13

Applicant: Kevin Hawkins, Hawkins
Development, LLC;
City of Northglenn;
Northglenn Urban Renewal
Authority
Location: 120th Avenue and Grant Street
Ordinance: 11-16 and 11-37-2

WEBSTER LAKE PROMENADE PRELIMINARY & FINAL PLANNED UNIT DEVELOPMENT (PUD) STAFF REPORT AND RECOMMENDATION

REQUEST:

The applicant Hawkins Development, on behalf of the property owner's, Northglenn Urban Renewal Authority ("NURA") and the City of Northglenn ("City"), requests, the Planning Commission hear and recommend to the City Council, a change of zoning of the parcels (**Exhibit A**) located between the southeast corner of the I-25 interchange and Grant Street from C-5 Commercial to Planned Unit Development (PUD). Please note that the Recreation Center and City Hall property (approx 20 acres) is also included in this PUD, but no changes to the zoning or existing uses are being proposed. The purpose for including this property into the PUD is to provide for development signage along I-25.

REASON FOR REQUEST:

The proposed project will construct approximately 81,934 square feet of retail development. This proposal is the first phase of future redevelopment of the areas adjacent to Webster Lake and E.B. Rains Jr. Park to the east and the property to the south.

BACKGROUND:

The City and NURA began assembly of the numerous parcels that comprise the site in 2004. They have assembled approximately 11 acres for redevelopment. The area under consideration is the former site of a Days Inn hotel, a Sinclair gas station and a small tenant space shopping center. The City has demolished the hotel, shopping center, gas station, and conducted the reclamation/remediation and clean-up of the gas station. All parcels included in the proposed development are currently zoned C-5 Commercial.

In November 2011 the City and NURA entered into a Redevelopment Agreement with Hawkins Development, wherein Hawkins Development has been retained to be the developer for the property, including but not limited to develop a site plan, retain end users (business) and develop the property in accordance with the approved City entitlements – PUD, Subdivision, Civil Construction documents, and corresponding Development Agreement (obligation and security to construct public improvements).

The table shows the breakdown of conceptual lands uses for the site:

Conceptual Land Use	Square Feet	Acres	% of Site
Building	81,934	1.88	18.2
Landscaping	148,557	3.41	33.2
Driveways and Parking	217,925	5.00	48.6

The applicant has requested that the Planning Commission hear and make recommendation on the Preliminary PUD and also hear and approve the Final PUD (contingent upon City Council approving the Preliminary PUD) during this hearing. If the Planning Commission makes a recommendation on the Preliminary PUD and approves the Final PUD, the recommendation will be forwarded to the City Council for approval. If City Council approves the rezoning, the PUD will be approved to obtain a development permit. Under this scenario the last step for this application will be City Council approval.

In conjunction with this request, the development will also be subject to Subdivision, which will be considered at the same time as this request when presented to the Planning Commission and City Council.

The Planning Commission recommendation of the Preliminary and Final PUD are based on the criteria from Sections 11-16-2 and 11-37-2 of the Northglenn Zoning Ordinance, outlined in the Approval Criteria Section below.

SURROUNDING LAND USES:

- North: 120th Avenue and City of Thornton
- South: Webster Lake Park and City Recreation Facility (O-1)
- West: C-5 Commercial (Ramada Hotel)
- East: C-5 Commercial (Metro North Office Building and Vacant Land)

CASE ANALYSIS:

The analysis of the case was completed with the review of submitted materials for the Preliminary PUD and Final PUD.

Uses – Permitted and Prohibited

The permitted and prohibited uses for the development are listed on page 2 of 14 of the PUD document. The prohibited uses list has been carried forward from the previous attempts to redevelop the property.

Building Footprint / Site Plan

Information submitted for the Preliminary and Final PUD depicts 6 building pad sites (A-F) with square footages varying from 4300 sq ft to 15,000 sq ft for a total build out of 81,934 sq ft. The site plan shows that the proposal will construct a total of 565 parking spaces. The proposed uses will generate a need of 465 spaces, per City requirements.

Development Standards

As stated previously no changes or modifications are proposed for Recreation Center and City Hall property. The purpose for inclusion is to provide the a location along I-25 for signage.

The Development Standards provide for a Minor Modification provision, which would allow for administrative review and approval. The purpose of the provision is to provide flexibility to redevelop the property through an administrative process, so long as the proposed modification does not exceed 15% of the identified infrastructure impacts in the PUD/Civil Construction documents being considered with this application. The provision provides for the developer to certify via engineers and/or architects that the proposed modification does not exceed the 15% provision. The current Zoning Ordinance narrowly prescribes what can be administratively approved, the provision would establish a reasonable set of standards for an administrative review process, while ensuring that impacts have been adequately addressed/mitigated.

Traffic Impacts

The City Engineering Staff have reviewed the proposed traffic impacts and have found that the project will have no adverse near or long term traffic impacts to the surrounding roadway network. As part of the traffic mitigation, the project will extend the off-ramp travel lane to Grant St – creating a auxiliary lane along the south side of 120th between I-25 and Grant St.

Drainage

The proposed project site is currently vacant land, and will require on-site water quality and stormwater detention facilities. The City's Engineering Department, has reviewed the drainage report and PUD/Civil package and have determined that the water quality and stormwater mitigation requirements have been adequately addressed for entitlement purposes. Please note that, the developer must submit 100% civil construction documents (including drainage) prior to issuance of a building permit and all public improvements must be completed prior to the issuance of a Temporary Certificate of Occupancy or Certificate of Occupancy is issued.

Landscaping

Total landscape area equates to 33.2% of the site. No prohibited species are proposed. In addition to the proposed landscaping shown on the PUD, Tract A in combination with the adjacent Recreation Facility property will be designed and landscaped into a public space by NURA. This project will be completed concurrently with the project but will not be an obligation to the developer. Further there will be public art displays throughout the property –

locations to be determined. Per the Covenants, Controls and Restrictions (CC&R's) there will be not less than 4 pieces of public art for display. The type of art will be coordinated with the Northglenn Arts and Humanity's Foundation and the final location will be mutually agreed upon between the Foundation and the Developer.

Elevations

Elevations are included with the Final PUD for 2 of the 6 buildings, buildings not shown will be required to comply with the material standards which shall be reviewed and approved by Staff administratively. The types, amounts and location of primary materials are detailed under the Development Standards, #5 Architecture on sheet 2 of 5. These different materials create a variation in the elevations that comply with the standard architectural requirements outlined in section 11-19-5(a) (1) & (2). In addition to the proposed material standards recorded with the PUD, the development will have a separate Architectural Design Review Committee (ADRC) that will have final approval of the architectural design of all buildings proposed for the site. The ADRC will be included as a provision of the Covenants Conditions & Restrictions (CC&Rs). The PUD documents reference the CC&Rs (Development Standards, Note #1, part d) and will be recorded as part of the PUD documents. The ADRC will provide a higher level of review and approval than Staff's administrative review for compliance with material standards. The Developer has prepared a design standard vision book, which will be used as part of the ADRC review process.

Signage

The PUD has prescribed a set standard for the number of, total square footage and placement of permanent signage. The standards (Development Standards, Note #3, parts a 7b) allow for less square footage of signage than what would be provided for under the current and pending draft sign code. The PUD also provides for an Electronic Message Board on the Lot 8 City Property. The signage is consistent with the adopted sign code provisions regulating Electronic Message Signs.

Administration

In accordance with 11-16-6 Approval Criteria, staff has found that the proposal for the Preliminary and Final PUD is in conformity with the Northglenn Zoning Ordinance and Comprehensive Plan.

The North Metro Fire Rescue District has reviewed the submitted plans and has no objections to the proposal. At time of construction the applicant will be required to meet all code requirements of the North Metro Fire Rescue District and the City of Northglenn's Chief Building Official.

Property owners surrounding the proposed facility were notified via mail of the proposal, as required by Section 11-41-3(a) of the City's Zoning Ordinance. In addition, the property in question was posted as required by Section 11-41-3(b).

APPROVAL CRITERIA:

Section 11-16-6-Approval Criteria:

- (a) Prior to granting approval for any preliminary or final planned unit development plan, the Planning Commission and City Council shall give consideration to the purpose and intent of this Article 16 as listed in Section 11-16-2, above, and those criteria for any rezoning request as listed in Section 11-37-2(h) of this Chapter 11 of the Municipal Code. In addition, prior to approval of any final planned unit development plans, the Planning Commission shall find them to be in conformity with the approved preliminary planned unit development plans.

Section 11-16-2; Purpose and Intent reads as follows:

- (a) The purpose and intent of this Article is to create a Planned Unit Development regulation which will maximize the land resources available within the City of Northglenn. More specifically, the purposes are as follows:
 - (1) To ensure that zoning decisions are directed toward achievement of community goals and objectives, as embodied in the adopted Master Development Plan, rather than satisfying arbitrary minimum standards.
 - (2) To recognize the unique nature of each parcel of land and allow flexibility in the planning and design response.
 - (3) To encourage and promote innovation in land development by allowing more variety in type, design, layout, and architectural design of buildings and site amenities.
 - (4) To ensure that proposed rezonings and specific proposals presented to staff and the Planning Commission are constructed as presented and not used merely as a tool to facilitate property sale or some other transfer of real estate to make it more marketable.
 - (5) To encourage economic development to expand the City's tax base and provide employment opportunities.
 - (6) To create a PUD ordinance that streamlines, consolidates and simplifies zoning and subdivision, an ordinance that expedites rather than hinders the development process.
 - (7) To allow for the preservation of natural site amenities such as mature trees, water bodies and channels, exceptional views, etc.

(8) To promote the judicious use of open space and landscaped areas with regard to utility and visual impact.

(9) To encourage a harmonious and integrated mix of land uses and require compatibility between new and existing development.

(10) To provide for the efficient and safe movement of vehicular and pedestrian traffic on both public and private roadways. “

Additionally;

Section 11-37-2-Zone Changes

(h) Basis for Approval. The Commission and Council shall give consideration to and satisfy themselves to the following:

- (1) That a need exists for the proposal;
- (2) That this particular parcel of ground is indeed the correct site for the proposed development;
- (3) That there has been an error in the original zoning; or
- (4) That there have been significant changes in the area to warrant a zone change;
- (5) That adequate circulation exists and traffic movement would not be impeded by development; and
- (6) That additional municipal service costs will not be incurred which the City is not prepared to meet.

APPROVAL CRITERIA ANALYSIS

- (1) That a need exists for the proposal

Staff finds that the underutilized site will generate activity in this space that is identified in the City's Master Plan.

- (2) That this particular parcel of ground is indeed the correct site for the proposed development;

Staff finds the proposed development is appropriate for this site.

- (3) That there has been an error in the original zoning; or

N/A.

- (4) That there have been significant changes in the area to warrant a zone change;

Staff finds that the entire surrounding area is commercial. This site was always intended to be commercial. The City and NURA acquired and assembled the project site with the specific intent of redevelopment to maximize the highest and best use for the property.

- (5) That adequate circulation exists and traffic movement would not be impeded by development; and

Staff finds that the traffic and circulation impacts will not be impeded by this development.

- (6) That additional municipal service costs will not be incurred which the City is not prepared to meet.

Staff finds that there will be no additional municipal service costs incurred.

COMMISSION OPTIONS:

The Planning Commission is making a recommendation for Preliminary PUD to the City Council and a final decision regarding the Final PUD. The Commissions options are as follows:

- 1) Approve the request, with or without conditions or stipulations;
- 2) Deny the request for reasons stated; or
- 3) Table the request for further consideration.

STAFF RECOMMENDATION:

Staff recommends a approval of the Preliminary PUD to the City Council and the Final PUD with the conditions and six (6) Findings of Fact, per the criteria of Section 11-37-2 of the Northglenn Zoning Ordinance, as reflected in Planning Commission Resolution 2013-01.

RECOMMENDED CONDITIONS OF APPROVAL:

The applicant shall enter into a Development Agreement, with the City of Northglenn, that will be recorded with the Adam’s County Assessor’s Office, to memorialize the public improvements shown in the PUD plans.

RECOMMENDED FINDINGS OF FACT:

The application is in compliance with the criteria outlined in section 11-37-2.

RESPECTFULLY SUBMITTED:

Brook Svoboda
Director of Planning & Development

**RESOLUTION 2013-01
NORTHGLENN PLANNING COMMISSION**

**A RESOLUTION PROVIDING A FAVORABLE
RECOMMENDATION TO THE CITY COUNCIL FOR
APPROVAL TO THE WEBSTER LAKE PROMENADE
PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD) AND
APPROVAL OF THE FINAL PLANNED UNIT DEVELOPMENT**

WHEREAS, Northglenn Ordinance 11-37-2 requires that the Northglenn Planning Commission review and make recommendation to Council any application for rezoning; and

WHEREAS, the Northglenn Planning Commission therefore desires to make its recommendations to the City Council as required by law.

WHEREAS, the Planning Commission has found that the application satisfies the applicable criteria for rezoning and PUD criteria under 11-37-2 & 11-16-2 for purposes of approving the Final Planned Unit Development respectively;

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. The City of Northglenn Planning Commission hereby provides a favorable recommendation to the City Council for approval of the Webster Lake Promenade PUD in accordance with the proposed Ordinance for adoption.

Section 2. The City of Northglenn Planning Commission hereby recommends that in addition to the conditions spelled out in the proposed adopting ordinance, the following conditions shall be reflected on the Final PUD to be recorded with the Adams County Clerk and Recorder, as required by law.

1. The PUD shall conform to the performance standards prescribed on the PUD.
2. The Developer shall enter into a Development Agreement that will memorialize the following:
 - a. Construction of all civil infrastructure improvements necessary to mitigate the impact of the development and required security for said improvements.
 - b. Securing a Special Use Permit from the Colorado Department of Transportation Special Use Permit, for the construction improvements on 120th St
 - c. Establishing the licensing for the display of public art on the

property

3. A Special Use permit is issued by CDOT for the auxiliary lane improvement to 120th prior to the issuance of building permit for the project.

DATED this _____ day of _____, 2013

Sonia Di Carlo
Planning Commission Chair

ATTEST:

Travis Reynolds
Secretary

EXHIBIT A

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



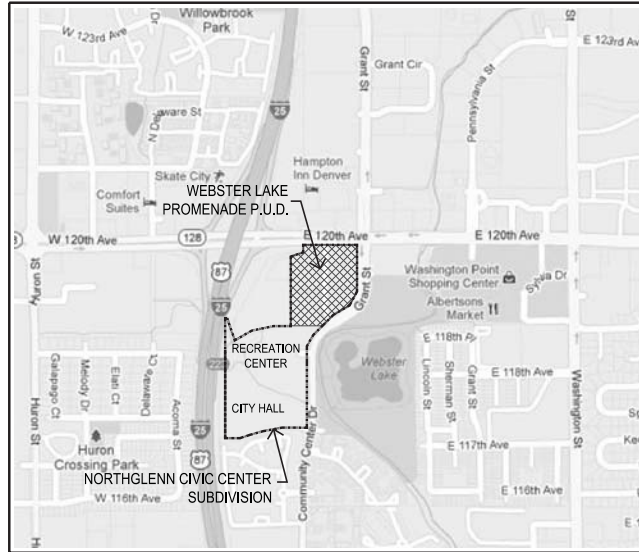
98 Spruce Street - Suite 201
Denver CO 80238
303-220-8900
303-220-0708 Fax
www.SEMarchitects.com

LEGAL DESCRIPTION

Part of the McElwain Tract, a Subdivision recorded in File 12 at Map 40, Adams County Records, a part of McElwain Tract 2, a Subdivision recorded in File 12 at Map 153, Adams County Records, a part of Lot 1 and Lot 2, Holiday Park, a Subdivision recorded in File 16 at Map 427, Adams County Records, all of Northglenn Civic Center Subdivision, a Subdivision recorded in File 18 at Map 733, Adams County Records and a part of Community Center Drive and being a part of the North One Half of Section 3, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado, described as follows:

Commencing at the N1/4 Corner of Section 3, T.2S., R.68W., of the 6th P.M.;
Thence S00°31'46"E along the West Line of the NE 1/4 of Section 3, a distance of 58.00 feet;
Thence S89°50'25"E a distance of 10.00 feet to the Point of Beginning;
Thence S89°50'25"E, along the South R.O.W. Line of East 120th Avenue a distance of 490.16 feet;
Thence S49°50'25"E, along said South R.O.W. Line a distance of 46.00 feet to a point on the Westerly R.O.W. Line of Grant Street;
Thence the following five (5) courses along said Westerly R.O.W. Line
1) Thence S05°58'56"E a distance of 72.80 feet;
2) Thence S00°09'35"W a distance of 302.17 feet to a point of curve
3) Thence along a curve to the right having a central angle of 50°03'25", a radius of 289.67 feet, an arc length of 253.07 feet, a chord bearing of S28°48'44"W and a chord distance of 245.10 feet;
4) Thence S53°44'58"W a distance of 70.33 feet;
5) Thence S58°31'55"W a distance of 243.35 feet to a point on the Westerly R.O.W. Line of Community Center Drive;
Thence along the Westerly R.O.W. of Community Center Drive the following five (5) courses;
1) Thence along a curve to the right, non-tangent to the last described course, having a central angle of 10°03'16", a radius of 343.20 feet, an arc length of 60.23 feet, a chord bearing of S25°07'57"W and a chord distance of 60.15 feet;
2) Thence S30°09'35"W a distance of 60.66 feet to a point of curve;
3) Thence along a curve to the left having a central angle of 30°41'21", a radius of 330.34 feet, an arc length of 176.94 feet, a chord bearing of S14°48'55"W and a chord distance of 174.83 feet;
4) Thence S00°31'46"E a distance of 560.91 feet to a point of curve;
5) Thence along a curve to the right having a central angle of 14°55'31", a radius of 729.58 feet, an arc length of 190.05 feet, a chord bearing of S06°56'00"W and a chord distance of 189.52 feet;
Thence the following three (3) courses along the Southerly Line of Northglenn Civic Center Subdivision;
1) Thence N84°33'21"W a distance of 223.32 feet;
2) Thence S75°45'59"W a distance of 445.46 feet;
3) Thence N84°33'21"W a distance of 210.00 feet to a point on the Easterly R.O.W. Line of Interstate Highway 25;
Thence the following six (6) courses along the Easterly R.O.W. Line on Interstate Highway 25;
1) Thence N01°14'09"W a distance of 330.41 feet;
2) Thence N02°58'03"E a distance of 380.04 feet;
3) Thence N00°48'29"E a distance of 131.27 feet;
4) Thence N26°38'47"E a distance of 67.78 feet;
5) Thence N03°14'33"E a distance of 79.80 feet;
6) Thence N28°48'35"E a distance of 229.93 feet;
Thence the following five (5) courses along the Northerly Line of Northglenn Civic Center Subdivision;
1) Thence S09°14'56"W a distance of 117.28 feet;
2) Thence S21°57'47"E a distance of 107.97 feet;
3) Thence N68°02'13"E a distance of 132.40 feet;
4) Thence N73°03'59"E a distance of 268.00 feet;
5) Thence S89°50'25"E a distance of 130.00 feet;
Thence the following six (6) courses along the Easterly Line of that parcel of land described in instrument recorded at Reception No. 20050113000049660;
1) Thence N00°09'35"E a distance of 329.98 feet;
2) Thence S89°50'25"E a distance of 285.92 feet to a point of curve;
3) Thence along a curve to the right having a central angle of 90°00'00", a radius of 25.00 feet, and arc length of 39.27 feet, a chord bearing of S44°50'25"E and a chord distance of 35.36 feet to a point on the West R.O.W. Line of Community Center Drive;
4) Thence N00°09'35"E along said West R.O.W. Line a distance of 80.00 feet to a point of curve;
5) Thence along a curve to the right having a central angle of 90°00'00", a radius of 25.00 feet, an arc length of 39.27 feet a chord bearing of S45°09'35"W and a chord distance of 35.36 feet;
6) Thence N89°50'25"W a distance of 545.92 feet;
Thence N00°09'35"E along the said Easterly Line and along the Easterly Line of a parcel of land described in instrument recorded at Reception No. 20050113000049660, a distance of 322.33 feet;
Thence N76°37'46"E along the Southerly Line of said parcel recorded at Reception No. 20050113000049660, a distance of 143.76 feet to a point on the West Line of McElwain Tract;
Thence N00°31'46"W along said West Line, a distance of 72.63 feet to the Point of Beginning.

Parcel Contains (1,360,435 Square Feet) 31.2313 Acres



LEGAL DESCRIPTION FOR WEBSTER LAKE PROMENADE:

PART OF THE McELWAIN TRACT, A SUBDIVISION RECORDED IN FILE 12 AT MAP 40, ADAMS COUNTY RECORDS, PART OF McELWAIN TRACT 2, A SUBDIVISION RECORDED AT FILE 12 AT MAP 153, ADAMS COUNTY RECORDS, PART OF LOT 1 AND LOT 2, HOLIDAY PARK, A SUBDIVISION RECORDED IN FILE 16 AT MAP 427, ADAMS COUNTY RECORDS, PART OF COMMUNITY CENTER DRIVE AND A PART OF THE NORTH ONE HALF OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH ONE-QUARTER CORNER OF SAID SECTION 3, THENCE SOUTH 00 DEGREES 41 MINUTES 21 SECONDS EAST ALONG THE WEST LINE OF SAID NORTHEAST ONE-QUARTER, A DISTANCE OF 58.00 FEET;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 3, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING;
THENCE SOUTH 50 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 46.00 FEET;
THENCE SOUTH 06 DEGREES 08 MINUTES 31 SECONDS EAST, A DISTANCE OF 72.80 FEET;
THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 302.17 FEET TO THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT, THE RADIUS OF SAID CURVE IS 289.67 FEET, THE DELTA OF SAID CURVE IS 50 DEGREES 03 MINUTES 25 SECONDS, THE CHORD OF SAID CURVE BEARS SOUTH 28 DEGREES 39 MINUTES 09 SECONDS WEST, 245.10 FEET;
THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 253.07 FEET TO THE END OF SAID CURVE;
THENCE SOUTH 53 DEGREES 35 MINUTES 23 SECONDS WEST NON-TANGENT TO THE PREVIOUSLY DESCRIBED CURVE, A DISTANCE OF 70.33 FEET;
THENCE SOUTH 58 DEGREES 24 MINUTES 21 SECONDS WEST, A DISTANCE OF 243.58 FEET;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 290.48 FEET;
THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 662.31 FEET;
THENCE NORTH 76 DEGREES 38 MINUTES 11 SECONDS EAST, A DISTANCE OF 143.76 FEET;
THENCE NORTH 00 DEGREES 41 MINUTES 21 SECONDS WEST PARALLEL WITH THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 3, A DISTANCE OF 72.63 FEET TO THE POINT OF BEGINNING.

PROJECT TEAM:

DEVELOPER: Kevin Hawkins
Hawkins Development
10009 E. Argonne Pl, Suite A103
Centennial, Colorado 80112

ARCHITECT: Kristoffer Kenton
SEM Architects
98 Spruce Street, Suite 201
Denver, Colorado 80230
303.220.8900

CIVIL ENGINEER: Randy Smith
Galloway
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Greenwood Village, CO 80111
303.770.8884

LANDSCAPE ARCHITECT: Kerry Smeester
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700 Colorado Boulevard, Suite 131
Denver, Colorado 80220
303.512.0549

SURVEYOR: Chip Beckstrom
Engineering Service Company
1300 S. Potomac Street, Suite 126
Aurora, Colorado 80012
303.337.1393

SHEET INDEX:

- 1 OF 14 COVER SHEET
2 OF 14 PUD NOTES
3 OF 14 OVERALL PUD BOUNDARY
4 OF 14 SITE PLAN
5 OF 14 GRADING & DRAINAGE PLAN
6 OF 14 OVERALL UTILITY PLAN
7 OF 14 LANDSCAPE PLAN
8 OF 14 LANDSCAPE PLAN
9 OF 14 LANDSCAPE NOTES
10 OF 14 LANDSCAPE DETAILS
11 OF 14 BUILDING B ELEVATIONS
12 OF 14 BUILDING C ELEVATIONS
13 OF 14 BUILDING G ELEVATIONS
14 OF 14 SIGNAGE

OWNER:

I, KEVIN HAWKINS, HEREBY AFFIRM THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREIN, KNOWN AS WEBSTER LAKE PROMENADE.

OWNER DATE

ACKNOWLEDGED BEFORE ME THIS DAY OF 2013, BY

WITNESS MY HAND AND OFFICIAL SEAL,

NOTARY PUBLIC

MY COMMISSION EXPIRES:

ENGINEER'S CERTIFICATE: I, RANDY SMITH, P.E., A REGISTERED PROFESSIONAL ENGINEER, DO CERTIFY THAT THE GRADING, DRAINAGE AND UTILITY PLANS FOR THE WEBSTER LAKE PROMENADE P.U.D. WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION

ENGINEER DATE

APPROVAL LIST:

PLANNING COMMISSION CHAIRPERSON DATE

DIRECTOR OF PLANNING AND DEVELOPMENT DATE

DIRECTOR OF PUBLIC WORKS AND UTILITIES DATE

MAYOR DATE

CITY CLERK DATE

CERTIFICATE OF CLERK AND RECORDER:

THIS P.U.D. WAS FILED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER IN THE COUNTY OF ADAMS, STATE OF COLORADO, THIS DAY OF AT PAGE RECEPTION NO.

BY: DEPUTY

CLERK AND RECORDER

MY COMMISSION EXPIRES:

INSTRUMENT NO.

Webster Lake Promenade

City of Northglenn
Adams County, Colorado

Hawkins Development

Table with columns Date and Issue. Rows include 12-21-2012 PUD 1ST SUBMITTAL, 3-5-2013 PUD RESUBMITTAL, 3-25-2013 PUD RESUBMITTAL, and December 21, 2012 COVER SHEET.

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2

NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



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www.SEMarchitects.com

Webster Lake Promenade
City of Northglenn
Adams County, Colorado
Hawkins Development

USES:

- ALLOWED USES:
1. IN ADDITION TO THOSE SET FORTH IN ARTICLE 19 OF CHAPTER 11 OF THE NORTH-GLLENN MUNICIPAL CODE, THE FOLLOWING SHALL BE USES-BY-RIGHT:
2. ALL USES-BY-RIGHT IN C-0, C-1 AND C-3 ZONE
3. LOUNGES AND TAVERNS
4. RESTAURANTS, INCLUDING THOSE WITH DRIVE-THRU SERVICES AND/OR LIVE MUSIC VENUE
5. HEALTH, FITNESS AND EXERCISE FACILITIES, INCLUDING DAY SPAS

PROHIBITED USES:

- 1. ANY USES EXCLUDED IN THE DEED RESTRICTIONS OF COVENANTS, CONTROLS AND RESTRICTIONS (CCRS).
2. GAS SERVICE STATIONS OR CAR WASHES, BOTH OPEN BAY AND WHERE THE PRIMARY WASH FUNCTION IS ENCLOSED WITHIN A STRUCTURE.
3. NOT-FOR-PROFIT, FRATERNAL, HOUSE OF WORSHIP OR INSTITUTIONAL USES
4. THRIFT, SECOND-HAND, PAWN AND OTHER BUSINESSES SELLING PREVIOUSLY OWNED OR DEEPLY DISCOUNTED MERCHANDISE INCLUDING DOLLAR STORES, VARIETY STORES OR PRICE POINT RETAILERS THAT SELL INEXPENSIVE ITEMS, USUALLY WITH A SINGLE PRICE POINT FOR ALL ITEMS IN THE STORE
5. SEXUALLY ORIENTED BUSINESSES AS DESCRIBED AND REGULATED BY CHAPTER 11, ARTICLE 54 OF THE NORTH-GLLENN ZONING ORDINANCE
6. AUCTION HOUSE, FIRE SALE OR BANKRUPTCY SALE (EXCEPT PURSUANT TO COURT ORDER), PROVIDED THAT ANY OCCUPANT THAT IN FACT GOES OUT OF BUSINESS MAY HOLD ONE GOING OUT OF BUSINESS SALE LIMITED TO FOUR WEEKS IN DURATION
7. BAIL BONDS BUSINESS
8. BODY PIERCING SHOPS
9. HEAD SHOP (DRUG PARCHASHERNALIA)
10. MESSAGE PARLOR
11. MORTUARY, CREMATORIUM OR FUNERAL HOME
12. PUBLIC OR PRIVATE NUISANCES (PREMISES EMITTING OR RESULTING IN STRONG, UNUSUAL OR OFFENSIVE ODORS, FUMES, DUST OR VAPORS, NOISE OR SOUNDS WHICH ARE OBJECTIONABLE OR CREATING A HAZARDOUS CONDITION) (EXCEPT BACKGROUND MUSIC FOR PUBLIC SPACES)
13. SURPLUS, SALVAGE OR LIQUIDATION STORE (SUCH AS GOODWILL, SALVATION ARMY OR GOVERNMENT SURPLUS STORE).
14. TATTOO SHOPS
15. CALL CENTER
16. UNEMPLOYMENT OFFICE
17. SALE OR CONSUMPTION OF MARIJUANA
18. WAREHOUSE, EXCEPT AS INCIDENTAL TO ANY RETAIL BUSINESS OPERATION

CONDITIONAL USES:

- 1. OTHER USES WHICH MAY BE DIRECTLY RELATED TO THE NATURE OF THIS PLANNED UNIT DEVELOPMENT WHICH HAVE NOT BEEN PREVIOUSLY ALLOWED, BUT ARE CONSIDERED BY THE CITY MANAGER OR THEIR DESIGNEE TO BE CONSISTENT WITH THE DEVELOPED AREA AND IN GENERAL HARMONY WITH THE SURROUNDING LAND USES.
2. ALL PROPOSED CONDITIONAL USES MUST ADHERE TO THE REGULATION, PROCESSES AND FEES AS DESCRIBED IN CHAPTER 11, ARTICLE 30 OF THE NORTH-GLLENN ZONING ORDINANCE.

THE CITY HALL AND RECREATION CENTER PROPERTIES DEPICTED AS LOT 8 ON THIS P.U.D. SHALL REMAIN IN THEIR CURRENT FORM UNTIL A SUBSEQUENT P.U.D. AMENDMENT IS APPROVED BY THE CITY COUNCIL FOR A FUTURE PHASE OF THE PROJECT.

STANDARD NOTES:

- 1. THE CITY OF NORTHGLENN RESERVES THE RIGHT TO PERIODICALLY REVIEW THIS P.U.D. FOR CONFORMANCE WITH ITS PROPOSED CONSTRUCTION SCHEDULE AND WHEN APPROPRIATE, REZONE THIS PROPERTY TO A DIFFERENT ZONING CLASSIFICATION.
2. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE CITY OF NORTHGLENN UTILITY STANDARDS AND SPECIFICATIONS.
3. ALL UTILITY TAPS SHALL BE SUPERVISED AND INSPECTED BY THE CITY OF NORTHGLENN PERSONNEL.
4. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE CITY OF NORTHGLENN PUBLIC RIGHT-OF-WAY STANDARDS AND SPECIFICATIONS AT THE TIME OF CERTIFICATE OF OCCUPANCY.
5. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT OF 1990.
6. PRIOR TO ISSUANCE OF BUILDING PERMIT(S), THE CITY MUST REVIEW AND APPROVE THE FOLLOWING:
- GRADING AND DRAINAGE PLAN AND REPORT
- EROSION CONTROL PLAN
- WATER AND SANITARY SEWER UTILITY CONSTRUCTION PLANS
- LANDSCAPE PLAN
- COMPLETE CONSTRUCTION PLANS FOR ALL REQUIRED PUBLIC IMPROVEMENTS, GUTTER, SIDEWALK AND TRAILS, ON AND ADJACENT TO THIS SITE.

INTENT AND MODIFICATIONS:

THE P.U.D. INDICATES THE INTENDED DEVELOPMENT PATTERN, CONFIGURATION AND USES AT THE TIME OF SUBMITTAL AND APPROVAL. THE SITE PLAN INDICATES THE ACCESS, CIRCULATION AND GENERAL PARKING CONFIGURATION AS WELL AS THE INTENDED BUILDING PAD LOCATIONS AND GENERAL FOOTPRINT CONFIGURATION. FINAL DESIGN OF INDIVIDUAL BUILDINGS WILL BE DEEMED COMPLIANT IF THEY SUBSTANTIALLY MEET THE APPROVED SITE PLAN.

DESIGNS THAT REQUIRE MINOR MODIFICATIONS TO THE APPROVED SITE PLAN, MAY BE APPROVED BY THE DIRECTOR OF PLANNING, PROVIDED THAT THE PROPOSED DESIGN MEETS THE OVERALL DEVELOPMENT PATTERN, STANDARDS AND DESIGN INTENT.

ADDITIONS TO THE PROJECT (WHETHER AT ONCE OR FROM TIME TO TIME) OF UP TO 15% (IN THE AGGREGATE) OF THE ORIGINAL APPROVED SQUARE FOOTAGE OF THE PROJECT (QUALIFIED ADDITIONS) WILL BE DEEMED 'MINOR CHANGES', WHICH MAY BE REVIEWED AND GIVEN FINAL APPROVAL BY THE CITY PLANNING STAFF ('STAFF') WITHOUT THE REQUIREMENT OF ANY PUBLIC HEARING OR CITY COUNCIL APPROVAL, PROVIDED THAT THE APPLICATION FOR APPROVAL THEREOF SHALL INCLUDE WRITTEN DOCUMENTATION FROM THE FOLLOWING QUALIFIED PROFESSIONALS THAT THE QUALIFIED ADDITION AND THE PROPOSED USE THEREOF CAN BE FULLY SERVED BY THE EXISTING PROJECT INFRASTRUCTURE, AND THAT THE QUALIFIED ADDITION WILL COMPLY IN ALL RESPECTS WITH THE REQUIREMENTS OF THE PUD AND CC&RS.

- 1. A COLORADO LICENSED ARCHITECT'S STATEMENT THAT THE QUALIFIED ADDITION COMPLIES WITH ALL DESIGN STANDARDS AND BUILDING REQUIREMENTS OF THE PUD AND CC&RS.
2. A COLORADO LICENSED CIVIL ENGINEER'S STATEMENT THAT THE EXISTING STORM AND SANITARY SYSTEMS AND CULINARY WATER SYSTEM (INCLUDING CAPACITY AND PRESSURE) ARE ADEQUATE TO SERVICE THE QUALIFIED ADDITION; AND
3. A COLORADO LICENSED TRAFFIC ENGINEER'S STATEMENT THAT THE EXISTING PARKING, DRIVE AISLES AND CURB CUTS ARE ADEQUATE TO HANDLE THE ADDITIONAL TRAFFIC GENERATED BY THE QUALIFIED ADDITION.

TOTAL DEVELOPMENT AREAS, PARKING COUNTS AND QUANTITATIVE MEASURES SHALL MEET THE APPROVED DEVELOPMENT STANDARDS.

CONSTRUCTION SCHEDULE:

THE SITE WILL DEVELOP IN A LOGICAL SEQUENCE, MANAGED WITH THE GOAL OF OPENING ALL OF THE PROPOSED BUILDINGS EITHER CONCURRENTLY OR WITH A 24-MONTH PERIOD FOLLOWING THE INITIAL BUILDING OPENING(S).

THE FOLLOWING MILESTONES ARE ANTICIPATED TO OVERLAP, WITH ALL PORTIONS COMPLETED OVER AN 18-24 MONTH TIME PERIOD.

SEQUENCE A, MONTHS 1-12 - PUBLIC IMPROVEMENTS AND SITE DEVELOPMENT, OVERLAP GRADING, UTILITIES, PARKING, LANDSCAPING AND SITE LIGHTING TO BACK-OF-CURB AT BUILDING PADS

SEQUENCE B, MONTHS 1-12 - BUILDINGS C & G, CORE & SHELL CONSTRUCTION

SEQUENCE C, MONTHS 8-24 - PAD BUILDINGS A, B, D, E & F AND TENANT IMPROVEMENTS IN BUILDINGS C & G

*PAD BUILDINGS A, B, D, E & F WILL BE DESIGNED, PERMITTED AND CONSTRUCTED BY THE INDIVIDUAL USER(S) AND THEREFORE, FOLLOWING SEQUENCE A. THEIR SCHEDULES ARE INDEPENDENT OF EACH OTHER AND OF THE REMAINDER OF THE PROJECT

PUBLIC IMPROVEMENTS:

PUBLIC IMPROVEMENTS IDENTIFIED BY THE DESIGN OF THIS PROJECT INCLUDE:

Table with 4 columns: IMPROVEMENT, COST, PHASE, PHASE 1. Includes rows for 120\"/>

DEVELOPMENT STANDARDS:

- 1. GENERAL OVERVIEW
a. The design intent is to develop the property as indicated on the Planned Unit Development (PUD). This would include the primary pedestrian environment of sidewalks, plazas & patios, along with landscaping, site lighting, and project monument signage.
b. Minor Modifications that require minor amendments to the approved Planned Unit Development (PUD) may be approved by the City Manager or their designee, provided that the proposed design meets the overall development pattern, design intent, and development standards as prescribed herein.
c. Individual building areas, parking count and other quantitative measures, within 15% of the measures approved within this PUD, shall be deemed compliant. A Minor Amendment shall be any proposed re-development or change to the approved PUD as shown in this document and the approved Civil Construction documents that does not exceed 15% of the approved square footage, parking and other infrastructure systems, including but not limited to traffic, drainage, water and sewer and other utilities shall be reviewed as a Minor Amendment.
d. The individual building designs will be controlled by the 'Webster Lake Promenade Vision Book & Design Guidelines' which will reside as an addendum to the Covenants, Controls, and Regulations (CC&R's) controlling development activities on the site and as may change from time to time.
e. Design review will be enforced by the developer and their designated design professionals.
f. Common area use, operations, and maintenance are controlled by the 'Webster Lake Promenade Covenants, Controls, and Restrictions' which are incorporated into the PUD and Subdivision for this project. The referenced CC&R's for this project include, but are not limited to:
i. Cross Access / Shared Access
ii. Joint Signage and Project Identification Details outside of those provided in the PUD
iii. Specific Details of Tenant Signage
iv. Common Area Maintenance Including: Building Grease Traps, Trash Collection, Recycling, Snow Removal, Etc
v. Landscape Maintenance
vi. Use of Common Area Plazas for Events and Promotions
vii. Use of Common Area Plazas for the display of Public Art

2. PARKING AND VEHICULAR CIRCULATION
a. In the event any tenant requires the use of shopping carts or similar devices, adequate facilities for their storage and containment is required and shall not cause the overall parking requirements to fall below City Parking Standards (cite reference) per 11-33-6.

b. Landscaped islands and medians shall be a minimum of 10 feet wide from flow line to flow line, except in limited areas. Each typical landscape island of 10 foot X 18 foot shall have 1 deciduous canopy tree. A landscape island shall be required when a single row of parking exceeds 15 spaces.

c. Parking lots shall be screened from view from public streets by use of landscaped buffers. Continuous screening, 30-inches in height, is required for any parking area directly abutting a public ROW.

d. Trash enclosures placed in the parking lots shall be set, within a landscaped island to protect the structure and provide areas for landscape buffering. Trash enclosures shall not be constructed of the following materials:
i. Wood
ii. Vinyl screening/fencing
iii. 'Chain Link' fencing material

e. Parking requirements for the development shall be in conformance with Article 11-33-6 Off Street Parking Requirements.

3. TENANT SIGNAGE
a. Each tenant will be allowed signage on each of their frontages in the amount of 2 S.F. of sign per linear foot of frontage, with a maximum allowance per sign of 100 S.F. and a minimum sign area per frontage of 40 S.F.

b. A tenant's frontage is the exterior building facade that is oriented toward the public view of the tenants space, including public R.O.W., access drives and parking fields, as well as internal open spaces between buildings

4. SIDEWALKS AND PEDESTRIAN ENVIRONMENT

a. In order to allow for the placement of street furniture such as benches and pots and the use of street trees and pedestrian lighting, the minimum width from building face to curb face shall be 15 feet.
b. No patio or outdoor dining arrangement, at the front of any building or abutting a primary pedestrian walkway, shall encroach on the 15 foot minimum sidewalk width by more than 50%.

5. ARCHITECTURE

- a. Each building of the development shall incorporate a similar level of architectural detailing on all sides. Blank walls void of architectural details or other variation are prohibited. Four-sided design shall be achieved by meeting the requirements below:
i. A single, large, dominant building mass shall be avoided.
ii. Buildings shall be designed to reduce apparent mass by dividing facades into a series of smaller components.
iii. No individual component shall have a horizontal length of more than 70 feet. Components shall be distinguished from one another by two or more of the following:
1. Variations in roof form or variations in roof height of two feet or more;
2. Changes in wall plane of 6' or more;
3. Variations in the arrangement of windows;
4. Recognizable changes in texture, surface colors, or finish materials
iv. Glazing shall be maintained without interior or exterior obstructions that limit visibility (with exception of decorative windows on the rears or ends of buildings), including, but not limited to, window signs, interior shelving, or window coverings (excluding window shades or blinds) during hours of business operation.
v. Buildings shall feature architectural details on entry side of structure. A combination of at least two or more of the following techniques shall be used:
1. Canopy, portico, archway, arcade, or similar projection that provides architectural interest and protection for pedestrians.
2. Prominent tower, dome, or turret for each building or building group;
3. Sloped roof.
4. Projecting or recessed entry;
5. A majority or preponderance of windows or glazing
6. Outdoor features, such as seat walls, permanent landscape planters with integrated benches, or architectural detailing at pedestrian view level.
vi. The following materials are required as the primary exterior building material: Brick, integrally colored concrete masonry units, and stucco.
vii. The following materials are prohibited for use on exterior building walls:
1. Un-textured tilt-up concrete panels;
2. Corrugated metal;
3. Mirrored or reflective glass, except in limited decorative ways comprising no more than 25 percent of the exterior building walls;
4. Wood is prohibited as the primary building material excepting standalone tenants that use wood as part of a signature design. Wood shall be acceptable as decorative or accent application.
b. All rooftop equipment shall be screened by materials 6' higher than the highest peak of equipment.
c. All utilities (water, gas, electric, etc.) shall be screened by walls, berms and/or dense landscaping.

d. All lighting (water, gas, electric, etc.) shall be screened by walls, berms and/or dense landscaping.

6. LIGHTING

a. Exterior lighting shall be used to emphasize entryways and architectural features. All light sources shall be screened from view of adjacent properties and public rights-of-way.

7. LANDSCAPING

- a. Landscaping standards shall conform to the City of Northglenn Zoning Ordinance Article 11-6-13 Landscaping with the exception of provisions provided below.
b. Landscape installation shall be in conformance with the approved landscape plan as part of the approved PUD. No reduction of greater than 10% of the overall quantities of landscaping material, as provided on the approved PUD, shall be allowed without a formal amendment to the PUD document. Species of landscaping plants and materials may be substituted but may not include any species currently (or in the future) prohibited by the City of Northglenn.
c. In an effort to promote overall water conservation a total of 40% of the required quantities of landscaping may be comprised of hardscape, non-living, decorative materials.

DEVELOPMENT STANDARDS:

Table with 3 columns: BUILDING SETBACKS, PARKING SETBACKS, BUILDING HEIGHT. Rows include Major Arterial Street (120') 20' minimum, Arterial Street (Grant) 15' minimum, Collectors & Interior Drives (from curb-line) 15' minimum, Interior Lot Lines 10' minimum, From Streets 15' minimum, Interior Lot Lines 5' minimum, Building Height 60' maximum.

PARKING REQUIRED (COMMON PARKING W/ CROSS PARKING EASEMENT)

Table with 2 columns: USES, S.F. REQUIREMENT. Rows include Retail Uses 1,200 S.F. GLA, Office & Services Businesses 1,300 S.F. GLA, Restaurant Uses 1,100 S.F. GLA, Daycare / Preschool 1,400 S.F. GLA.

1. DRIVE-THRU EQUIVALENT, EA 20' OF QUEUE = 1 SPACE

Table with 2 columns: Date, Issue. Rows include 12-21-2012, 3-5-2013, 3-25-2013, and 12-01-2015 with corresponding PUD SUBMITTAL/RESUBMITTAL entries.

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
 NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



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Webster Lake Promenade

City of Northglenn
 Adams County, Colorado

Hawkins Development

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL
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Date	• December 21, 2012
Proj No	• 12051.01

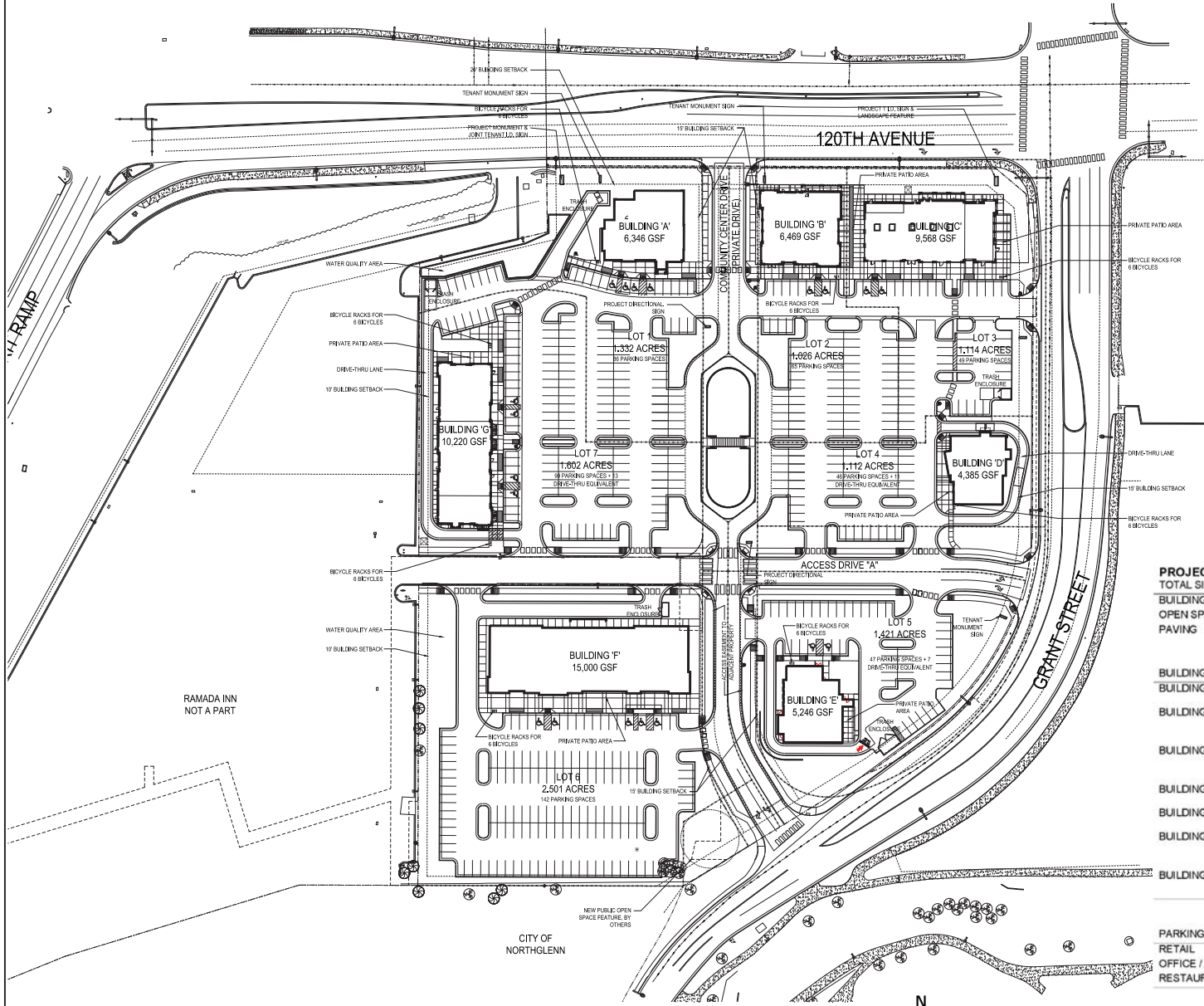
Title	• OVERALL PUD BOUNDARY
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1 OVERALL PUD BOUNDARY
 1" = 200'

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
 NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



PROJECT DATA:

TOTAL SITE AREA	10.294 ACRE	+/- 448,416 S.F.	100%
BUILDING GLA	81,934 S.F.	18.2%	
OPEN SPACE	148,557 S.F.	33.2%	
PAVING	217,925 S.F.	48.6%	

BUILDING AREA:	USE	AREA
BUILDING A	RESTAURANT	6,346 S.F.
BUILDING B	RESTAURANT	3,134 S.F.
	RETAIL	3,035 S.F.
BUILDING C	RESTAURANT	4,914 S.F.
	RETAIL/SERV.	4,654 S.F.
BUILDING D	RESTAURANT	4,385 S.F.
BUILDING E	RESTAURANT	5,246 S.F.
BUILDING F	RESTAURANT	9,000 S.F.
	RETAIL/SERV.	6,000 S.F.
BUILDING G	RESTAURANT	6,000 S.F.
	RETAIL	4,220 S.F.
TOTAL		81,934 S.F.

PARKING:	USE	FACTOR	
RETAIL	12,909 S.F.	@ 1:200 =	65
OFFICE / SERVICE	3,000 S.F.	@ 1:300 =	10
RESTAURANT	39,024 S.F.	@ 1:100 =	390
TOTAL REQUIRED			465

PROVIDED:

PARKING SPACES	534
DRIVE-THRU EQUIVALENT	31
TOTAL PARKING PROVIDED	565

Webster Lake Promenade

City of Northglenn
 Adams County, Colorado

Hawkins Development

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL

Date	• December 21, 2012
Proj No	• 12051.01
Title	• SITE PLAN

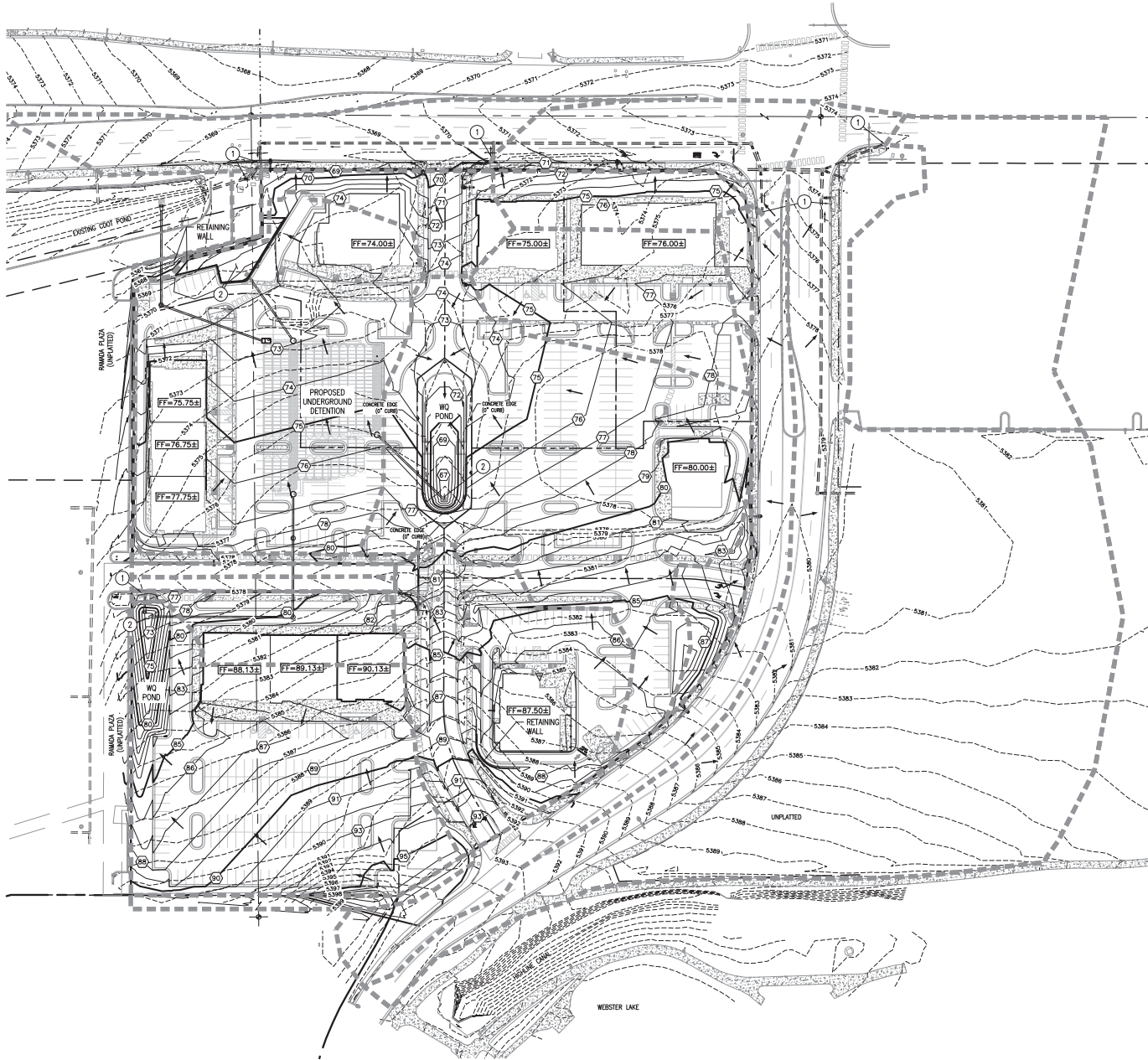
1 SITE PLAN
 1" = 80'



PLANNED UNIT DEVELOPMENT WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

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SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- SECTION LINE
- EASEMENT BOUNDARY LINE
- EXISTING FENCE TO REMAIN
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED NEW
- EXISTING INLET
- PROPOSED INLET

GRADING LEGEND

- 5375- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- FLOW ARROW

DRAINAGE LEGEND

- PROPOSED BASIN

SCHEDULE

- ① STORM INLET
- ② WQ POND OUTLET STRUCTURE



Webster Lake Promenade

City of Northglenn
Adams County, Colorado

Hawkins Development

Date	Issue
12-21-2012	PUD 1ST SUBMITTAL
3-5-2013	PUD RESUBMITTAL
3-25-2013	PUD RESUBMITTAL

Date	December, 2012
Proj No	HAW000001.01
Title	GRADING & DRAINAGE PLAN

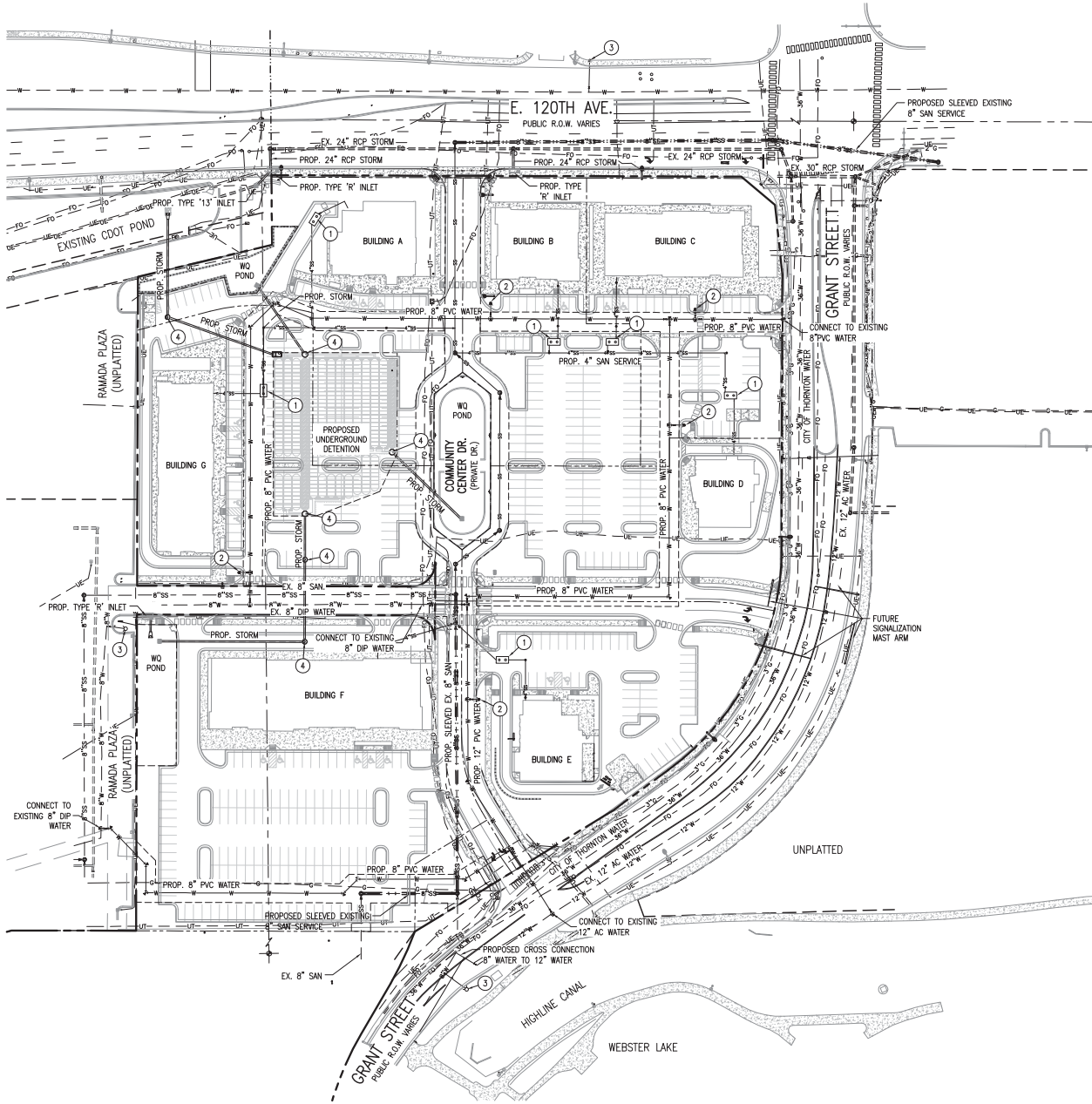
PLANNED UNIT DEVELOPMENT WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

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SITE LEGEND

- PROPERTY BOUNDARY LINE
- - - LOT LINE
- - - ADJACENT PROPERTY BOUNDARY LINE
- - - SECTION LINE
- - - EASEMENT BOUNDARY LINE

UTILITY LEGEND

- MANHOLE
- - - EXISTING WATER LINE
- W - PROPOSED WATER LINE
- SS - EXISTING SANITARY SEWER
- - - PROPOSED SLEEVED EX. SAN
- - - PROPOSED STORM SEWER
- - - PROPOSED UNDERGROUND DETENTION
- G - EXISTING UNDERGROUND GAS LINE
- UE - EXISTING UNDERGROUND ELECTRICAL
- T - EXISTING UNDERGROUND TELEPHONE
- FO - EXISTING FIBER OPTIC LINE
- EXISTING ELECTRICAL BOX
- PROPOSED SITE LIGHT
- EXISTING TRAFFIC CONTROL PEDESTAL
- EXISTING TELEPHONE PEDESTAL
- PROPOSED WATER METER
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED INLET
- EXISTING INLET

SCHEDULE

- ① PROPOSED GREASE TRAP (ALL BUILDINGS)
- ② PROPOSED FIRE HYDRANT
- ③ EXISTING FIRE HYDRANT
- ④ PROPOSED MANHOLE

BUILDING FIRE FLOW REQUIREMENTS (2009 IFC)					
BUILDING	CONST. TYPE	GROSS FLOOR AREA	SPRINKLER REDUCTION	REQUIRED FLOW	REQUIRED # OF HYDRANTS
BUILDING A	II-B	6346 sf	50%	1500 GPM	1
BUILDING B	II-B	6469 sf	50%	1500 GPM	1
BUILDING C	II-B	9898 sf	50%	1500 GPM	1
BUILDING D	II-B	4385 sf	50%	1500 GPM	1
BUILDING E	II-B	5524 sf	50%	1500 GPM	1
BUILDING F	II-B	13,692 sf	50%	1500 GPM	1
BUILDING G	II-B	10,220 sf	50%	1500 GPM	1

Webster Lake Promenade

City of Northglenn
Adams County, Colorado

Hawkins Development

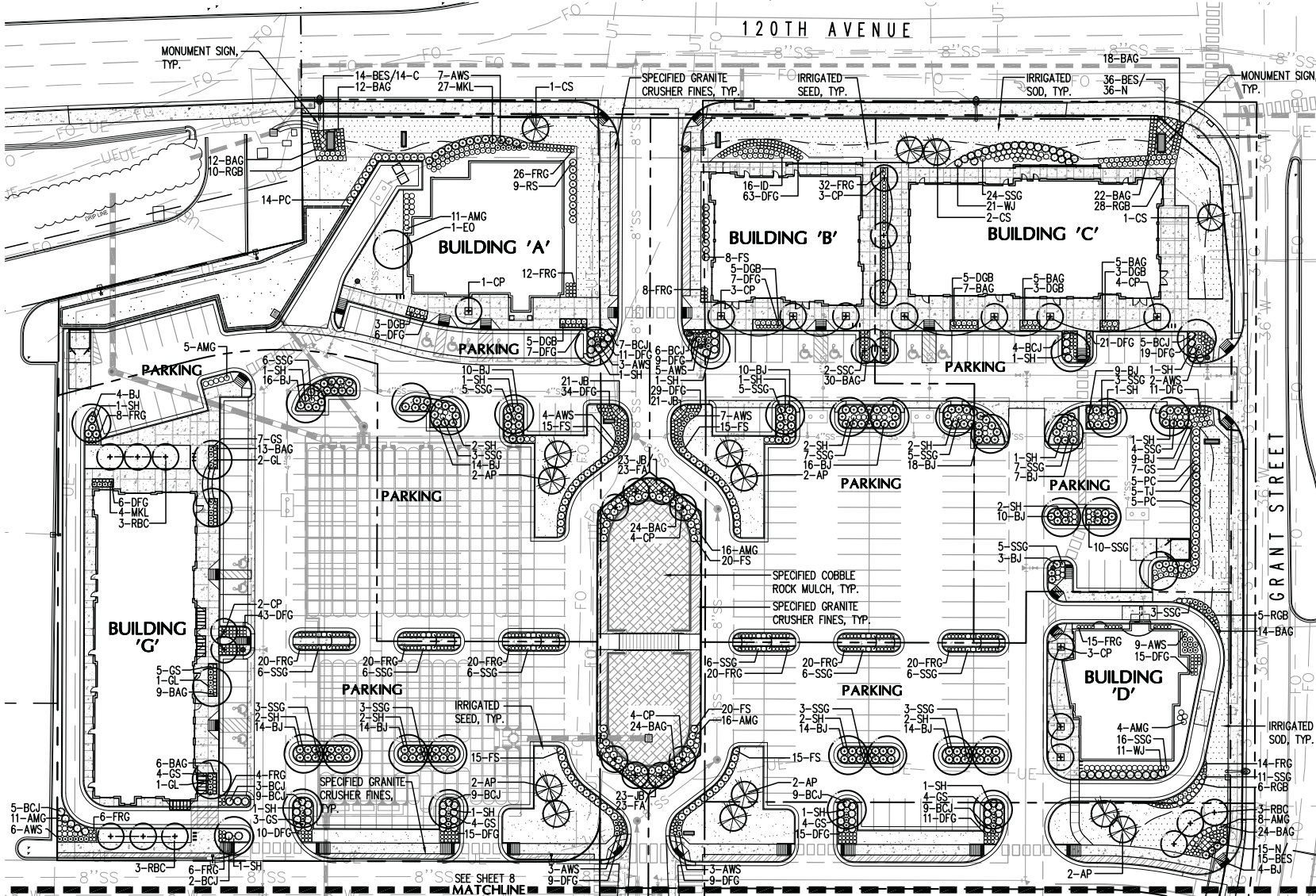
Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL

Date	• December, 2012
Proj No	• HAW00001.01

Title • OVERALL UTILITY PLAN

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT
WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
 NORTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 CITY OF NORTHGLEN, COUNTY OF ADAMS, STATE OF COLORADO



Webster Lake Promenade

City of Northglenn
 Adams County, Colorado

Hawkins Development

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL

Date	Issue

Date	• December 21, 2012
Proj No	• 12.128

Title • LANDSCAPE PLAN

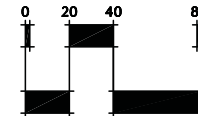
PLANT LEGEND

- | | | | |
|--|-------------------------------|--|------------------------|
| | NEW DECIDUOUS SHADE TREE | | NEW DECIDUOUS SHRUB |
| | NEW DECIDUOUS ORNAMENTAL TREE | | NEW EVERGREE SHRUB |
| | NEW EVERGREEN TREE | | NEW PERENNIALS |
| | | | NEW ORNAMENTAL GRASSES |

REFER TO SHEET 9 FOR
 LANDSCAPE NOTES AND PLANT LIST



NORTH

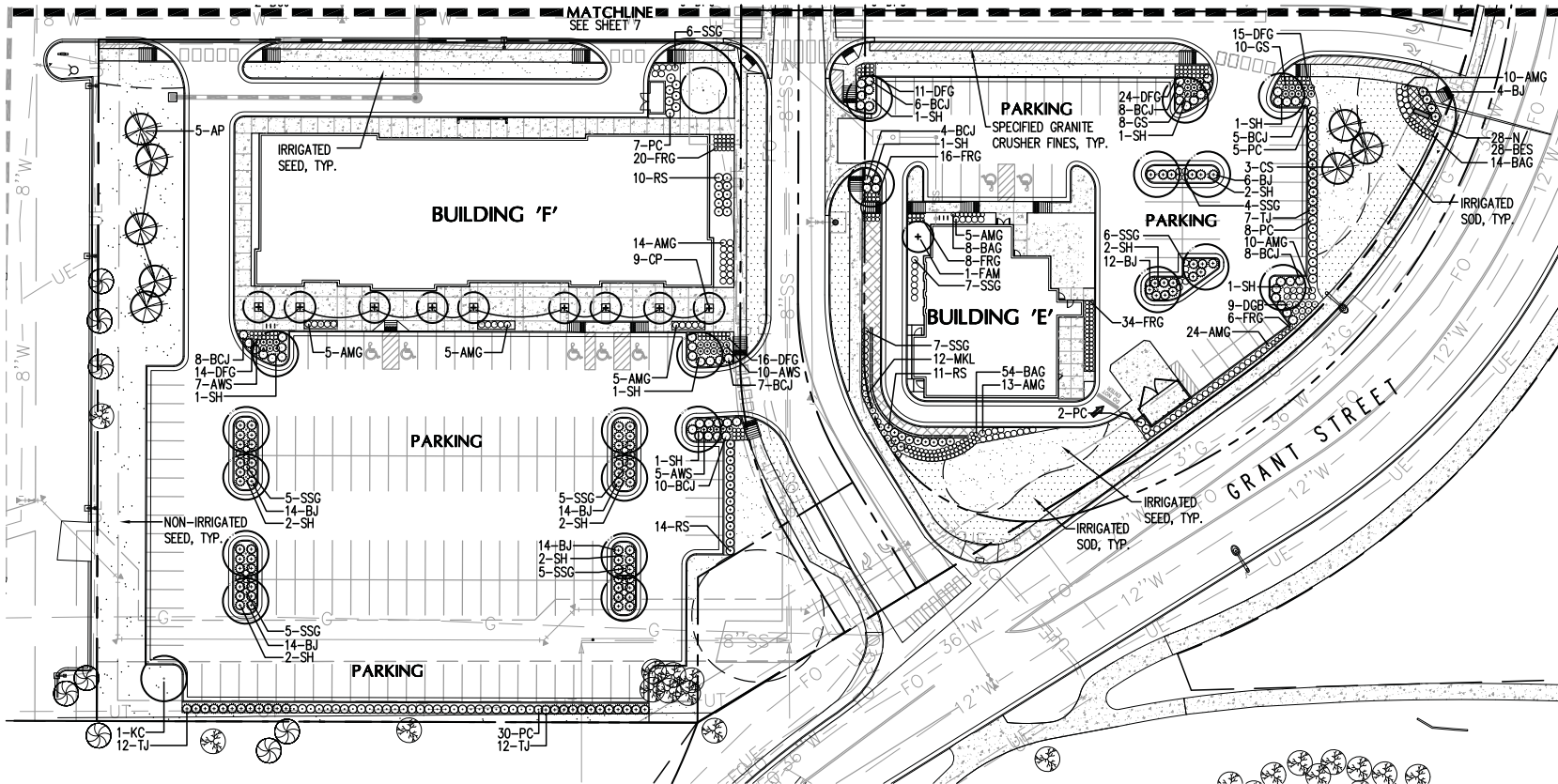


SCALE: 1"=40'-0"

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

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Webster Lake Promenade
 City of Northglenn
 Adams County, Colorado
 Hawkins Development

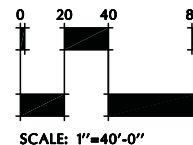
GROUND COVER LEGEND

	IRRIGATED SOD— Texas Hybrid 'Thermal Blue'		GRANITE CRUSHER FINES OVER SPECIFIED FILTER FABRIC
	IRRIGATED SEED MIX— Name %Mix		3"–6" ROUNDED RIVER COBBLE OVER SPECIFIED FILTER FABRIC
	TEMP-IRRIGATED NATIVE SEED— Name %Mix		
	Western Wheatgrass 'Arriba' 12%		
	Thick Spike Wheatgrass 'Crittana' 18%		
	Sideoats Grama 12%		
	Blue Grama 25%		
	Little Bluestem 16%		
	Prairie Sandreed 'Goshen' 12%		
	Sand Dropseed 5%		
	Big Bluegrass, Sherman 10%		
	Sandberg/Canby Bluegrass 10%		
	Arizona Fescue, Redondo 40%		
	Sheep Fescue, Ovinia 40%		

PLANT LEGEND

- NEW DECIDUOUS SHADE TREE
- NEW DECIDUOUS ORNAMENTAL TREE
- NEW EVERGREEN TREE
- NEW DECIDUOUS SHRUB
- NEW EVERGREEN SHRUB
- NEW PERENNIALS
- NEW ORNAMENTAL GRASSES

REFER TO SHEET 9 FOR
LANDSCAPE NOTES AND PLANT LIST



Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL
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Date	Issue
December 21, 2012	•
Proj No	• 12,128

Title • LANDSCAPE PLAN

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT
WEBSTER LAKE PROMENADE

LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
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 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



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PLANT LIST

QTY.	SYM.	COMMON/ BOTANIC NAME	SIZE	COMMENTS
60 DECIDUOUS SHADE TREES				
	SH	Shademaster Honeylocust <i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	2" cal.	Specimen quality, full crown, B&B, staked
	GL	Glenleven Linden <i>Tilia 'Glenleven'</i>	2" cal.	Specimen quality, full crown, B&B, staked
	KC	Kentucky Coffeetree <i>Gymnocladus dioica</i>	2" cal.	Specimen quality, full crown, B&B, staked
	EO	English Oak <i>Quercus robur</i>	2" cal.	Specimen quality, full crown, B&B, staked
45 ORNAMENTAL TREES				
	FAM	Flame Amur Maple <i>Acer ginnala</i> 'Flame'	1-1/2" cal.	Specimen quality, clump form, B&B, staked
	CP	Chanicleer Pear <i>Pyrus calleryana</i> 'Chanicleer'	1-1/2" cal.	Specimen quality, full crown, B&B, staked
	SSC	Spring Snow Crabapple <i>Malus 'Spring Snow'</i>	1-1/2" cal.	Specimen quality, full crown, B&B, staked
	TCH	Thornless Cockspur Hawthorn <i>Crateagus crus-galli inermis</i>	1-1/2" cal.	Specimen quality, clump form, B&B, staked
	RBC	Red Baron Crabapple <i>Malus 'Red Baron'</i>	1-1/2" cal.	Specimen quality, full crown, B&B, staked
22 EVERGREEN TREES				
	AP	Austrian Pine <i>Pinus nigra</i>	6'-8" ht.	Specimen quality, full form, B&B, guyed
	CS	Colorado Spruce <i>Picea pungens</i>	6'-8" ht.	Specimen quality, full form, B&B, guyed
	PP	Pinon Pine <i>Pinus cembroides edulis</i>	6'-8" ht.	Specimen quality, full form, B&B, guyed
514 DECIDUOUS SHRUBS				
	AWS	Anthony Waterer Spirea <i>Spiraea 'Anthony Waterer'</i>	5 gal.	container, 5 canes min. 3' ht., plant 3' o.c.
	RGB	Rose Glow Barberry <i>Berberis thunbergii 'Rose Glow'</i>	5 gal.	container, 5 canes min. 4' ht., plant 3' o.c.
	MKL	Miss Kim Lilac <i>Syringa patula 'Miss Kim'</i>	5 gal.	container, 5 canes min. 3' ht., plant 3' o.c.
	DGB	Dwarf Golden Barberry <i>Berberis thunbergii 'Tiny Gold'</i>	5 gal.	container, 5 canes min. 3' ht., plant 3' o.c.
	ID	Isanti Dogwood <i>Cornus sericea 'Isanti'</i>	5 gal.	container, 5 canes min. 18" ht., plant 3' o.c.
	GS	Goldmound Spirea <i>Spiraea 'Goldmound'</i>	5 gal.	container, 5 canes min. 3' ht., plant 3' o.c.
	FS	Fragrant Sumac <i>Rhus aromatica</i>	5 gal.	container, 5 canes min. 5' ht., plant 4' o.c.
	RS	Russian Sage <i>Perovskia atriplicifolia</i>	5 gal.	container, 5 canes min. 5' ht., plant 4' o.c.
	CL	Chinese Lilac <i>Syringa chinensis</i>	5 gal.	container, 5 canes min. 10' ht., plant 4' o.c.
	PC	Peking Cotoneaster <i>Cotoneaster lucidus</i>	5 gal.	container, 5 canes min. 6' ht., plant 4' o.c.
	RS	Regent Serviceberry <i>Amelanchier 'Regent'</i>	5 gal.	container, 5 canes min. 6' ht., plant 4' o.c.

QTY.	SYM.	COMMON/ BOTANIC NAME	SIZE	COMMENTS	
469 EVERGREEN SHRUBS					
	BJ	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	5 gal.	container, 18"-24" spread plant 4' o.c.	
	BCJ	Blue Chip Juniper <i>Juniperus horizontalis 'Blue Chip'</i>	5 gal.	container, 18"-24" spread plant 4' o.c.	
	WJ	Wilton Juniper <i>Juniperus horizontalis 'Wilton'</i>	5 gal.	container, 18"-24" spread plant 4' o.c.	
	TJ	Tammy Juniper <i>Juniperus sabina 'Tamariscifolia'</i>	5 gal.	container, 18"-24" spread plant 4' o.c.	
	321/1446 PERENNIALS/ORNAMENTAL GRASSES				
	BES	Black-Eyed Susan <i>Rudbeckia fulgida 'Goldsturm'</i>	1 gal.	container, plant 18" o.c.	
	JB	Jupiter's Beard <i>Centranthus ruber</i>	1 gal.	container, plant 18" o.c.	
	FA	Fall Aster <i>Aster 'Prof. Kippenburg'</i>	1 gal.	container, plant 18" o.c.	
	N	Catmint <i>Nepeta 'Walker's Low'</i>	1 gal.	container, plant 18" o.c.	
	o	FRG	Feather Reed Grass <i>Calamagrostis acut. 'Karl Foerster'</i>	1 gal.	container, plant 24" o.c.
		BAG	Blue Avena Grass <i>Helictotrichon sempervirens</i>	1 gal.	container, plant 24" o.c.
	DFG	Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hameln'</i>	1 gal.	container, plant 24" o.c.	
	SSG	Shenandoah Switch Grass <i>Panicum virgatum 'Shenandoah'</i>	1 gal.	container, plant 36" o.c.	
	AMG	Adagio Maiden Grass <i>Miscanthus sinensis 'Adagio'</i>	1 gal.	container, plant 36" o.c.	

LANDSCAPE NOTES

- ALL IRRIGATED SEEDED AREAS, AS WELL AS THE SHRUB, PERENNIAL, AND ORNAMENTAL GRASS BEDS, SHALL BE ROTOTILLED WITH CLASS I ORGANIC COMPOST AT THE RATE OF 4 CUBIC YARDS PER 1,000 SQUARE FEET. THIS PREPARATION SHALL BE THOROUGHLY INCORPORATED INTO THE TOP 6" OF SOIL.
- ALL LANDSCAPE INCLUDING THE TEMP-IRRIGATED SEED AREAS SHALL BE WATERED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. ALL IRRIGATED TURF AREAS LESS THAN 25' WIDTH SHALL HAVE A POP-UP SPRAY SYSTEM AND ALL IRRIGATED TURF AREAS GREATER THAN 25' WIDTH SHALL HAVE A ROTARY POP-UP SYSTEM PROVIDING HEAD TO HEAD COVERAGE. ALL SHRUB BEDS SHALL HAVE FULL COVERAGE WITH A DRIP OR POP-UP HEAD SYSTEM. ALL IRRIGATED SEED AREAS WILL HAVE A SEPARATELY ZONED SPRAY SYSTEM. ALL TEMP-IRRIGATED SEED AREAS SHALL HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- ALL TURF AND SHRUB BEDS SHALL BE ZONED SEPARATELY. ALL MAINLINE AND LATERALS SHALL BE PVC SOLVENT WELD PIPE SIZED TO MAINTAIN VELOCITY BELOW 5 F.P.S. ALL HEADS SHALL BE DESIGNED AND ADJUSTED TO MINIMIZE OVERSPRAY ONTO WALKWAYS AND ROADWAYS.
- SIDEWALKS SHALL BE CONSTRUCTED OF CONCRETE AND PARKING TO BE CONSTRUCTED OF ASPHALT.
- ALL SHRUB BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER NOT REQUIRED AT CURB, WALK, OR BUILDING. PLACE STEEL EDGER BETWEEN WOOD AND ROCK MULCHES.
- ALL SHRUB/ORNAMENTAL GRASS BEDS AND LANDSCAPE AREAS ADJACENT TO THE BUILDING SHALL HAVE 3" DEPTH SPECIFIED 3/4" CRUSHED GRANITE ROCK MULCH OVER SPECIFIED FILTER FABRIC.
- ALL PERENNIAL BEDS SHALL HAVE 4" DEPTH WESTERN RED CEDAR WOOD MULCH. DO NOT PLACE FILTER FABRIC UNDER WOOD MULCH.
- SEE GROUNDCOVER LEGEND FOR IRRIGATED AND NON-IRRIGATED SEED MIX.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBTSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR LENGTH.

Webster Lake Promenade

City of Northglenn
 Adams County, Colorado

Hawkins Development

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL

Date	• December 21, 2012
Proj No	• 12.128
Title	• LANDSCAPE NOTES



site design
 landscape architecture
 site planning
 700 colorado boulevard, suite 131
 denver, colorado 80206
 303.512.0549 fax 303.320.5322

9 of 14

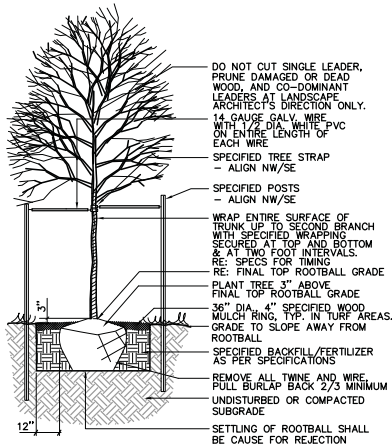
PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

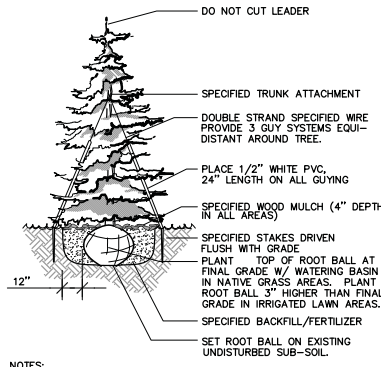
LOTS 1 & 2, BLOCK 1, HOLIDAY PARK, A PART OF McELWAIN TRACT AND PART OF McELWAIN TRACT NO.2
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 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



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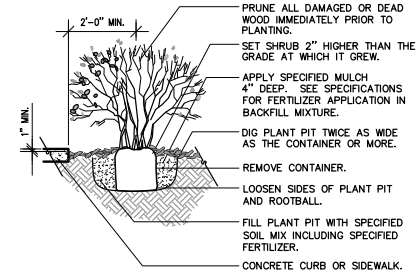


1 DECIDUOUS TREE PLANTING
N.T.S.



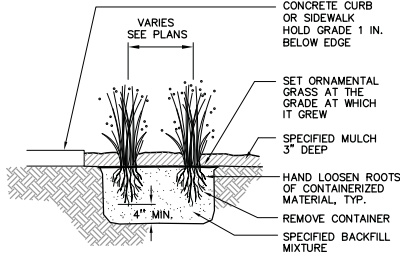
NOTES:
 1. INSTALL SPECIFIED MULCH TO DRIPLINE OF TREE WHERE PLANTED IN GRASS AREAS.
 2. DO NOT PROVIDE WATER BASIN IN IRRIGATED LAWN AREAS.

2 EVERGREEN TREE PLANTING
N.T.S.

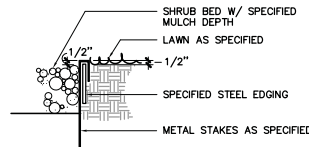


NOTES:
 1. ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
 2. HOLD GRADE 1" BELOW EDGE OF WALK OR CURB. THIS DETAIL SHALL ALSO APPLY TO PERENNIAL FLOWERS IN CONTAINER.
 3. ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF MULCH LAYER.

3 SHRUB PLANTING DETAIL
N.T.S.



4 ORNAMENTAL GRASS DETAIL
N.T.S.



NOTE:
 1. SET ALL EDGING 1/2" ABOVE FINISH GRADE AND MULCH AS SHOWN. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH W/ GRADES OF CONCRETE. ALL JOINTS TO BE SECURELY STAKED.

5 STEEL EDGER DETAIL
N.T.S.

Webster Lake Promenade

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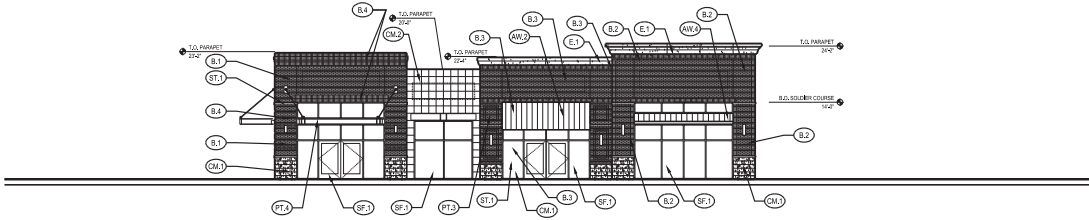
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WEBSTER LAKE PROMENADE

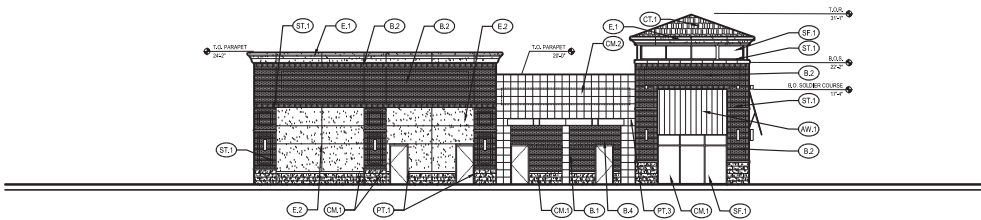
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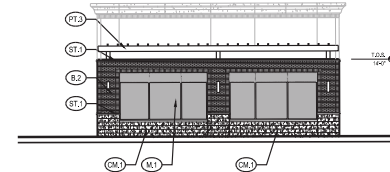
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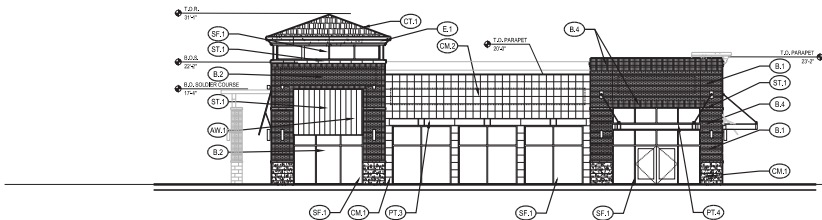
1 BUILDING B - SOUTH ELEVATION
1/16" = 1'-0"



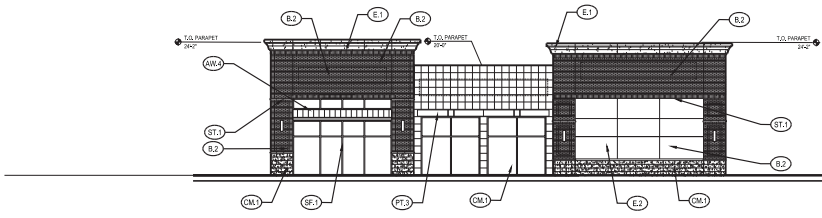
2 BUILDING B - NORTH ELEVATION
1/16" = 1'-0"



5 BUILDING B - NORTH ELEVATION
1/16" = 1'-0"
SCREEN WALL



3 BUILDING B - WEST ELEVATION
1/16" = 1'-0"



4 BUILDING B - EAST ELEVATION
1/16" = 1'-0"

ELEVATION FINISH NOTES: X

MASONRY:

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B.2 BRICK; BRICK VENEER, GENERAL SHALE, "COFFEE BEAN"
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ST.1 C.M.U. ACCENT; ARRISCRAFT, SMOOTH, "OAK RIDGE"

- EXTERIOR INSULATION FINISH SYSTEM:
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E.2 E.I.F.S.; DRYVIT COLOR CANVAS, OYSTER SHELL #456, FINE TEXTURE

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METAL

- M.1 PERFERATED METAL
M.2 COPPER

WINDOW SYSTEM:

- SF.1 ALUMINUM WINDOW SYSTEM, CLEAR ANODIZED FINISH, WITH 1" INSULATED GLASS UNITS, CLEAR LOW-E GLASS

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- CT.1 CONCRETE ROOF TILE; WESTILE "CHARCOAL"
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Webster Lake Promenade

City of Northglenn
Adams County, Colorado

Hawkins Development

Table with columns for Date, Issue, and project milestones including 12-21-2012 PUD 1ST SUBMITTAL and 3-5-2013 PUD RESUBMITTAL.

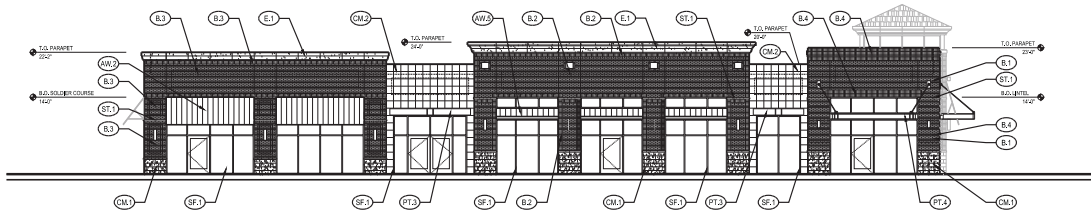
PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

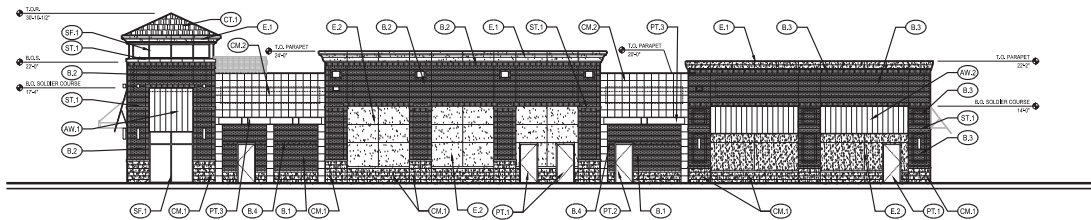
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 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



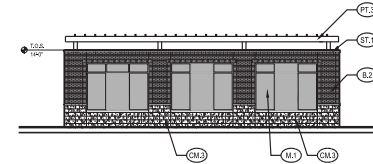
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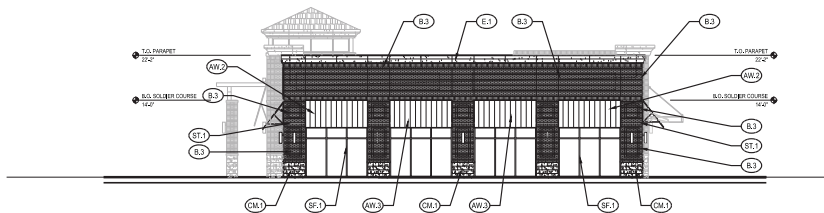
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 1/16" = 1'-0"



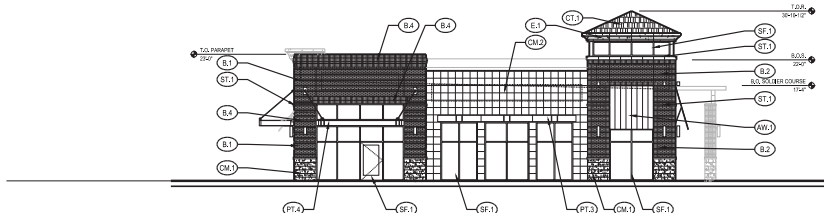
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 SCREEN WALL



3 BUILDING C - WEST ELEVATION
 1/16" = 1'-0"



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ELEVATION FINISH NOTES: (X)

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Date	• December 21, 2012
Proj No	• 12051.01
Title	• ELEVATIONS

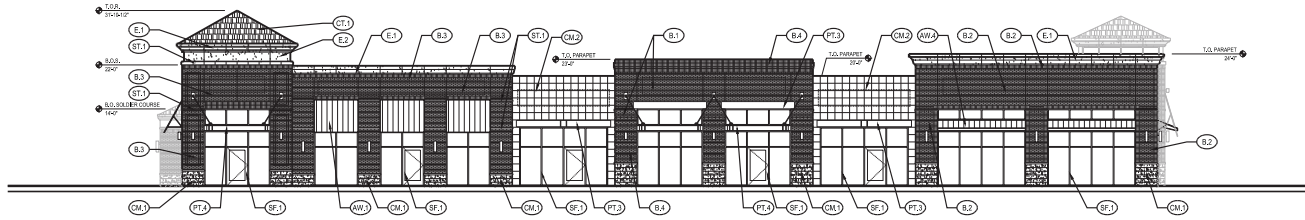
PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT

WEBSTER LAKE PROMENADE

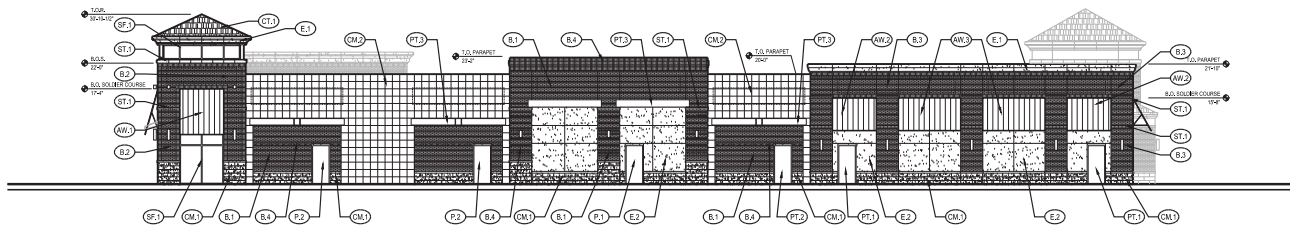
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SEM
ARCHITECTS

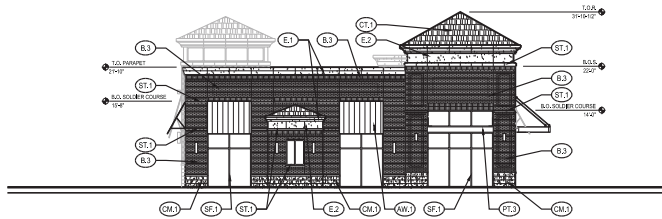
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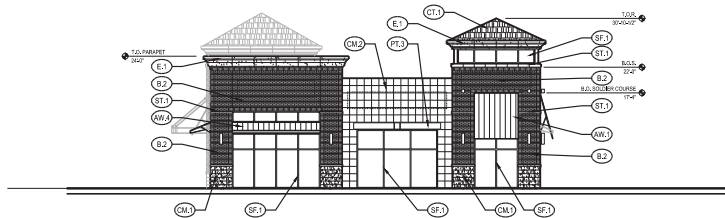
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3/32" = 1'-0"



2 BUILDING G - WEST ELEVATION
3/32" = 1'-0"



3 BUILDING G - SOUTH ELEVATION
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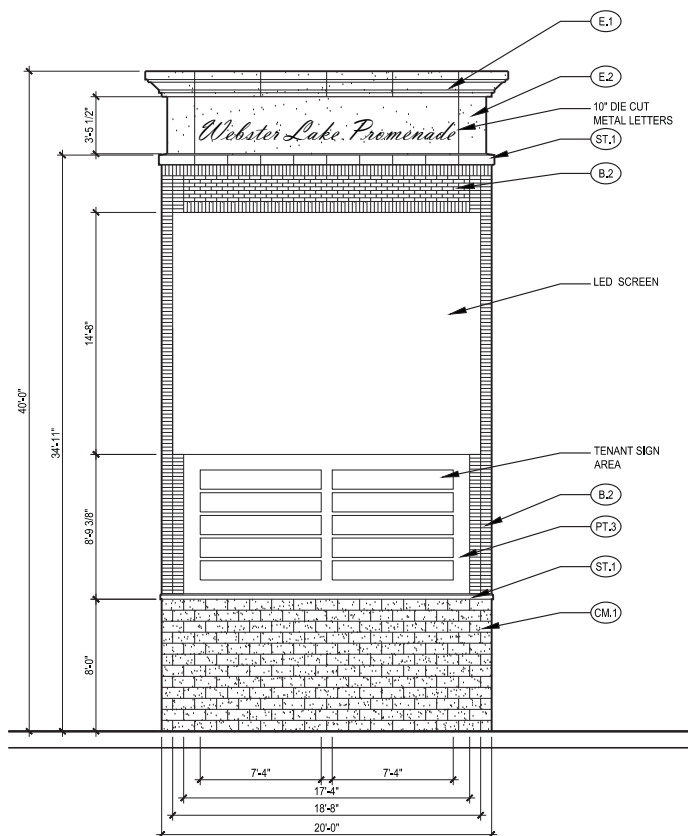
4 BUILDING G - NORTH ELEVATION
3/32" = 1'-0"

ELEVATION FINISH NOTES: (X)

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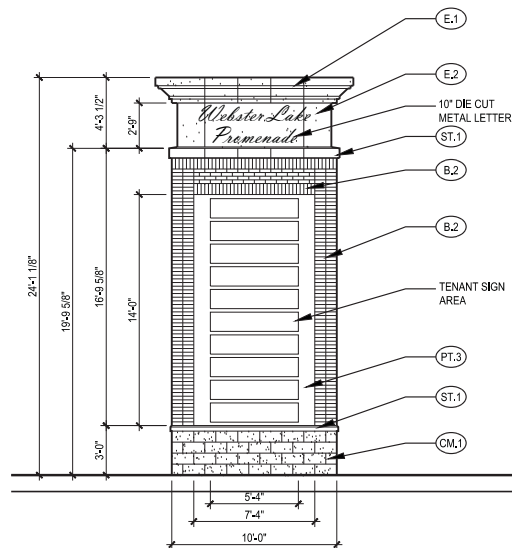
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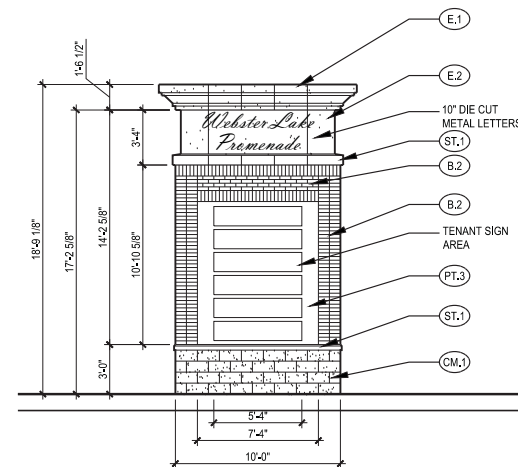
1 PROJECT MONUMENT WITH LED SCREEN & JOINT TENANT I.D. SIGN

3/16" = 1'-0"



2 PROJECT MONUMENT & JOINT TENANT I.D. SIGN

3/16" = 1'-0"



3 TENANT MONUMENT SIGN

3/16" = 1'-0"

ELEVATION FINISH NOTES: (X)

MASONRY:

B.1 BRICK; BRICK VENEER, GENERAL SHALE, "COLONIAL S"

B.2 BRICK; BRICK VENEER, GENERAL SHALE, "COFFEE BEAN"

B.3 BRICK; BRICK VENEER, GENERAL SHALE, "COOPERSTOWN"

B.4 BRICK; BRICK VENEER, GENERAL SHALE, "BALL PARK"

CM.1 C.M.U.; 8x24 SPLIT-FACED C.M.U. VENEER, "SAVIO TAN" #637

CM.2 C.M.U.; 16x16 GROUND-FACED C.M.U. VENEER, "SAVIO TAN" #637

ST.1 C.M.U. ACCENT; ARRISCRAPT, SMOOTH, "OAK RIDGE"

EXTERIOR INSULATION FINISH SYSTEM:

E.1 E.I.F.S.; DRYVIT COLOR CANVAS, MANOR WHITE #108, FINE TEXTURE

E.2 E.I.F.S.; DRYVIT COLOR CANVAS, OYSTER SHELL #456, FINE TEXTURE

PAINT:

PT.1 PAINT FINISH, TO MATCH E.1 MANOR WHITE, BENJAMIN MOORE, OC-96, "GENTLE CREAM"

PT.2 PAINT FINISH, TO MATCH B1 COLONIAL S, BENJAMIN MOORE, 2092-30, "BOSTON BRICK"

PT.3 PAINT FINISH, BENJAMIN MOORE, 2121-10, "GRAY"

PT.4 PAINT FINISH, BENJAMIN MOORE, 2121-30 "PEWTER"

METAL

M.1 PERFERATED METAL

M.2 COPPER

WINDOW SYSTEM:

SF.1 ALUMINUM WINDOW SYSTEM, CLEAR ANODIZED FINISH, WITH 1" INSULATED GLASS UNITS, CLEAR LOW-E GLASS

ROOFING:

CT.1 CONCRETE ROOF TILE; WESTILE "CHARCOAL"

TPO INTEGRALLY COLORED T.P.O. ROOFING, TAN COLOR.

AWNINGS:

AW.1 CANVAS AWNING; SUNBRELLA, PLUM STYLE 4625 "NAVY"

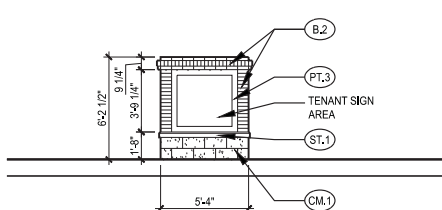
AW.2 CANVAS AWNING; SUNBRELLA, PLUM STYLE 4674 "WHEAT"

AW.3 CANVAS AWNING; SUNBRELLA, PLUM STYLE 4608 "BLACK"

AW.4 CANVAS AWNING; SUNBRELLA, PLUM STYLE 4622 "TERRA COTTA"

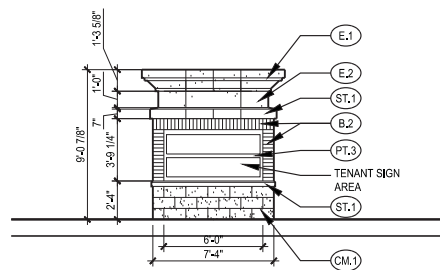
AW.5 CANVAS AWNING; SUNBRELLA, PLUM STYLE 4668 "ASPEN"

Date	Issue
12-21-2012	• PUD 1ST SUBMITTAL
3-5-2013	• PUD RESUBMITTAL
3-25-2013	• PUD RESUBMITTAL
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Date	• December 21, 2012
Proj No	• 12051.01
Title	• SIGNAGE



4 TENANT MONUMENT SIGN

3/16" = 1'-0"



5 PROJECT DIRECTIONAL SIGN

3/16" = 1'-0"