



**PLANNING AND DEVELOPMENT DEPARTMENT MEMORANDUM  
#34-2020**

**DATE:** September 14, 2020

**TO:** Honorable Mayor Meredith Leighty and City Council Members

**THROUGH:** Heather Geyer, City Manager 

**FROM:** Brook Svoboda, Director of Planning and Development   
Eric Ensey, Senior Planner  
Ashley McFarland, Planner I

**SUBJECT:** CR-124 – License Agreement with 41581 Northglenn CO, LLC

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**PURPOSE**

To consider CR-124, a resolution approving a license agreement with 41581 Northglenn CO, LLC (7-Eleven) to allow for the installation of landscaping and utility connections on City-owned land to facilitate the development of a new 7-Eleven on the property commonly known as Charlie's Auto.

**BACKGROUND**

The subject site is located on the north side of East 104<sup>th</sup> Avenue and east of Irma Drive. Attachment 1 is a vicinity map showing the location. The property is currently owned by Charlie Ehmka. 41581 Northglenn CO, LLC is acting on behalf of Ehmka. The proposed development includes the subdivision of the property from one lot into two lots. The subdivision is titled "104<sup>th</sup> and Irma Convenience Minor Subdivision" and has been included as Attachment 2. The City's Unified Development Ordinance outlines the approval of a minor subdivision application as an administrative process approved by the Planning and Development Department director.

The proposed development includes the construction of a new 7-Eleven gas station and convenience store on the western portion of the property (Lot 1 of the plat), which will be developed by 41581 Northglenn CO, LLC. Ehmka will retain the eastern lot (Lot 2 of the plat). The plat has been reviewed and is ready for approval. There are three agreements associated with the plat that require approval by City Council that are on the Sept. 14, 2020, agenda for Council's consideration. They are as follows:

<b>Agenda Item</b>	<b>Agreement Name</b>	<b>Brief Description</b>
CR-119	Subdivision Improvement Agreement	An agreement between the City and the developer to ensure that the required public sanitary sewer mainline is constructed to provide sanitary sewer access to the property.
CR-120	Permanent Access Easement	An agreement between the City and the developer to grant access to East 104 <sup>th</sup> Avenue over a tract of City-owned land.
CR-124	License Agreement	An agreement between the City and the developer to allow for certain improvements to be made on the City-owned tract of land located between the subject property and the East 104 <sup>th</sup> Avenue right of way.

The agreements are presented as exhibits to separate resolutions for consideration, with City Council taking action on each resolution.

In addition to the minor subdivision, a minor site plan is pending administrative approval subject to City Council approval of the three agreements. Attachment 3 includes the Irma Convenience Minor Site Plan for reference purposes.

This license agreement is required to accommodate possible improvements as part of the development of the 7-Eleven gasoline and convenience store on Lot 1 of the 104<sup>th</sup> and Irma Convenience Minor Subdivision Plat.

The applicant is proposing landscaping and driveway improvements across a tract of City-owned land. This tract is between the applicant's property and the East 104<sup>th</sup> Avenue right of way and is identified as Tract 41 of the North Glenn 14<sup>th</sup> Filing Subdivision Plat. Attachment 4 is the North Glenn 14<sup>th</sup> Filing Subdivision Plat. Additionally, Tract 41 is labeled and identified on the aerial vicinity map included as Attachment 1.

Tract 41 is adjacent to the East 104<sup>th</sup> Avenue right of way and runs from Irma Drive east to the City boundary. The tract is not a street right of way; instead, it is a separate parcel of land owned by the City and located between privately-owned land and the East 104<sup>th</sup> Avenue right of way. As a result, this agreement is required in order to add meaningful landscaping and utility connections to Tract 41 between the proposed 7-Eleven and East 104<sup>th</sup> Avenue. The license agreement includes an exhibit that identifies the proposed improvements within the City's Tract 41.

A license agreement allows for improvements on City-owned land without the City rescinding ownership. This agreement would allow for the 7-Eleven development to install and maintain certain landscaping on the City-owned land. The agreement is revocable, if necessary, and provides language that allows the City to require the removal of improvements. The removal is subject to formal notification of such intent if the land is needed in the future for City purposes.

#### **STAFF RECOMMENDATION**

Attached to this memorandum is a proposed resolution which, if approved, would grant a license agreement to 41581 Northglenn CO, LLC (7-Eleven). Staff recommends approval of CR-124.

#### **BUDGET/TIME IMPLICATIONS**

There are no financial impacts to the City. The license agreement requires the property owner to maintain all improvements.

#### **STAFF REFERENCE**

If Council members have any questions they may contact Director of Planning and Development Brook Svoboda at 303.450.8937 or bsvoboda@northglenn.org.

#### **ATTACHMENTS**

1. Aerial vicinity map
2. 104<sup>th</sup> and Irma Convenience Minor Subdivision Plat
3. Irma Convenience Minor Site Plan
4. North Glenn 14<sup>th</sup> Filing Subdivision Plat

CR-124 – License Agreement with 41581 Northglenn CO, LLC  
License Agreement

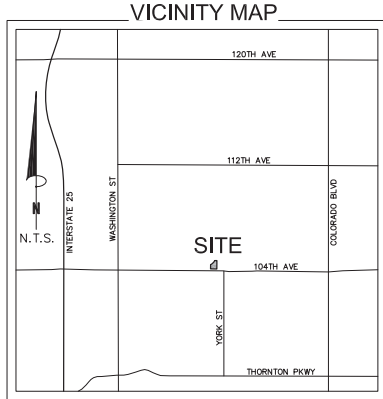


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# 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

Sheet 1 of 2



**NOTES:**

- This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Clark Land Surveying, Inc. relied upon a Commitment for Title Insurance, prepared by Fidelity National Title, Commitment No. 100-N0023034-030-TH with an effective date of July 23, 2019.
- Basis of bearings is the West line of the property, monumented on the North end with a Found No. 4 Rebar with a 1" yellow plastic cap, PLS "6973", 0.3 feet below grade, and on the South end with a found No. 5 rebar, flush with grade, measured to bear N00°03'21"W, a distance of 212.50 feet.
- Easements and other record documents shown or noted on this survey were examined as to location and purpose and were not examined as to restrictions, exclusions, conditions, obligations, terms, or as to the right to grant the same.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA FIRMeTte published July 23, 2019, referencing Flood Insurance Rate Map, Map Number 08001C0314H effective date March 05, 2007, indicates this parcel of land is located in Zone X (Area of minimal flood hazard).
- The lineal units used in this drawing are U.S. Survey Feet.
- Parcel is subject to the plat of North Glenn Fourteenth Filing, recorded August 2, 1961 in Plat Book F11, Page 22.
- Parcel is subject to the terms, conditions, provisions, agreements and obligations contained in the Utility Agreement, recorded November 13, 1964 in Book 1191, Page 384. Addendum recorded February 25, 1974 in Book 1914, Page 936.
- Parcel is subject to the terms, conditions, provisions, agreements and obligations contained in the easement as set forth in Deed Recorded November 22, 1960 in Book 879, Page 440.

**LEGAL DESCRIPTION:**

Known all men by these presents that Charles W Ehmka, DBA Charlies Auto & Truck Sales, LLC being the owner of the real property of 20292 acres, more or less, described as follows:

BEGINNING at the Southwest corner of said Tract 43; Thence Northerly along the Westerly line of said Tract 43, a distance of 212.41 feet to a point on curve; Thence Northeasterly along the Northeasterly line of said Tract 43 on a curve to the left with radius of 310.00 feet and the long chord of said curve being deflected 58 degrees 54 minutes 48 seconds to the right, and arc distance of 338.01 feet to a point; Thence Easterly and parallel with the south line of said Tract 43, a distance of 75.09 feet to a point; Thence Southerly and perpendicular to the South line of said Tract 43, a distance of 379.14 feet to a point on the South line of said Tract 43; Thence Westerly along the South line of said Tract 43, a distance of 350.00 feet to the POINT OF BEGINNING.

containing 99,852 square feet, 2.292 acres, more or less

**OWNERSHIP AND DEDICATION CERTIFICATE:**

The undersigned certifies to and for the benefit of the City Council of Northglenn City, Colorado, that as of the date set forth below, we Charles W Ehmka, DBA Charlies Auto & Truck Sales, LLC being the owner of the land described above, have good right and full power to convey, encumber and subdivide same, and that the property is free and clear of all liens, encumbrances, easements and rights-of-way except the easements and rights-of-way depicted on this plat. In the event of a defect in said title which breaches the warranties in this certificate, the undersigned, jointly and severally, agree(s) to remedy such defect upon demand by Northglenn City, which remedy shall not be deemed exclusive.

A part of Tract 43, North Glenn-Fourteenth Filing, Adams County, Colorado, described as follows:

KNOW ALL MEN BY THESE PRESENTS, THAT the undersigned, being the owners, mortgagees or lien holders of the land described above, have caused the land to be laid out and platted under the name of 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION and do hereby dedicate and grant to the public forever and in fee simple the roads and other public ways and lands shown hereon, and do hereby dedicate to Northglenn City, and appropriate utility companies and emergency assistance entities, the easements as shown hereon for the purposes stated in compliance with the City of Northglenn Subdivision Regulations and the landowners shall bear all expense involved in planning, design, and construction of all public improvements except to the extent expressly stated in any City-approved and recorded subdivision improvement agreement. Dedication shall be final upon adoption by the City Council accepting the property dedicated by this plat. Except as otherwise stated on this plat, there shall be no limitation or restriction upon the purpose or public use of property dedicated by this plat.

In Witness Whereof; we do hereunto set our hands and seals this \_\_\_\_\_ day of \_\_\_\_\_,

Charles W Ehmka, DBA Charlies Auto & Truck Sales, LLC

**NOTARIAL:**

State of \_\_\_\_\_ }  
County of \_\_\_\_\_ } SS  
City of \_\_\_\_\_

The forgoing dedication was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

by \_\_\_\_\_

My commission expires: \_\_\_\_\_

Notary Public: \_\_\_\_\_

**CITY APPROVAL CERTIFICATE:**

This is to hereby certify on \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, the City of Northglenn, Colorado, has approved this site plan for the development of 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION in conformance with the ordinances of the City of Northglenn.

By: \_\_\_\_\_  
Director, Planning and Development

\_\_\_\_\_  
Director, Public Works

**RECORDATION CERTIFICATE:**

STATE OF COLORADO }  
COUNTY OF ADAMS } SS

I hereby certify that this instrument was filed of record at my office at \_\_\_\_\_ o'clock \_\_M., this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

Reception No. \_\_\_\_\_, File \_\_\_\_\_, Map \_\_\_\_\_

By: \_\_\_\_\_  
Clerk and Recorder

**SURVEYOR'S STATEMENT:**

I, Stewart L. Mapes, Jr., do hereby certify that the survey of the boundary of 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION was made under my supervision and the accompanying plat accurately represents said survey.

The undersigned Colorado Registered Professional Land Surveyor does hereby state that the accompanying plat was surveyed and drawn under his direct responsibility and supervision and to the normal standard of practice by surveyors in the State of Colorado and accurately shows the described tract of land thereof, and that the requirements of Title 38 of the Colorado Revised Statutes, 1973, as amended, have been met to the best of his professional knowledge, belief and opinion.

This statement is neither a warranty nor guarantee, either expressed or implied.

Stewart L. Mapes, Jr.  
Colorado Professional Land Surveyor No. 38248  
For and on behalf of Clark Land Surveying, Inc.

This survey plat is null and void without surveyor's original signature and seal.



No.	Description	By	Date
2	Added easement	DWC	03/30/2020
1	Address attorney comments	NJM	01/15/2020

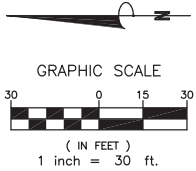
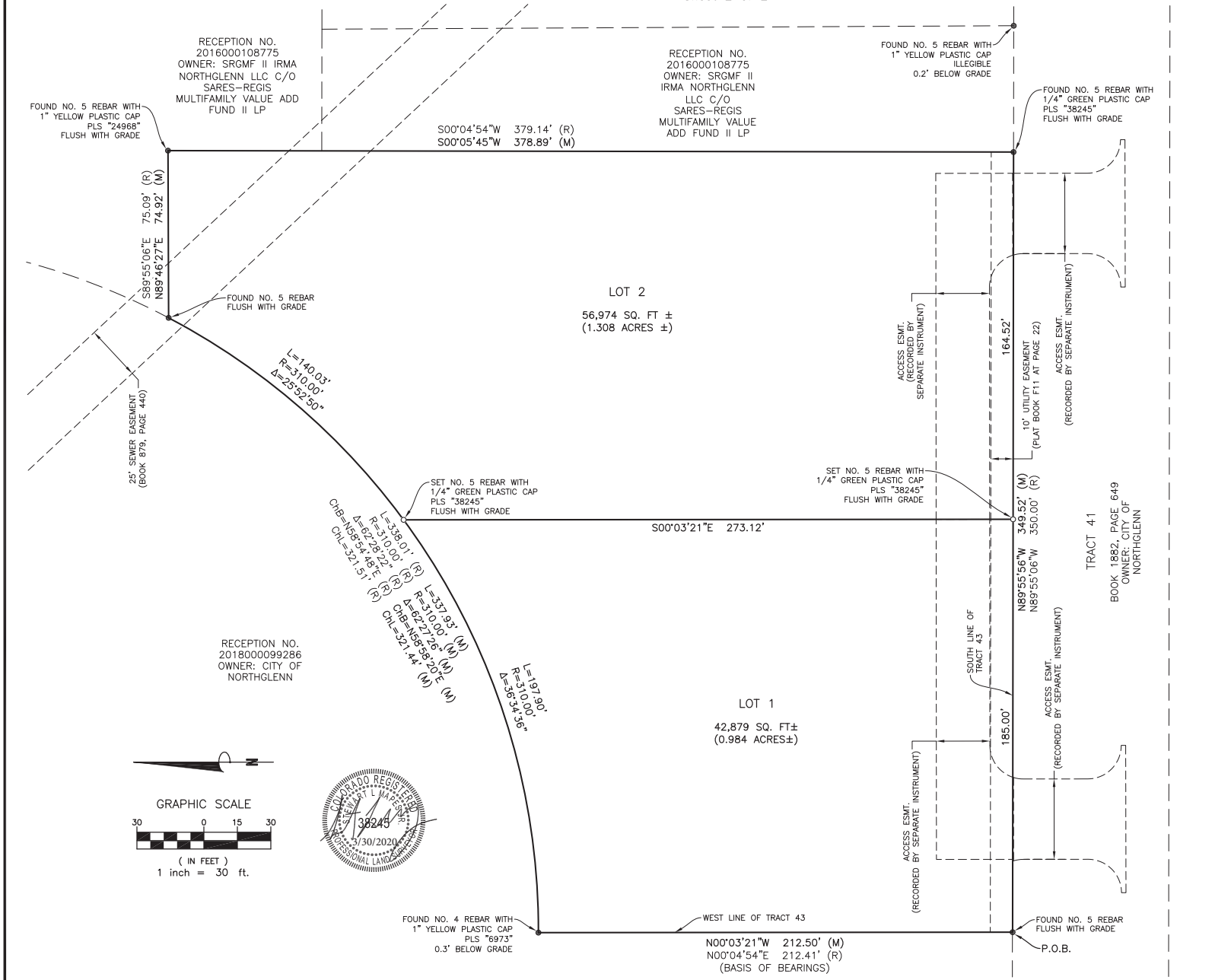
Notice: According to Colorado law you must examine this plat for errors or defects in this survey within three years after you first discover such defect. In no event may the statute of limitations period be commenced more than ten years from the date of the certification shown hereon.

104TH AND IRMA CONVENIENCE MINOR SUBDIVISION  
A PORTION OF THE SE 1/4 OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF NORTHGLENN, ADAMS COUNTY, STATE OF COLORADO  
Date: 12/09/2019  
Drawn By: NJM  
Checked By: SJM  
Project No. 190886  
Sheet 1 of 2

# 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

Sheet 2 of 2



No.	Date	By	Description
2	03/30/2020	DWC	Added easement
1	01/15/2020	NJM	Address attorney comments

Notice: According to Colorado law you must examine the plat and the survey instrument to which this survey refers within three years after you first discover such defect. In no event may a claim for damages be commenced more than ten years from the date of the certification shown herein.

104TH AND IRMA CONVENIENCE MINOR SUBDIVISION  
A PORTION OF THE SE 1/4 OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF NORTHGLENN, ADAMS COUNTY, STATE OF COLORADO

Project: 190886  
Date: 12/09/2019  
Drawn By: NJM  
Checked By: SLM  
Sheet 1 of 2

**IRMA CONVENIENCE**  
 MINOR SITE PLAN  
 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION  
 A PORTION OF THE SOUTHEAST 1/4 OF SECTION 11,  
 TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
 2205 E. 104th AVENUE



VICINITY MAP  
 1" = 1,000'

**LEGAL DESCRIPTION**

LOT 1, EHMKA SUBDIVISION, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

**OWNER'S CERTIFICATE**

IN TESTIMONY WHEREOF, THE CHARLIE'S AUTO AND TRUCK SALES HAS CAUSED THESE PRESENTS TO BE SIGNED BY CHARLIE EHMKA, ITS PRESIDENT THEREUNTO AUTHORIZED, ATTESTED BY ITS SECRETARY (OR AUTHORIZED TRUST OFFICER), \_\_\_\_\_ AND ITS COMMON SEAL HEREUNTO AFFIXED BY THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

BY: \_\_\_\_\_  
 CHARLIE EHMKA  
 CHARLIE'S AUTO AND TRUCK SALES  
 PRESIDENT

ATTEST:  
 BY: \_\_\_\_\_  
 (NAME OF SECRETARY OR AUTHORIZED TRUST OFFICER)  
 (TITLE)

(AFFIX CORPORATE SEAL)

**CITY APPROVAL CERTIFICATE**

THIS IS TO HEREBY CERTIFY THAT ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ THE CITY OF NORTHGLENN, COLORADO, HAS APPROVED THIS SITE PLAN FOR THE DEVELOPMENT OF \_\_\_\_\_ IRMA CONVENIENCE \_\_\_\_\_ IN CONFORMANCE WITH THE ORDINANCES OF THE CITY OF NORTHGLENN.

BY: \_\_\_\_\_  
 DIRECTOR, PLANNING AND DEVELOPMENT

BY: \_\_\_\_\_  
 DIRECTOR, PUBLIC WORKS

**NOTE:**

1. SIGNAGE IS NOT REVIEWED AS PART OF THIS SITE PLAN APPROVAL. ALL SIGNAGE REQUIRES A SEPARATE REVIEW IN ACCORDANCE WITH THE REQUIREMENTS OF THE SIGN CODE.

**PROJECT BENCHMARK:**

NGS MONUMENT KK1403. ELEVATION: 5286.40 (NAVD 88)

TBM: TOP WESTERLY FLANGE BOLT OF FIRE HYDRANT ALONG SOUTH PROPERTY LINE. ELEVATION: 5247.57 (NAVD 88)

**PROJECT BASIS OF BEARING:**

WEST LINE OF THE PROPERTY, MONUMENTED ON THE NORTH END WITH A FOUND #4 REBAR WITH A YELLOW PLASTIC CAP, PLUS 0.973, 0.3 FEET BELOW GRADE, AND ON THE SOUTH END WITH A FOUND #6 REBAR, FLUSH WITH GRADE, MEASURED TO BEAR NORTH 00°02'21" WEST.

**SHEET INDEX**

- 1 COVER SHEET
- 2 SITE PLAN
- 3 UTILITY PLAN
- 4 GRADING PLAN
- 5 LANDSCAPE PLAN
- 6 PHOTOMETRIC PLAN
- 7 PHOTOMETRIC DETAILS
- 8 BUILDING ELEVATIONS

ZONING		IN, INDUSTRIAL
SITE ACREAGE		42,910.56 SQ. FT.
COVERAGE		3,521.87 SQ. FT.
PARKING SPACES	BUILDING	21,651.40 SQ. FT.
	PARKING	15,543.30 SQ. FT.
	LANDSCAPING IMPERVIOUS	63.78%
PARKING SPACES PROVIDED	REQUIRED	11
	PROVIDED	14
Automotive Fuel Sales Min. Parking Requirements:	BICYCLE	2
		1 space per 350 sq. ft., fuel pump spaces and any parking spaces under the canopy shall not count toward meeting the minimum required parking
Automotive Fuel Sales Max. Parking Requirements:		Up to 25% additional parking space allowance.
		Calculation: Max. Spaces = round(1.25 * 11 (Min. Spaces)) = 14 Total Spaces
SETBACKS	FRONT REQUIRED	40 FEET
	FRONT PROVIDED	45.50 FEET
	SIDE REQUIRED	15 FEET
	SIDE PROVIDED	30.27 FEET
	REAR REQUIRED	15 FEET
	REAR PROVIDED	27.63 FEET
BUILDING HEIGHT	CANOPY REQUIRED	15 FEET
	CANOPY PROVIDED	53 FEET
	MAXIMUM ALLOWED	65 FEET
	PROPOSED	24 FEET

**OWNER:**  
 CHARLIE'S AUTO AND TRUCK SALES  
 14640 COLORADO BOULEVARD  
 BRIGHTON, CO 80602  
 (303) 520-4235  
 CHARLIE EHMKA

**DEVELOPER:**  
 CREIGHTON COMMERCIAL DEVELOPMENT  
 900 SW PINE ISLAND ROAD, SUITE 202  
 CAPE CORAL, FLORIDA 33991  
 (239) 210-0455  
 CHUCK PRINCE

**ARCHITECT:**  
 THE DIMENSION GROUP  
 5600 S. QUEBEC STREET  
 SUITE 325C  
 GREENWOOD VILLAGE, COLORADO 80111  
 (720) 536-3180  
 STAYTON R. WOOD, AIA

**CIVIL ENGINEER:**  
 THE DIMENSION GROUP  
 5600 S. QUEBEC STREET  
 SUITE 325C  
 GREENWOOD VILLAGE, COLORADO 80111  
 (720) 536-3180  
 CHAD A. WHEELER, PE

**LANDSCAPE ARCHITECT:**  
 EVERGREEN DESIGN GROUP, INC.  
 1755 TELSTAR DR., SUITE 300  
 COLORADO SPRINGS, COLORADO 80920  
 (800) 880-6630  
 CHRIS ROSE, PLA

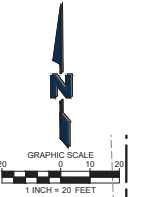
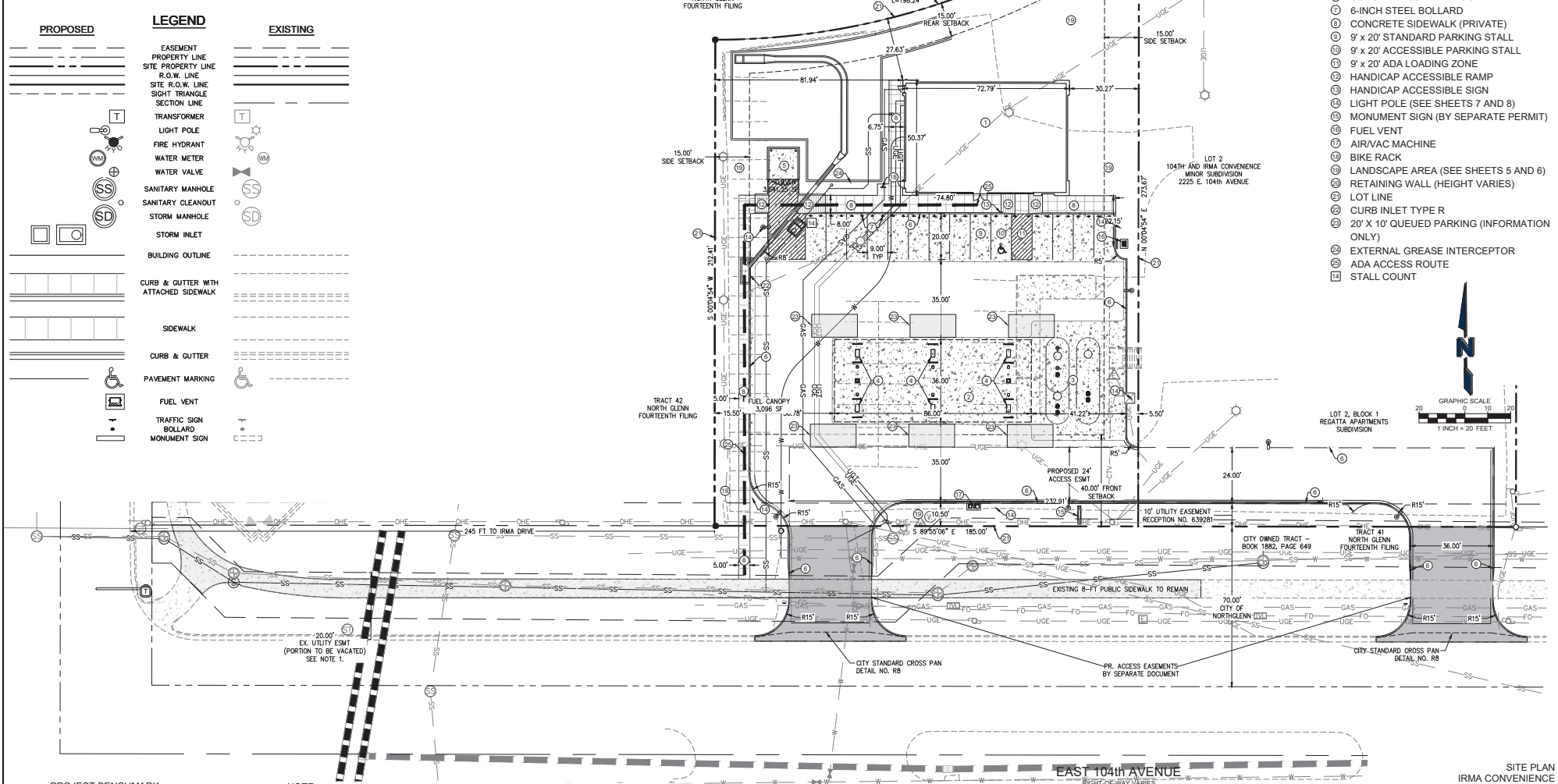
**SURVEYOR:**  
 CLARK LAND SURVEYING, INC.  
 177 S. TIFFANY DRIVE, UNIT 1  
 PUEBLO, COLORADO 81007  
 (719) 582-1270  
 STEWART MAPES, PLS



**IRMA CONVENIENCE**  
 MINOR SITE PLAN  
 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION  
 A PORTION OF THE SOUTHEAST 1/4 OF SECTION 11,  
 TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
 2205 E. 104th AVENUE  
 TRACT 205 NORTH GLENN  
 FOURTEENTH FILING

PROPOSED	LEGEND	EXISTING
	EASEMENT	
	PROPERTY LINE	
	SITE PROPERTY LINE	
	R.O.W. LINE	
	SITE R.O.W. LINE	
	SIGHT TRIANGLE	
	SECTION LINE	
	TRANSFORMER	
	LIGHT POLE	
	FIRE HYDRANT	
	WATER METER	
	WATER VALVE	
	SANITARY MANHOLE	
	SANITARY CLEANOUT	
	STORM MANHOLE	
	STORM INLET	
	BUILDING OUTLINE	
	CURB & GUTTER WITH ATTACHED SIDEWALK	
	SIDEWALK	
	CURB & GUTTER	
	PAVEMENT MARKING	
	FUEL VENT	
	TRAFFIC SIGN	
	BOLLARD	
	MONUMENT SIGN	

- NOTES**
- ① CONVENIENCE STORE (SEE SHEET 9)
  - ② GASOLINE CANOPY (SEE SHEET 9)
  - ③ UNDERGROUND FUEL STORAGE TANKS
  - ④ FUEL PUMP
  - ⑤ TRASH ENCLOSURE
  - ⑥ CONCRETE CURB AND GUTTER
  - ⑦ 6-INCH STEEL BOLLARD
  - ⑧ CONCRETE SIDEWALK (PRIVATE)
  - ⑨ 9' x 20' STANDARD PARKING STALL
  - ⑩ 9' x 20' ACCESSIBLE PARKING STALL
  - ⑪ 9' x 20' ADA LOADING ZONE
  - ⑫ HANDICAP ACCESSIBLE RAMP
  - ⑬ HANDICAP ACCESSIBLE SIGN
  - ⑭ LIGHT POLE (SEE SHEETS 7 AND 8)
  - ⑮ MONUMENT SIGN (BY SEPARATE PERMIT)
  - ⑯ FUEL VENT
  - ⑰ AIR/VAC MACHINE
  - ⑱ BIKE RACK
  - ⑲ LANDSCAPE AREA (SEE SHEETS 5 AND 6)
  - ⑳ RETAINING WALL (HEIGHT VARIES)
  - ㉑ LOT LINE
  - ㉒ CURB INLET TYPE R
  - ㉓ 20' X 10' QUEUED PARKING (INFORMATION ONLY)
  - ㉔ EXTERNAL GREASE INTERCEPTOR
  - ㉕ ADA ACCESS ROUTE
  - ㉖ STALL COUNT



**PROJECT BENCHMARK:**  
 NGS MONUMENT KK1403. ELEVATION: 5286.40 (NAVD 88)  
 TBM: TOP WESTERLY FLANGE BOLT OF FIRE HYDRANT ALONG SOUTH PROPERTY LINE. ELEVATION: 5247.57 (NAVD 88)

**NOTE:**  
 1. RECORDED NOVEMBER 13, 1964 IN BOOK 1191 PAGE 384, ADDENDUM RECORDED FEBRUARY 25, 1974 IN BOOK 1914 PAGE 936.

**PROJECT BASIS OF BEARING:**  
 WEST LINE OF THE PROPERTY, MONUMENTED ON THE NORTH END WITH A FOUND #4 REBAR WITH A YELLOW PLASTIC CAP, PLS# 6973, 0.3 FEET BELOW GRADE, AND ON THE SOUTH END WITH A FOUND #6 REBAR, FLSH WITH GRADE, MEASURED TO BEAR NORTH 00°32'1" WEST.

RECORDED NOVEMBER 13, 1964  
 BOOK 1191 PAGE 384  
 ADDENDUM RECORDED FEBRUARY 25, 1974  
 BOOK 1914 PAGE 936

**EAST 104th AVENUE**  
 RIGHT-OF-WAY VARIES

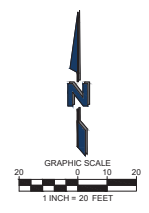
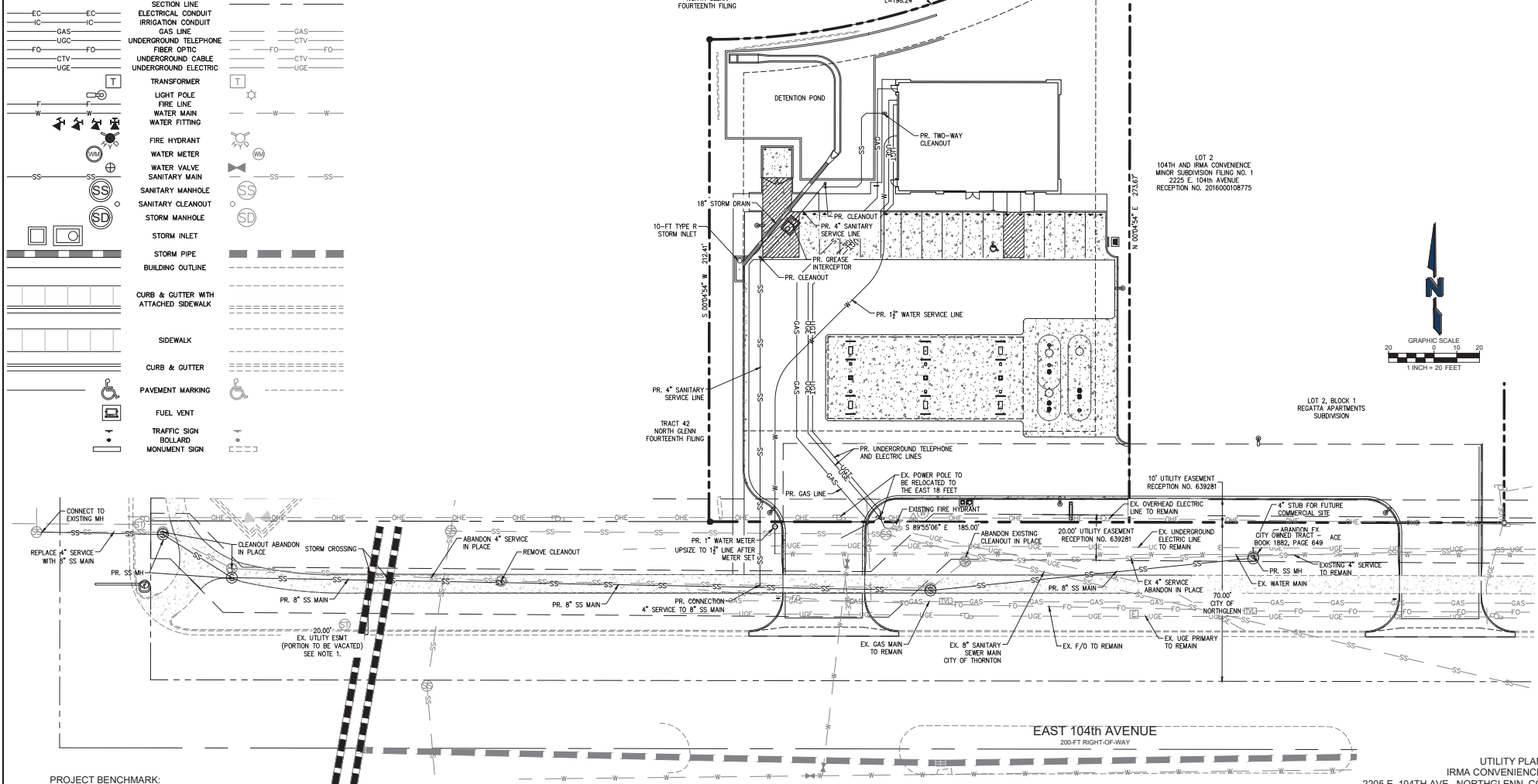
SITE PLAN  
 IRMA CONVENIENCE  
 2205 E. 104TH AVE., NORTHGLENN, CO  
 LOT 1, 104th & IRMA CONVENIENCE  
 MINOR SUBDIVISION  
 July 21, 2020  
 SHEET 2 OF 8



## IRMA CONVENIENCE MINOR SITE PLAN

104TH AND IRMA CONVENIENCE MINOR SUBDIVISION  
A PORTION OF THE SOUTHEAST 1/4 OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
2205 E. 104th AVENUE  
TRACT 205 E. 104th AVENUE  
NORTH GLENN  
FOURTEENTH FILING

PROPOSED	LEGEND	EXISTING
---	EASEMENT	---
---	PROPERTY LINE	---
---	SITE PROPERTY LINE	---
---	R.O.W. LINE	---
---	SITE R.O.W. LINE	---
---	SIGHT TRIANGLE	---
---	SECTION LINE	---
EC	ELECTRICAL CONDUIT	EC
IC	IRRIGATION CONDUIT	IC
GAS	GAS LINE	GAS
UGC	UNDERGROUND TELEPHONE	UGC
FO	FIBER OPTIC	FO
CTV	UNDERGROUND CABLE	CTV
UGE	UNDERGROUND ELECTRIC	UGE
T	TRANSFORMER	T
W	LIGHT POLE	W
W	FIRE LINE	W
W	WATER MAIN	W
W	WATER FITTING	W
WM	FIRE HYDRANT	WM
W	WATER METER	W
SS	WATER VALVE	SS
SS	SANITARY MAIN	SS
SS	SANITARY MANHOLE	SS
SS	SANITARY CLEANOUT	SS
SD	STORM MANHOLE	SD
SD	STORM INLET	SD
SD	STORM PIPE	SD
SD	BUILDING OUTLINE	SD
---	CURB & GUTTER WITH ATTACHED SIDEWALK	---
---	SIDEWALK	---
---	CURB & GUTTER	---
---	PAVEMENT MARKING	---
---	FUEL VENT	---
---	TRAFFIC SIGN	---
---	BOLLARD	---
---	MONUMENT SIGN	---



LOT 2  
104TH AND IRMA CONVENIENCE  
MINOR SUBDIVISION FILING NO. 1  
2225 E. 104th AVENUE  
RECEPTION NO. 2016000108775

LOT 2, BLOCK 1  
REGATTA APARTMENTS  
SUBDIVISION

EAST 104th AVENUE  
200-FT RIGHT-OF-WAY

**PROJECT BENCHMARK:**  
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TBM. TOP WESTERLY FLANGE BOLT OF FIRE HYDRANT ALONG SOUTH PROPERTY LINE. ELEVATION: 5247.57 (NAVD 88)

**PROJECT BASIS OF BEARING:**  
WEST LINE OF THE PROPERTY, MONUMENTED ON THE NORTH END WITH A FOUND #4 REBAR WITH A YELLOW PLASTIC CAP. PLS# 0973, 0.3 FEET BELOW GRADE, AND ON THE SOUTH END WITH A FOUND #5 REBAR, FLESH WITH GRADE, MEASURED TO BEAR NORTH 00°03'21" WEST.

**NOTE:**  
1. RECORDED NOVEMBER 13, 1964 IN BOOK 1191 PAGE 304, ADDENDUM  
RECORDED FEBRUARY 25, 1974 IN BOOK 1914 PAGE 936.

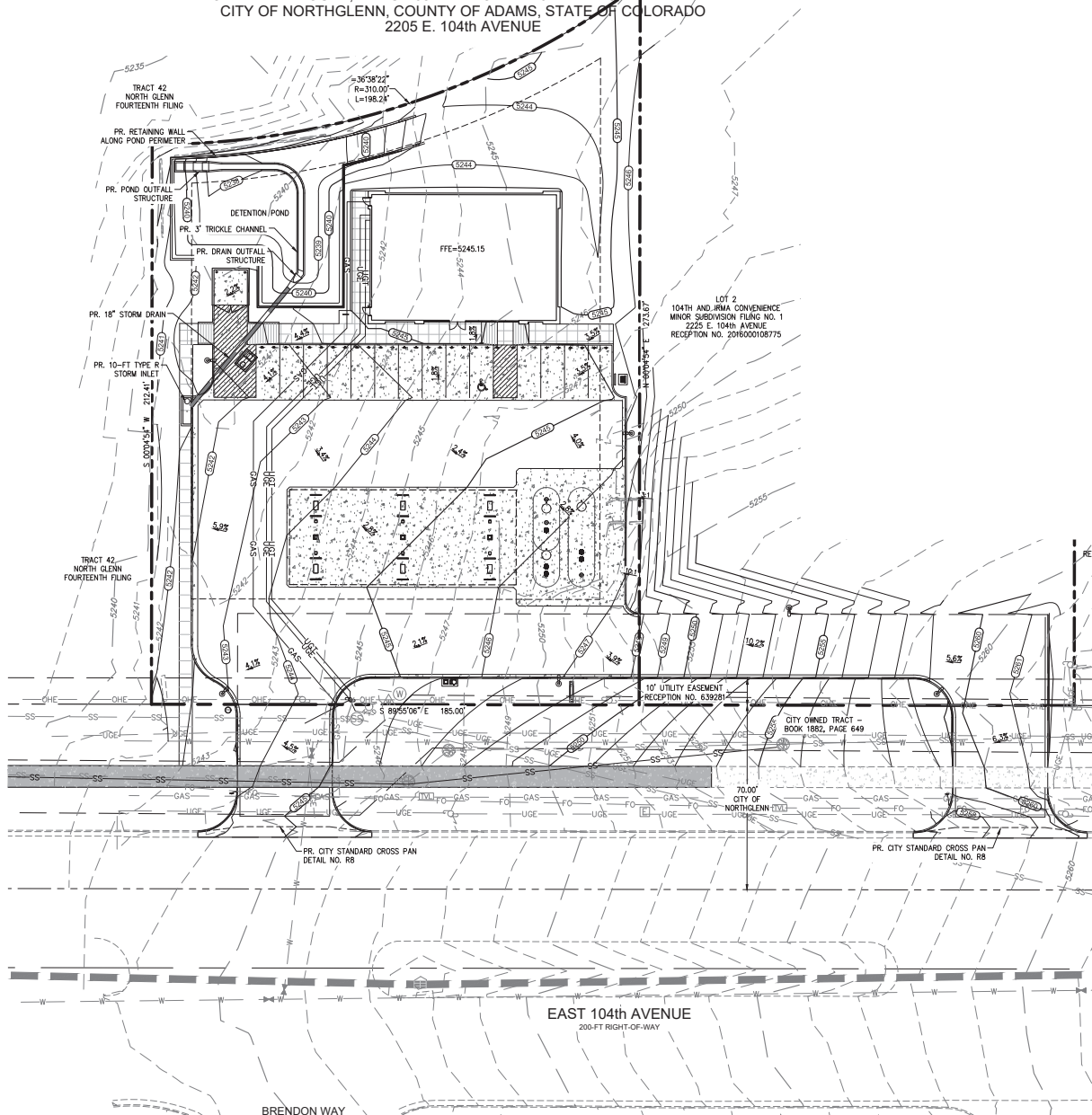
UTILITY PLAN  
IRMA CONVENIENCE  
2205 E. 104TH AVE., NORTHGLENN, CO  
LOT 1, 104th & IRMA CONVENIENCE  
MINOR SUBDIVISION  
July 21, 2020  
SHEET 3 OF 8





**IRMA CONVENIENCE**  
 MINOR SITE PLAN  
 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION  
 A PORTION OF THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 11  
 TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
 2205 E. 104th AVENUE

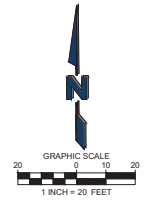
PROPOSED	LEGEND	EXISTING
	EASEMENT PROPERTY LINE	
	SITE PROPERTY LINE	
	R.O.W. LINE	
	SIGHT TRIANGLE	
	SECTION LINE	
	ELECTRICAL CONDUIT	
	IRRIGATION CONDUIT	
	GAS LINE	
	UNDERGROUND TELEPHONE	
	FIBER OPTIC	
	UNDERGROUND CABLE	
	UNDERGROUND ELECTRIC	
	TRANSFORMER	
	LIGHT POLE	
	FIRE LINE	
	WATER MAIN	
	WATER FITTING	
	FIRE HYDRANT	
	WATER METER	
	WATER VALVE	
	SANITARY MAIN	
	SANITARY MANHOLE	
	SANITARY CLEANOUT	
	STORM MANHOLE	
	STORM INLET	
	STORM PIPE	
	BUILDING OUTLINE	
	CURB & GUTTER WITH ATTACHED SIDEWALK	
	SIDEWALK	
	CURB & GUTTER	
	PAVEMENT MARKING	
	FUEL VENT	
	TRAFFIC SIGN	
	BOLLARD	
	MONUMENT SIGN	



**NOTE:**  
 1. RECORDED NOVEMBER 13, 1964 IN BOOK 1191 PAGE 384. ADDENDUM RECORDED FEBRUARY 25, 1974 IN BOOK 1914 PAGE 936.

**PROJECT BENCHMARK:**  
 NGS MONUMENT KK1403. ELEVATION: 5286.40 (NAVD 88)  
 TBM. TOP WESTERLY FLANGE BOLT OF FIRE HYDRANT ALONG SOUTH PROPERTY LINE. ELEVATION: 5247.57 (NAVD 88)

**PROJECT BASIS OF BEARING:**  
 WEST LINE OF THE PROPERTY, MONUMENTED ON THE NORTH END WITH A FOUND #4 REBAR WITH A YELLOW PLASTIC CAP. PLS# 6973, 0.3 FEET BELOW GRADE, AND ON THE SOUTH END WITH A FOUND #6 REBAR, FLESH WITH GRADE, MEASURED TO BEAR NORTH 00°32'1" WEST.



GRADING PLAN  
 IRMA CONVENIENCE  
 2205 E. 104TH AVE., NORTHGLENN, CO  
 LOT 1, 104th & IRMA CONVENIENCE  
 MINOR SUBDIVISION  
 July 21, 2020  
 SHEET 4 OF 8



## IRMA CONVENIENCE

### MINOR SITE PLAN

LOT 1, 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION FILING NO. 1  
2205 E. 104th AVENUE  
NORTHGLENN, CO 80233

#### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE
	GS	2	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM SHADEMASTER LOCUST	CONT.	1.5" CAL MIN	
	MS	4	MALUS X 'SPRING SNOW' SPRING SNOW CRAB APPLE	CONT.	1.5" CAL MIN	
	PH	3	PICEA PUNGENS 'HOOPSII' HOOPSII BLUE SPRUCE	CONT.	6" HT MIN	
	PN	3	PINUS INGRA AUSTRAN BLACK PINE	CONT.	6" HT MIN	
	TG	5	TILIA CORDATA 'GLENLEVEN' GLENLEVEN LITTLELEAF LINDEN	CONT.	1.5" CAL MIN	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
	BR	8	BERBERIS THUNBERGI 'ROSE GLOW' ROSY GLOW BARBERRY	5 GAL	3' OC	
	EG	18	EUONYMUS FORTUNEI 'GOLDEN PRINCE' TM GOLDEN PRINCE EUONYMUS	5 GAL	3' OC	
	JB	12	JUNIPERUS HORIZONTALIS 'BLUE CHIP' BLUE CHIP JUNIPER	5 GAL		
	PF	10	POTENTILLA FRUTICOSA BUSH CINQUEFOIL	5 GAL		
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.		
	FE	32	FESTUCA GLAUCA 'ELLIAH BLUE' ELLIAH BLUE FESCUE	1 GAL		
			RIVER ROCK RIVER ROCK MULCH OVER WEED FILTER FABRIC 2" DIA. MULTI-COLOR RIVER ROCK COBBLE			
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	CONT.		
	BL	19,046 SF	BUCHLOE DACTYLOIDES 'LEGACY' LEGACY BUFFALO GRASS WATER CONSERVING, WARM SEASON	SEED		

#### GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN  $\pm 0.1'$  OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE RESGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - AFTER INSTALLING SOIL AMENDMENTS IN TURF AREAS, ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 3" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
  - AFTER INSTALLING SOIL AMENDMENTS IN SHRUB AREAS, AND IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, ENSURE THAT THE FINISH GRADE IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 1" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER, PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

Scale 1" = 20'

NOTE: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT ALL UTILITIES TO VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO DETERMINE EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.

#### LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 42,684 SF  
LANDSCAPE AREA REQUIRED: 8,539 SF (20% OF AREA)  
LANDSCAPE AREA PROVIDED: 15,180 SF (35% OF SITE AREA)

SECTION 11-4.7 LANDSCAPE, SCREENING, AND FENCING  
STREET TREES REQUIRED (1 PER 50 LF): 4 (195 LF / 50 = 3.7)  
STREET TREES PROVIDED: 4

ADDITIONAL SHRUBS & GROUND COVER PROVIDED PER CITY COMMENTS

SITE TREES REQUIRED (1 PER 500 SF): 18 (8,539 / 500 = 17.08)  
SITE TREES PROVIDED: 18

SECTION 11-4.7 PARKING AREA LANDSCAPING  
TREES REQUIRED (1 PER 12 SPACES): 2 (14 SPACES) AT ROW ENDS  
TREES PROVIDED: 2 AT ROW ENDS  
SHRUBS / GRASSES REQUIRED (5 PER TREE): 10  
SHRUBS / GRASSES PROVIDED: 10

\* ORNAMENTAL STREET TREES PROPOSED UNDER EXISTING OVERHEAD ONE, STREET TREES PROPOSED OUTSIDE PROPERTY LINE DUE TO EXISTING 10' UTILITY EASEMENT.

#### ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

#### MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF RIVER ROCK MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

#### PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

IRMA CONVENIENCE  
2205 E. 104TH AVE., NORTHGLENN, CO  
LOT 1, 104th & IRMA CONVENIENCE  
MINOR SUBDIVISION FILING NO. 1  
July 15, 2020  
SHEET 5 OF 8



## IRMA CONVENIENCE MINOR SITE PLAN LOT 1, 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION FILING NO. 1 2205 E. 104th AVENUE NORTHGLENN, CO 80233

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUC Rating
■	18	CPV-FLAT-B	SINGLE	1.000	10800	56	CPV250-B-DM-F-B-UL-WH-57K-HZ	80-UG-01
■	4	CPV-FLAT-C	SINGLE	1.000	4500	31	CPV250-B-DM-F-C-UL-57K-BZ-HZ	80-UG-01
○	2	XSPGL-2ME-BLS	SINGLE	1.000	18300	184	XSPG-D-HT-2ME-24L-57K-UL-BZ-N-W_XA-SP2BL5	80-UG-03
○	1	XSPGL-3ME-BLS	SINGLE	1.000	16900	184	XSPG-D-HT-3ME-24L-57K-UL-BZ-N-W_XA-SP2BL5	80-UG-03
○	3	XSPGL-4ME-BLS	SINGLE	1.000	17400	184	XSPG-D-HT-4ME-24L-57K-UL-BZ-N-W_XA-SP2BL5	80-UG-03
■	12	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BZ	81-UG-01

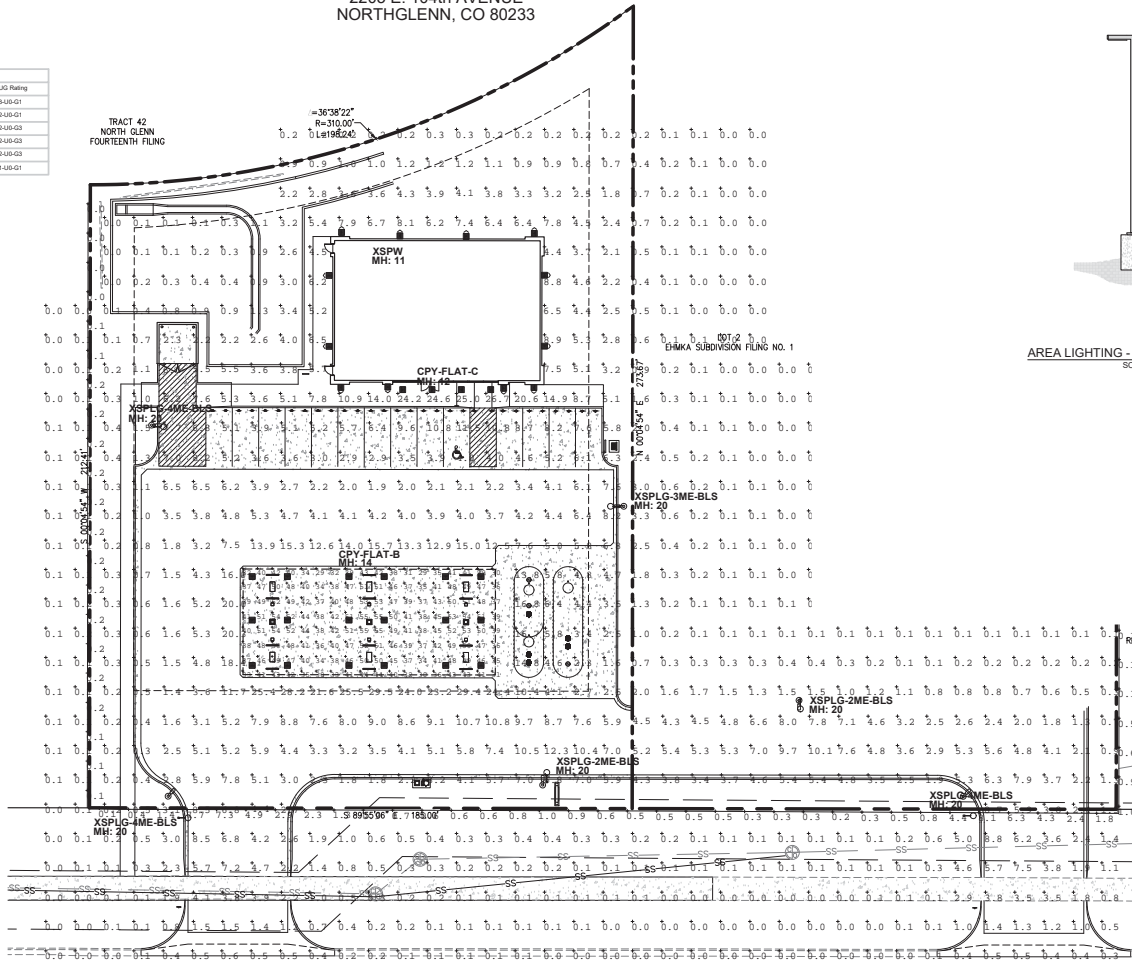
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Canopy	Fc	43.10	55	29	1.49	1.90
PAVEMENT	Fc	6.31	29.5	1.0	6.31	29.50
PROPERTY LINE	Fc	0.94	8.1	0.0	N.A.	N.A.
SITE	Fc	1.02	26.7	0.0	N.A.	N.A.

FIXTURE MOUNTING HEIGHTS AS SHOWN  
18 POLES MOUNTED ON Z BASE  
ADDITIONAL EQUIPMENT REQUIRED:  
(B) SSS-4-11-17-CW-6S-OT-N-BZ (17" x 4" x 12" STEEL SQUARE POLE, TENON MOUNT)  
(C) PD-1H4BZ SINGLE HORIZONTAL TENON  
(D) XA-SP2BL5 (BACK LIGHT SHIELD)

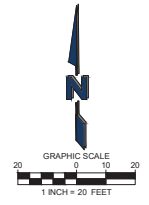
PROPOSED POES MEET 140MPH SUSTAINED WIND LOADS  
\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

#### BOM: Complete Part Description

- 18-CPV250-B-DM-F-B-UL-WH-57K-HZ
- 4-CPV250-B-DM-F-C-UL-WH-57K-HZ
- 2-XSPGL-D-HT-2ME-24L-57K-UL-BZ-N
- 1-XSPGL-D-HT-3ME-24L-57K-UL-BZ-N
- 3-XSPGL-D-HT-4ME-24L-57K-UL-BZ-N
- 12-XSPW-B-WM-3ME-4L-57K-UL-BZ
- 6-SSS-4-11-17-CW-6S-OT-N-BZ
- 6-PD-1H4BZ
- (8) XA-SP2BL5



AREA LIGHTING - SINGLE TENON POLE  
SCALE: 1:5



#### PROJECT BENCHMARK:

NGS MONUMENT KK1403. ELEVATION: 5286.40 (NAVD 88)  
TBM. TOP WESTERLY FLANGE BOLT OF FIRE HYDRANT ALONG SOUTH PROPERTY LINE. ELEVATION: 5247.57 (NAVD 88)

#### PROJECT BASIS OF BEARING:

WEST LINE OF THE PROPERTY, MONUMENTED ON THE NORTH END WITH A FOUND #4 REBAR WITH A YELLOW PLASTIC CAP. PLS# 6973, 0.3 FEET BELOW GRADE, AND ON THE SOUTH END WITH A FOUND #5 REBAR, FLUSH WITH GRADE, MEASURED TO BEAR NORTH 00°03'21" WEST.

EAST 104th AVENUE  
200-FT RIGHT-OF-WAY

BRENDON WAY

PHOTOMETRIC PLAN  
IRMA CONVENIENCE  
2205 E. 104TH AVE., NORTHGLENN, CO  
LOT 1, 104th & IRMA CONVENIENCE  
MINOR SUBDIVISION FILING NO. 1  
July 14, 2020  
SHEET 6 OF 8



IRMA CONVENIENCE  
 MINOR SITE PLAN  
 LOT 1, 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION FILING NO. 1  
 2205 E. 104th AVENUE  
 NORTHGLENN, CO 80233

Attachment 3

**CPY Series - Version B**

CPY Series - Version B photometric data including beam spread diagrams and tables of footcandle and lux values.

CPY250

**XSP Series**

XSP Series photometric data including beam spread diagrams and tables of footcandle and lux values.

XSPW

**CREE + LIGHTING**

**XSP Series**

XSP Series photometric data from CREE + LIGHTING, including beam spread diagrams and tables of footcandle and lux values.

**CREE + LIGHTING**

**XPLG Series**

XPLG Series photometric data from CREE + LIGHTING, including beam spread diagrams and tables of footcandle and lux values.

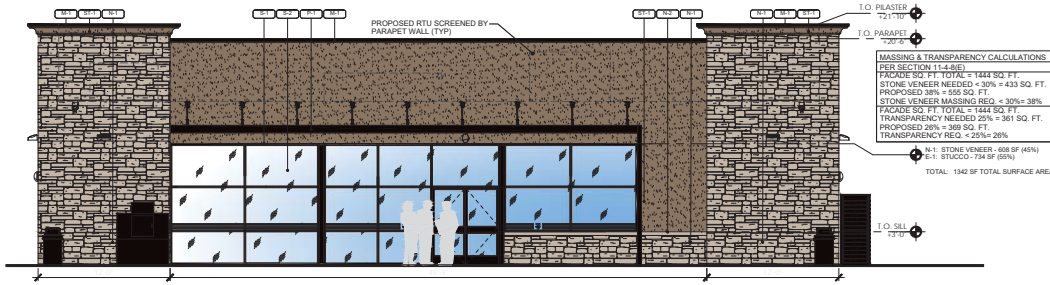
XPLG

PHOTOMETRIC DETAILS  
 IRMA CONVENIENCE  
 2205 E. 104TH AVE., NORTHGLENN, CO  
 LOT 1, 104th & IRMA CONVENIENCE  
 MINOR SUBDIVISION FILING NO. 1  
 July 14, 2020  
 SHEET 7 OF 8

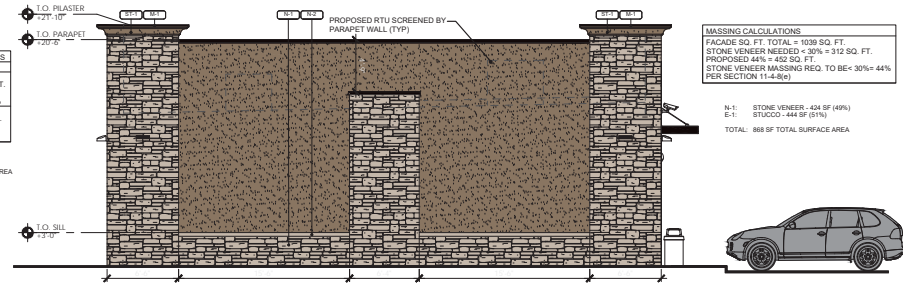


IRMA CONVENIENCE  
 MINOR SITE PLAN  
 LOT 1, 104TH AND IRMA CONVENIENCE MINOR SUBDIVISION FILING NO. 1  
 2205 E. 104th AVENUE  
 NORTHGLENN, CO 80233

Attachment 3



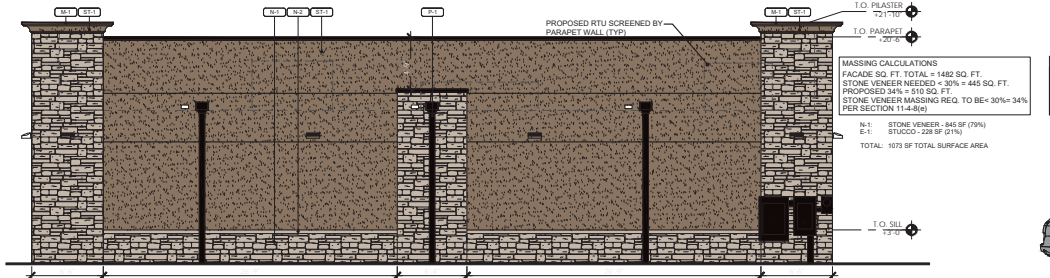
1 SOUTH ELEVATION  
 SCALE: 3/16" = 1'-0"



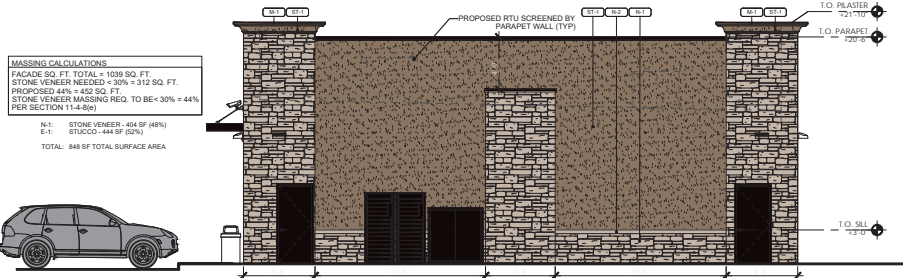
2 WEST ELEVATION  
 SCALE: 3/16" = 1'-0"

MASSING CALCULATIONS  
 FACADE SQ. FT. TOTAL = 1039 SQ. FT.  
 STONE VENEER NEEDED < 30% = 312 SQ. FT.  
 PROPOSED MIN = 452 SQ. FT.  
 STONE VENEER MASSING REQ. TO BE < 30% = 44%  
 PER SECTION 11-4.8(e)

N-1: STONE VENEER - 424 SF (40%)  
 E-1: STUCCO - 444 SF (51%)  
 TOTAL: 868 SF TOTAL SURFACE AREA



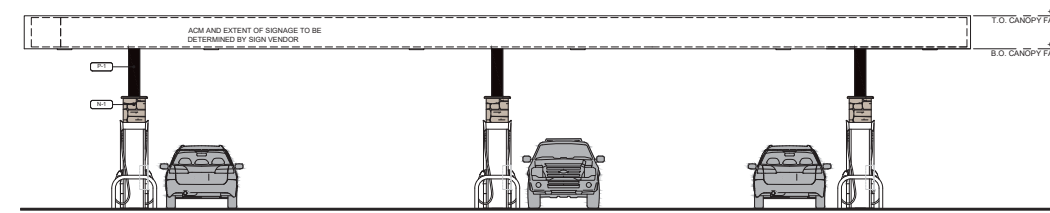
3 NORTH ELEVATION  
 SCALE: 3/16" = 1'-0"



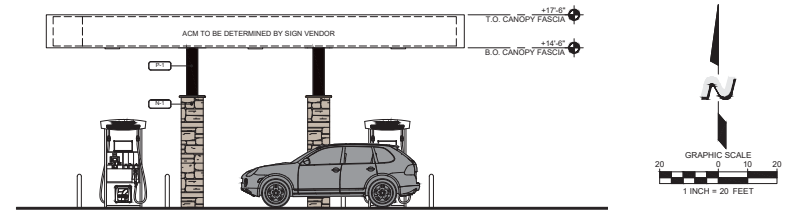
4 EAST ELEVATION  
 SCALE: 3/16" = 1'-0"

MASSING CALCULATIONS  
 FACADE SQ. FT. TOTAL = 1482 SQ. FT.  
 STONE VENEER NEEDED < 30% = 445 SQ. FT.  
 PROPOSED 34% = 510 SQ. FT.  
 STONE VENEER MASSING REQ. TO BE < 30% = 34%  
 PER SECTION 11-4.8(e)

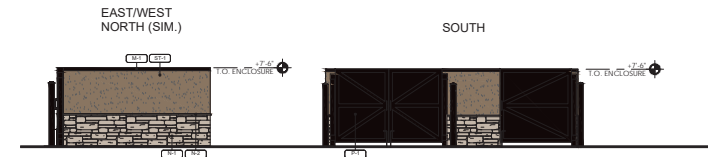
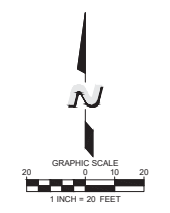
N-1: STONE VENEER - 845 SF (79%)  
 E-1: STUCCO - 228 SF (57%)  
 TOTAL: 1073 SF TOTAL SURFACE AREA



5 CANOPY ELEVATION - NORTH/SOUTH  
 SCALE: 3/16" = 1'-0"



6 CANOPY ELEVATION - EAST/WEST  
 SCALE: 3/16" = 1'-0"



7 DUMPSTER ENCLOSURE ELEVATIONS  
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE	
FINISH	REMARKS
0000	BASE COLOR: UNPAINTED ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0100	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0101	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0102	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0103	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0104	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0105	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0106	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0107	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0108	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0109	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0110	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0111	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0112	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0113	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0114	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0115	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0116	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0117	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0118	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0119	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0120	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0121	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0122	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0123	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0124	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0125	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
0126	DRIVE DRIVE: BRASS BRUSH ALUMINUM; BRASS BRUSH; WHITE OR BRASS COLOR AND ALUMINUM UNPAINTED BRASS COLORED MATERIAL
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BUILDING ELEVATIONS  
 IRMA CONVENIENCE  
 2205 E. 104TH AVE., NORTHGLENN, CO  
 LOT 1, 104th & IRMA CONVENIENCE  
 MINOR SUBDIVISION FILING NO. 1  
 July 14, 2020  
 SHEET 8 OF 8

**THE DIMENSION GROUP**  
 ARCHITECTURE • CIVIL ENGINEERING • MEP ENGINEERING  
 15755 SANDHILL ROAD, DALLAS, TEXAS 75248  
 TEL: 752-538-3185 www.DimensionGroup.com

**NORTH GLENN-FOURTEENTH FILING**  
 PART OF THE S.E. 1/4 OF SEC. 11, T.2 S., R.68W. OF THE 6TH P.M.  
 ADAMS COUNTY, COLORADO  
 SHEET 1 OF 2

**Attachment 4**

DEDICATION

KNOW ALL MEN BY THESE PRESENTS that JORDON PERLMUTTER, SAMUEL PRIMACK, WILLIAM J. MORRISON, ABE PERLMUTTER, BERNARD BERNSTEIN and ALBERT RUDDFSKY, being the owners of all that part of the Southeast One-Quarter (S.E. 1/4) of Section 11, Township 2 South, Range 68 West of the 6th Principal Meridian, Adams County, Colorado described as follows, to wit:

Beginning at the Southeast corner of said Section 11; thence N00°02'15" E along the East line of said Section 11 a distance of 30.00 feet to the True Point of Beginning; thence N89°35'30" W parallel to and 30.00 feet from the South line of said Section 11 a distance of 1547.97 feet more or less to the Southeast corner of Lot 14, Block 53, North Glenn-Thirteenth Filing; thence N00°24'30" E along the East line of said North Glenn-Thirteenth a distance of 1475.27 feet to the Northeast corner of Lot 16, Block 33, North Glenn-Thirteenth Filing; thence N85°13'37" W along the northerly line of said Lot 16 a distance of 308.17 feet; thence S63°24'30" W along the northerly line of said Lot 16 a distance of 200.00; thence N51°45'30" W a distance of 225.00 feet to the most northerly corner of Lot 15, Block 33, North Glenn-Eleventh Filing; thence N38°24'30" E along the southeasterly line of Leroy Drive, North Glenn-Eleventh Filing a distance of 154.05 feet to a point of curve; thence on a curve to the right and along said southeasterly line of Leroy Drive having a radius of 298.11 feet an arc distance of 130.08 feet to a point of tangent; thence N63°24'30" E along said tangent and said southeasterly line of Leroy Drive a distance of 202.28 feet; thence N26°35'30" W along the easterly line of North Glenn-Eleventh Filing a distance of 860.32 feet more or less to the Southwest corner of Tract 10, North Glenn-Seventh Filing; said corner lying on the North line of said Southeast One-Quarter (S.E. 1/4) of Section 11; thence S89°28'08" E along said North line and along the South line of North Glenn-Seventh Filing a distance of 2210.07 feet to the East One-Quarter corner of said Section 11; thence S00°02'15" W along the East line of said Section 11 a distance of 2598.25 feet more or less to the True Point of Beginning, containing 104.948 Acres net, have by these presents, laid out, platted and subdivided into TRACTS, as shown on this plat, under the name and style of "NORTH GLENN-FOURTEENTH FILING," and do hereby grant to the County of Adams, State of Colorado, for the use of the public, the Avenues, Drives and Place hereon shown. Also, the easements are reserved, as shown for public utility purposes, irrigation, gas pipe line maintenance, and drainage.

Executed this 13th day of June A.D. 1961

Jordan Perlmutter     Samuel Primack     William J. Morrison  
 JORDON PERLMUTTER     SAMUEL PRIMACK     WILLIAM J. MORRISON

Abe Perlmutter     Bernard Bernstein     Albert Rudofsky  
 ABE PERLMUTTER     BERNARD BERNSTEIN     ALBERT RUDDFSKY

STATE OF COLORADO  
 CITY AND COUNTY OF DENVER } S.S.

The foregoing dedication was acknowledged before me this 13th day of June A.D. 1961, by JORDON PERLMUTTER, SAMUEL PRIMACK, WILLIAM J. MORRISON, ABE PERLMUTTER, BERNARD BERNSTEIN and ALBERT RUDDFSKY.

My commission expires January 30, 1964

Witness my hand and seal.

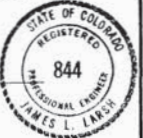


Joyce C. Murray  
 NOTARY PUBLIC

ENGINEERS CERTIFICATE

I, JAMES L. LARSH, a registered engineer in the State of Colorado, do hereby certify that there are no roads, pipelines, irrigation ditches or other easements in evidence or known by me to exist on or across said property except as shown on the accompanying plat. I certify that I have made the survey represented by this plat and that this plat accurately represents said survey. Steel pins were set at all boundary corners.

James L. Larsh  
 JAMES L. LARSH, P.E. & L.S. #844



APPROVALS

Approved by the Adams County Planning Commission this 27th day of July A.D. 1961

Henry J. Traubert  
 CHAIRMAN

Approved by the Adams County Board of Commissioners this 31st day of July A.D. 1961

Neil H. Ringott  
 CHAIRMAN

RECORDERS CERTIFICATE

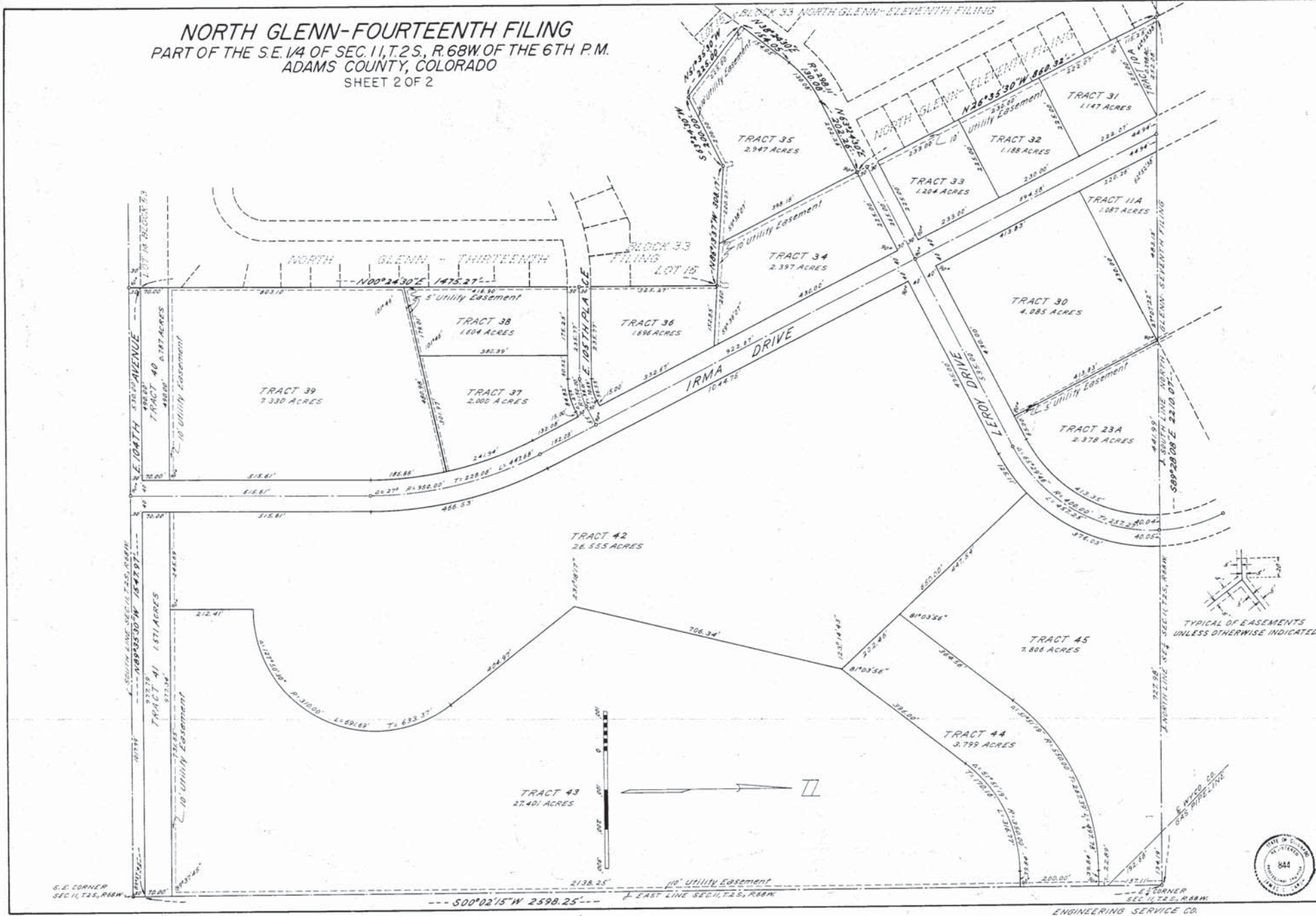
This plat was filed for record in the office of the County Clerk and Recorder of Adams County, Colorado, at 3:50 P.M. on the 24th day of August A.D. 1961, Book 7 Page 22 File 11 Map 22 Reception 639281



Frank H. Carlson  
 CLERK AND RECORDER

June D. Forst  
 DEPUTY

**NORTH GLENN-FOURTEENTH FILING**  
PART OF THE S.E. 1/4 OF SEC. 11, T.2S, R. 68W OF THE 6TH P.M.  
ADAMS COUNTY, COLORADO  
SHEET 2 OF 2



SPONSORED BY: MAYOR LEIGHTY

COUNCILMAN'S RESOLUTION

RESOLUTION NO.

No. CR-124  
Series of 2020

\_\_\_\_\_  
Series of 2020

A RESOLUTION APPROVING A LICENSE AGREEMENT BETWEEN THE CITY OF NORTHGLENN, COLORADO AND 41581 NORTHGLENN CO, LLC

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. The License Agreement between the City of Northglenn and Northglenn CO, LLC, attached hereto as **Exhibit 1**, for use of City-owned property located adjacent to the 104<sup>th</sup> and Irma Convenience Minor Subdivision, is hereby approved and the City Manager is authorized to execute the agreement on behalf of the City of Northglenn.

DATED at Northglenn, Colorado, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
MEREDITH LEIGHTY  
Mayor

ATTEST:

\_\_\_\_\_  
JOHANNA SMALL, CMC  
City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
COREY Y. HOFFMANN  
City Attorney



LICENSE AGREEMENT

THIS LICENSE AGREEMENT, is made and entered into this \_\_\_ day of \_\_\_\_\_, 2020, by and between the CITY OF NORTHGLENN, COLORADO, (the "City") and 41581 Northglenn CO, LLC, a Florida limited liability company (the "Licensee").

**NOW, THEREFORE**, in consideration of the mutual premises and benefits contained herein and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and the Licensee covenant and agree as follows:

1. **LICENSED PROPERTY.** The City hereby agrees to permit the Licensee to use the Licensed Property as more particularly described hereinbelow. The Licensed Property is and shall be subject to all easements and other encumbrances of record.

2. **INSURANCE.** Licensee shall obtain for itself, or cause its agents, successors, assigns, lessees, licensees and agents, necessary and adequate worker's compensation insurance, personal injury insurance, and property damage insurance, with limits commensurate with the hazards and risks associated with the use of the Licensed Property, but in no event less than the liability limits established by the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, *et seq.*, as now in effect or as hereinafter amended; provided, Licensee's contemplated tenant 7-Eleven, Inc. may self-insure against all such risks and such self-insurance shall be deemed in compliance with the insurance requirements herein as applied to 7-Eleven, Inc.. Neither Licensee nor its agents, successors and assigns shall commence any construction activities on the Licensed Property until it has obtained all insurance required under this section and shall have filed a certificate of insurance or a certified copy of the insurance policy with the City. Each insurance policy shall list the City as an additional named insured and shall contain a clause providing that coverage shall not be cancelled by the insurance company without Licensee providing the City thirty (30) days' advance written notice of the intention to cancel.

3. **UTILITIES.** Licensee covenants and agrees to pay all charges for water, electric power and other utilities assessed, levied or incurred on the Licensed Property during the term of this Agreement or any renewal thereof.

4. **INSTALLATION, MAINTENANCE, REPAIR AND ALTERATIONS.** Licensee shall at its discretion install improvements and landscaping as applicable on the Licensed Property according to plans approved by the City. After any initial construction and/or installation, Licensee covenants and agrees not to make or permit to be made any alterations in, or additions to, the Licensed Property without the prior written consent of the City (it being understood that repairs and replacements of similar structure and quality shall be permitted without City consent) and to keep the Licensed Property, and any improvements thereon, in good repair at the expense of Licensee; to properly irrigate and care for all landscaping upon or about the Licensed Property and to keep the same in good order and condition until the expiration or termination of this License, ordinary wear and tear and loss by fire, flood, or act of God excepted.

5. USE. Licensee covenants and agrees that it shall utilize the Licensed Property for utility lines and landscaping improvements and for no other purpose and not to use the Licensed Property or permit it to be used for purposes prohibited by the laws of the applicable United States, State of Colorado, or any political subdivision thereof.

6. RE-ENTRY. Licensee covenants and agrees to permit the City or its duly authorized representatives to enter upon the Licensed Property, at any reasonable hour of the day, for the purpose of inspecting the same, making surveys, and to do such other acts and things as it deems necessary for the protection of its interests therein; provided City uses reasonable and good faith efforts to minimize disruptions to Licensee's construction activities and Licensee's and its tenant's business operations.

7. NOTICE. Any notice required under this License shall be in writing and mailed by certified mail to the respective parties at the address below given. The Parks Foreman shall be the representative of the City to accept or give any approval, notice or the like provided hereunder. In the event Licensee should change the address hereinabove given during the term of this License, Licensee shall notify the City in writing of such change of address:

The City: \_\_\_\_\_  
City of Northglenn  
11701 Community Center Drive  
Northglenn, CO 80233-8061

Licensee: 41581 Northglenn CO, LLC  
2240 West First Street  
Suite 101  
Fort Myers, FL 33901  
\_\_\_\_\_  
Attn: Dan Creighton

8. NO COVENANT OF TITLE OR QUIET POSSESSION. The rights granted herein are without covenant of title or warranty of quiet possession of the Licensed Property and no water or water rights are granted by this License.

9. SUCCESSORS AND ASSIGNS. This License shall inure to the benefit of, and be binding upon, the respective legal representatives, heirs, successors and assigns of the parties.

10. ASSIGNMENT OR SUB-LEASE. Licensee covenants and agrees not to assign this License or to sublet any part of the Licensed Property without first obtaining the written consent of the City; provided, Licensee may assign this License to a subsequent purchaser of Lot 1 of 104<sup>th</sup> and Irma Convenience Minor Subdivision.

11. PROPERTY LICENSED TAKEN "AS IS." Licensee understands and agrees that the Licensed Property is licensed "as is." The City makes no warranty, written or implied, that the Licensed Property is fit for any purpose or that it meets any federal, state, county or local law, ordinance or regulation applying to the Licensed Property.

12. LIABILITY AND INDEMNIFICATION. The City shall not be liable for any loss, injury, death or damage to any person or personal property which may arise from the use or condition of the Licensed Property including, but not limited to, loss, injury, death, or damage resulting from ice, water, rain, snow, gas, electrical wires, fire, theft, burst pipes or plumbing failures during the term of the License or any renewal thereof except to the extent any of the foregoing harms arise from or related to a grossly negligent or willful act by the City or anyone within its reasonable control. Licensee hereby expressly agrees to defend, indemnify and hold harmless the City, its officers, agents, employees and insurers against any liability, loss, damage, demand, action, cause of action or expense of whatever nature (including court costs and attorney fees) which may result from any loss, injury, death or damage allegedly sustained by any person, firm, corporation or other entity which arises out of or is caused by reason of Licensee's negligent use of the Licensed Property or Licensee's failure to fulfill the terms and conditions of the License.

13. RESERVATION FOR COUNCIL USE. This License is made under and conformable to the provisions of all City of Northglenn regulations insofar as applicable. Said provisions are incorporated herein and made part hereof by this reference and shall supersede any apparently conflicting provisions otherwise contained in the License. The City reserves the right to make full use of the Licensed Property as may be necessary or convenient in the operation of the City's drainage infrastructure or drainageways under the control of the City, and the City retains all rights to operate, maintain, install, repair, remove or relocate any of its facilities located within the Licensed Property at any time and in such a manner as it deems necessary

14. TERMINATION.

a. This License Agreement may be terminated by the City at any time upon ninety (90) days written notice to Licensee.

b. If default shall be made in any of the covenants or agreements herein contained to be kept by Licensee, it shall be lawful for the City to enter into the said Licensed Property, or any part thereof, either with or without process of law, to terminate the interest in the Licensed Property of Licensee or of any person or persons occupying the same, and to expel, remove or put out such person or persons, using such force as may be necessary in so doing, without being liable to prosecution or to damages therefor, and the said Licensed Property again to repossess and enjoy as in the first and former estate of the City. If at any time the License shall be terminated as aforesaid, or by any other means, Licensee agrees to surrender and deliver up said Licensed Property peaceably to the City immediately upon the termination, and if Licensee shall remain in possession after termination, Licensee shall be deemed guilty of a forcible detainer on said property Licensed, and waiving all notice, shall be subject to eviction and removal, forcibly or otherwise, with or without process of law.

15. VENUE. For the resolution of any dispute arising hereunder, venue shall be in the courts of Adams County, State of Colorado.

IN WITNESS WHEREOF, the parties hereto each herewith subscribe the same in triplicate.

**CITY OF NORTHGLENN, COLORADO**

By: \_\_\_\_\_  
Heather Geyer, City Manager

ATTEST:

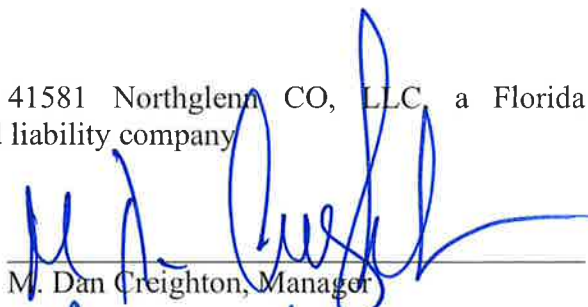
\_\_\_\_\_  
Johanna Small, CMC, City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Corey Y. Hoffmann, City Attorney

**LICENSEE**

By: 41581 Northglenn CO, LLC, a Florida limited liability company

  
\_\_\_\_\_  
M. Dan Creighton, Manager

  
\_\_\_\_\_  
Date

**EXHIBIT A**  
**LICENSE AREA**

August 14, 2020

A portion of Tract 41 as described in that Warranty Deed recorded July 17, 1973 in Book 1882 at Page 649 in the Official Records of Adams County, Colorado, being more particularly described as follows:

**BEGINNING** at the southwest corner of Tract 43 as described in that Warranty Deed, recorded January 27, 2000, in Book 6019 at Page 951, in the Official Public Records of Adams County, Colorado; thence along the north line of said Tract 41, N89°55'56"W, (Bearings are relative to the west line of Tract 43, monumented on the north end with a found no. 4 rebar with a 1" yellow plastic cap, PLS "6973", 0.3 feet below grade, and on the South end with a found no. 5 rebar, flush with grade, measured to bear N00°03'21"W, a distance of 212.50 feet), a distance of 185.00 feet; thence leaving said north line, S00°03'21"E, a distance of 70.00 feet, to a point on the south line of said Tract 41; thence along said south line, N89°55'56"W, a distance of 185.00 feet; thence leaving said south line, N00°03'21"W, a distance of 70.00 feet, to a point on the north line of said Tract 41, and the **POINT OF BEGINNING**.

Containing 12,950 Sq. Ft. or 0.297 acres, more or less.



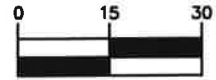
Stewart L. Mapes, Jr.  
Colorado Professional Land Surveyor No. 38245  
For and on behalf of Clark Land Surveying, Inc.

**EXHIBIT B  
LICENSE AREA**

BOOK 6019 PAGE 951

A PORTION OF TRACT 43  
99,851 SQ. FT. ±  
(2.292 ACRES ±)

GRAPHIC SCALE



( IN FEET )

1 inch = 30 ft.

(BASIS OF BEARINGS)  
N00°03'21"W 212.50'

WEST LINE OF TRACT 43

FOUND NO. 4 REBAR WITH  
1" YELLOW PLASTIC CAP  
PLS "6973"  
0.3' BELOW GRADE

FOUND NO. 5 REBAR  
FLUSH WITH GRADE

SOUTH LINE  
TRACT 43

FND NO. 5 REBAR WITH  
1/4" GREEN PLASTIC CAP  
PLS "38245"  
FLUSH WITH GRADE

P.O.B.

S89°55'56"E 185.00'

N00°03'21"W 70.00'

S00°03'21"E 70.00'

BOOK 1882, PAGE 649

A PORTION OF TRACT 41  
12,950 SQ. FT. ±  
(0.297 ACRES ±)

N89°55'56"W 185.00'

SOUTH LINE OF TRACT 41

**104TH AVENUE**  
**(PUBLIC R.O.W. WIDTH VARIES)**

**NOTE:**

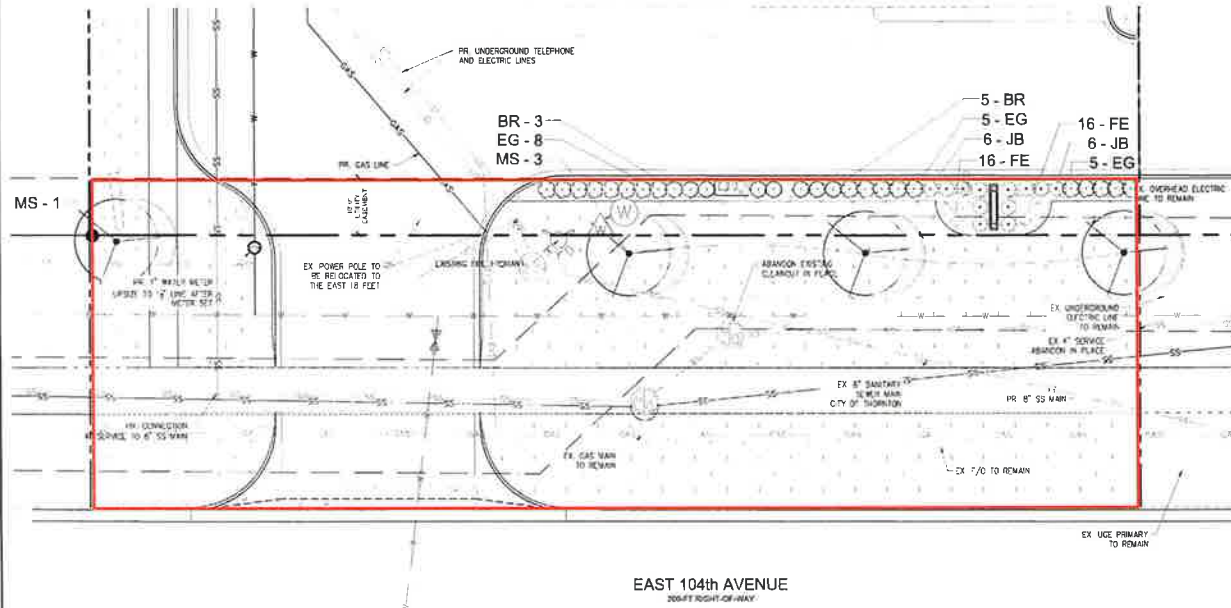
This EXHIBIT does not represent a monumented land survey, and is only intended to depict the attached LEGAL DESCRIPTION.



177 S. Tiffany Dr., Unit 1 • Pueblo West, CO 81007 • 719.582.1270  
www.clarkls.com

Project No: 190886	Drawn: CME Check: SLM	Date: 08/12/2020 Sheet 2 of 2
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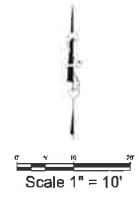
# LICENSED PROPERTY



## PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	
	GS	2	GLEDITSIA TRIACANTHOS INERMIS SHADEMASTER TM SHADEMASTER LOCUST	CONT	1.5' GAL	MIN	
	MS	4	MALUS X SPRING SNOW SPRING SNOW CRAB APPLE	CONT	1.5' GAL	MIN	
	PH	3	PICEA PUNGENS HOOPSI HOOPSI BLUE SPRUCE	CONT		6' HT MIN	
	PH	3	FINUS NORA AUSTRALIAN BLACK PINE	CONT		6' HT MIN	
	TG	5	TILIA CORDATA GLENLEVEN GLENLEVEN LITTLELEAF LINDEN	CONT	1.5' GAL	MIN	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE	
	BR	8	BESSEMER HULSBERGE ROSE GLOW ROSE GLOW BARBERRY	5 GAL	3' OC		
	EG	18	ELCONYMUS FORTUNEI GOLDEN PRINCE TM GOLDEN PRINCE EUONYMUS	5 GAL	3' OC		
	JB	12	JUNIPERUS HORIZONTALIS BLUE CHIP BLUE CHIP JUNIPER	5 GAL			
	FF	18	POTENTILLA FRUTICOSA BUSH CINQUEFOIL	5 GAL			
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	SPACING
	FE	32	FESTUCA GLAUCA ELIJAH BLUE ELIJAH BLUE FESCUE	1 GAL			15' DIA
	RR	1,378 SF	RIVER ROCK RIVER ROCK MULCH OVER WEED FILTER FABRIC 2-4" DIA. MULTI-COLOR RIVER ROCK COBBLE				
SOONSEED	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	SPACING
	BL	18,048 SF	BUCHLOE DACTYLOIDES LEGACY LEGACY BUFFALO GRASS WATER CONSERVING WARM SEASON	SEED			

EAST 104th AVENUE  
200' FT RIGHT-OF-WAY



NOTES:  
THE CONTRACTOR IS TO EXERCISE EXTREME CARE IN THE LOCATION AND/OR PLACEMENT OF TREES AND SHRUBS AS SHOWN ON THIS PLAN. PLANTS SHOULD BE PLANTED IN ACCORDANCE WITH THE CITY OF DENVER'S LANDSCAPE MAINTENANCE DEPARTMENT'S (LMD) MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY.

IRMA CONVENIENCE  
2205 E. 104TH AVE., NORTHGLENN, CO  
LOT 1, 104th & IRMA CONVENIENCE  
MINOR SUBDIVISION  
August 5, 2020  
SHEET 5 OF 8

