

PLANNING AND DEVELOPMENT DEPARTMENT

MEMORANDUM 17-04

DATE: February 13, 2017

TO: Honorable Mayor Joyce Downing and City Council Members

FROM: James A. Hayes, AICP, City Manager *JH*
Brook Svoboda, Director of Planning and Development *BS*
Becky Smith, AICP, Planning Manager *-F- all*

SUBJECT: CB-1881 –Rezoning for Certain Real Properties at 10941 Irma Drive-North Metro Fire Rescue District Station #63 from I-2 Industrial to Planned Unit Development

Purpose

To rezone the existing North Metro Fire Rescue District Station #63 from I-2 Industrial to Planned Unit Development (PUD) to accommodate the expansion of the existing structure.

Background

Attached to this memo is a proposed ordinance, which if approved, would rezone the existing North Metro Fire Rescue District Station #63 property to PUD, located at 10941 Irma Drive. Staff presented the Preliminary and Final PUD application to the Planning Commission at a Public Hearing held February 7, 2017. A copy of the proposed Planning Commission Recommendation Resolution and Staff Report with PUD Plan Set are included as **Attachments 1 & 2**.

This memo is being prepared prior to the Commission hearing and voting on the proposal. Staff will update the Council as to the outcome of the Planning Commission vote. The Planning Commission basis for the decision for a PUD proposal on the following criteria:

- The proposed development is compatible with the surrounding area;
- The proposed development is not inconsistent with the City's Master Plan;
- The proposed development does not adversely affect the health, safety, and welfare of the inhabitants of the area and the City of Northglenn;
- Adequate circulation exists and traffic movement will not be impeded by the proposed development; and
- Additional municipal service costs will not be incurred.

Staff is recommending that the Planning Commission Resolution 2017-01, also include the following conditions for final adoption by the Council:

1. NMFRD will provide proof of a dedicated drainage easement for their stormwater facility, prior to the issuance of a building permit.
2. NMFRD will be required to enter into a Stormwater Facilities Maintenance Agreement prior to issuance of a Certificate of Occupancy.
3. NMFRD will be required to pull all necessary permits prior to construction.

Budget Implications

This ordinance amendment request has no budgetary impacts.

Schedule/Time Implications

NA

City Council Options

The City Council makes the final decision regarding Preliminary PUD. The City Council options are as follows:

1. Approve the request, with or without conditions or stipulations;
2. Deny the request for reasons stated; or
3. Table the request for further consideration.

Staff Recommendation

Staff recommends approval of CB-1881

Staff Reference

Brook Svoboda, Director of Planning and Development bsvoboda@northglenn.org 303.450.8937

Attachments

- Attachment 1 Planning Commission Resolution 2017-01
- Attachment 2 Staff Report

**RESOLUTION 2017-01
NORTHGLENN PLANNING COMMISSION**

**A RESOLUTION PROVIDING A FAVORABLE
RECOMMENDATION TO THE CITY COUNCIL FOR APPROVAL
OF THE NORTH METRO FIRE RESCUE DISTRICT STATION #63
PLANNED UNIT DEVELOPMENT (PUD) AMENDMENT AND
APPROVAL OF ANY FINAL PLANNED UNIT DEVELOPMENT
ELEMENTS CONTAINED THEREIN**

WHEREAS, Northglenn Ordinance 11-37-2 requires that the Northglenn Planning Commission review and make recommendation to Council any application for rezoning; and

WHEREAS, the Northglenn Planning Commission therefore desires to make its recommendations to the City Council as required by law.

WHEREAS, the Planning Commission has found that the application satisfies the applicable criteria for rezoning and PUD criteria under 11-37-2 & 11-16-2 for purposes of approving the Final Planned Unit Development respectively;

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. The City of Northglenn Planning Commission hereby provides a favorable recommendation to the City Council for approval of the NORTH METRO FIRE RESCUE DISTRICT STATION #63 PUD in accordance with the proposed Ordinance for adoption.

Section 2. The City of Northglenn Planning Commission hereby recommends that in addition to the conditions spelled out in the proposed adopting ordinance, they shall be reflected, if necessary, on the Final PUD to be recorded with the Adams County Clerk and Recorder, as required by law.

1. NMFRD will provide proof of a dedicated drainage easement for their stormwater facility, prior to the issuance of a building permit.
2. NMFRD will be required to enter into a Stormwater Facilities Maintenance Agreement prior to issuance of a Certificate of Occupancy.
3. NMFRD will be required to pull all necessary permits prior to construction.

DATED this _____ day of _____, 2017

Sonia Di Carlo
Planning Commission Chair

ATTEST:

Rebecca Smith, AICP
Secretary

Case No. Z-1-17

Applicant: Allred & Associates
Location: 10941 Irma Drive
Ordinance: 11-16 and 11-37-2

NORTH METRO FIRE RESCUE DISTRICT STATION #63 PRELIMINARY & FINAL PLANNED UNIT DEVELOPMENT (PUD) STAFF REPORT AND RECOMMENDATION

REQUEST:

The applicant, Allred & Associates on behalf of the owner, the North Metro Fire Rescue District (NMFRD), requests the Planning Commission hear and recommend, to the City Council, a rezone from I-2 Industrial to Planned Unit Development of the parcel located at 10941 Irma Drive **(EXHIBIT A)**.

REASON FOR REQUEST:

The applicant proposes to redevelop and expand the existing fire station in a manner that would no longer fit within the constraints of the existing zoning classification **(EXHIBIT B)**.

BACKGROUND:

The North Metro Fire Rescue District serves the City of Northglenn as well as City of Broomfield and unincorporated areas of Adams, Boulder, Jefferson, and Weld counties. NMFRD currently operates two fire stations within the City limits. Station #63 at 10941 Irma Dr. has operated out of the current location in the Northglenn Industrial Park since 1970.

The fire district is proposing to renovate and redevelop the existing station to add more than 50% to the existing size. Due to the desire to utilize portions of the existing building footprint and need for slightly larger fire truck bays to reflect modern truck sizes, the setbacks in the existing I-2 Industrial zoning classification could not accommodate the proposed redevelopment.

The Planning Commission must provide a recommendation of the Preliminary PUD and any decision of the Final PUD based on the criteria from Sections 11-16-2 and 11-37-2 of the Northglenn Zoning Ordinance, outlined in the Approval Criteria Section below.

If the Planning Commission makes a recommendation on the Preliminary PUD and approves the Final PUD, the recommendation will be forwarded to the City Council for approval.

SURROUNDING LAND USES:

North: I-2 Industrial zoning – Northglenn Elks Lodge
South: Muriel Dr. and I-2 Industrial zoning – Auto Repair
West: R-1-C Single-Family Residential Zoning
East: Irma Dr. and I-2 Industrial Zoning – Landscaping supply

CASE ANALYSIS:

The analysis of the case was completed with the review of submitted materials for the Preliminary PUD and Final PUD.

Land Use / Site Plan

The NMFRD proposal is a redevelopment of the existing single story 4,202 SF fire station. The new station will expand the building footprint to 5,547 SF to accommodate a larger fire truck bay to the north and east and facility area to the south. The proposed PUD zoning would allow the fire station use. While the City does not have specific institutional zoning, the proposal is in conformance with the City's Master Plan as the parcel is shown as institutional in the future land use map of the Comprehensive Plan.

The existing station has two firetruck bays with emergency vehicle access from Muriel Dr. The proposed station will have three bays that will access from Irma Dr. The western footprint of the building will remain largely unchanged while the building footprint will expand to the north, south, and east. The required setback for a corner lot in the I-2 Industrial zone matches that of the front setback of 50'. The existing station was developed prior to the existing zoning requirements and so currently has a legal non-conforming setback from Muriel of approximately 20'. The proposed PUD standards would establish an alternative south setback of 15', and an east setback from Irma Dr. of 49'.

The majority of the station enlargement will be the addition of a second floor above the new bays on the eastern portion of the building to accommodate a living area for the firefighters. The gross floor area of the new station will be 9,350 SF. The fire district has indicated that the operations of the station will remain unchanged and house the same number of firefighters, staff and visitors as the existing station. The enlargement reflects the need to better accommodate the existing operations from the original design of the station over 45 years ago.

Traffic & Parking

The applicant provided a traffic report that has been reviewed by Public Works staff and includes analysis of the proposed emergency vehicle access change from Muriel Dr. to Irma Dr. To accommodate this change the existing access for non-emergency vehicles on Irma Dr. will be expanded to the south to allow fire trucks to drive straight from the east-facing bays onto Irma Dr. Access for non-emergency vehicles to the north will remain unchanged, along with access to the parking area from Muriel Dr. The former truck access from Muriel will be removed. No additional signalization will need to be installed on Irma

for the new emergency access. Signal preemption at the existing Irma and Muriel intersection will allow traffic to clear and allow emergency access to Irma Dr. **EXHIBIT C** is the full traffic report.

The number of parking spaces on the site will remain unchanged as the operations will not expand and the current site meets the existing facility's needs.

Utilities

The utilities for the site are being upgraded from the existing building. The applicant submitted a utility report to Public Works staff outlining the proposed work which includes new 4" fire service to provide fire suppression and relocation of the existing hydrant to the north and east. No additional utility easements are required for this project.

Drainage

The applicant has provided a drainage report that has been reviewed by Public Works staff. The proposal will provide water quality at the southeast corner of the site to be incorporated into the landscaping area. The applicant will be required to submit a final drainage report that addresses any outstanding items identified by the city engineer prior to releasing a building permit. In addition, the applicant will be required to grant the City a drainage easement prior to the issuance of building permits. A Stormwater Facilities Maintenance Agreement shall be executed prior to the issuance of the Certificate of Occupancy.

Landscaping

Total landscape area equates to 15.8% of the site. The landscaping exceeds the City's standard of 12% required on-site landscaping. While the landscape plan is not providing the required number of trees based on the site's corner street frontage, the proposal is maintaining two of the three existing mature trees and adding two additional oak shade trees. This will increase the number of trees from the existing conditions without disturbing the operations of the station. Two additional ornamental trees will be planted near the building entry as well as shrubs and other plantings placed along the south of the building, south along the parking area, and along the edge of the patio area on the northwest side of the building. No prohibited species are proposed.

Architecture/Elevations

Building elevations are included with the submittal which show the existing station and the proposed station. The height will remain similar on the west side of the building increasing from approximately 13' to the pitch of the roof to 14' 10" proposed. The height of the garage bay and second floor is a proposed 37', up from 16' on the east side of the building. For reference, the maximum height of the residential zone to the west is 35' and the surrounding industrial zone is 65'.

The majority of the new station will be a brick veneer. The south elevation also includes "storefront" windows for the two-story staircase and at the entry area surrounded by a metal rainscreen wall paneling. The elevations include building mass variety that steps up from the single-story to the west to the second-story to the east. The east elevation facing Irma Dr. also includes a variation with a higher middle elevation that steps down to either side. These different materials and arrangements create a variation in the elevations that would comply and exceed those required under the existing industrial zoning with the standard architectural requirements outlined in section 11-25-6 (a) (1) & (2).

Section 11-7-9. Architectural and Site Design Standards, Industrial Zones.

(a) Architectural Standards, Industrial Zones.

- (1) Building Mass. Exterior walls shall be broken by recessed or projected entryways, recessed windows, use of more than one finish material, use of more than one color, use of architectural details, or such other technique or combinations of techniques so as to prevent the appearance of massive and featureless walls.*
- (2) Exterior finish materials. A variety of exterior finish materials are encouraged. No material designed or manufactured as an exterior wall surface is prohibited. Smooth face concrete block, concrete panels, and metal siding may be the primary or predominant finish materials but should be used in conjunction with other materials. At least 25 % of building elevations facing public streets should be of materials other than the predominant finish material.*

Administration

In accordance with 11-16-6 Approval Criteria, staff has found that the proposal for the Preliminary and Final PUD is in conformity with the Northglenn Zoning Ordinance and Comprehensive Plan.

The North Metro Fire Rescue District has reviewed the submitted plans separately from the applicant team and has no objections to the proposal. At time of construction the applicant will be required to meet all code requirements of the North Metro Fire Rescue District and the City of Northglenn's Chief Building Official.

Property owners surrounding the proposed facility were notified via mail of the proposal, as required by Section 11-41-3(a) of the City's Zoning Ordinance. In addition, the property in question was posted as required by Section 11-41-3(b).

APPROVAL CRITERIA:

Section 11-16-6. Approval Criteria.

- (a) Prior to granting approval for any preliminary or final planned unit development plan, the Planning Commission and City Council shall give consideration to the purpose and intent of this Article 16 as listed in Section 11-16-2, above, and those criteria for any rezoning request as listed in Section 11-37-2(h) of this Chapter 11 of the Municipal Code. In addition, prior to approval of any final planned unit development plans, the Planning Commission shall find them to be in conformity with the approved preliminary planned unit development plans.*

Section 11-16-2. Purpose and Intent.

- (a) The purpose and intent of this Article is to create a Planned Unit Development regulation which will maximize the land resources available within the City of Northglenn. More specifically, the purposes are as follows:*
- (1) To ensure that zoning decisions are directed toward achievement of community goals and objectives, as embodied in the adopted Master Development Plan, rather than satisfying arbitrary minimum standards.*
 - (2) To recognize the unique nature of each parcel of land and allow flexibility in the planning and design response.*
 - (3) To encourage and promote innovation in land development by allowing more variety in type, design, layout, and architectural design of buildings and site amenities.*
 - (4) To ensure that proposed rezonings and specific proposals presented to staff and the Planning Commission are constructed as presented and not used merely as a tool to facilitate property sale or some other transfer of real estate to make it more marketable.*
 - (5) To encourage economic development to expand the City's tax base and provide employment opportunities.*
 - (6) To create a PUD ordinance that streamlines, consolidates and simplifies zoning and subdivision, an ordinance that expedites rather than hinders the development process.*
 - (7) To allow for the preservation of natural site amenities such as mature trees, water bodies and channels, exceptional views, etc.*
 - (8) To promote the judicious use of open space and landscaped areas with regard to utility and visual impact.*
 - (9) To encourage a harmonious and integrated mix of land uses and require compatibility between new and existing development.*

- (10) *To provide for the efficient and safe movement of vehicular and pedestrian traffic on both public and private roadways. “*

Additionally;

Section 11-37-2. Zone Changes.

- (h) *Basis for Approval. The Commission and Council shall give consideration to and satisfy themselves to the following:*
- (1) *That a need exists for the proposal;*
 - (2) *That this particular parcel of ground is indeed the correct site for the proposed development;*
 - (3) *That there has been an error in the original zoning; or*
 - (4) *That there have been significant changes in the area to warrant a zone change;*
 - (5) *That adequate circulation exists and traffic movement would not be impeded by development; and*
 - (6) *That additional municipal service costs will not be incurred which the City is not prepared to meet.*

APPROVAL CRITERIA ANALYSIS

- (1) That a need exists for the proposal
Staff finds that redevelopment of the site is a benefit to the area. The fire district provides needed emergency response to the community and the existing facility no longer serves the needs of a modern fire department.
- (2) That this particular parcel of ground is indeed the correct site for the proposed development;
Staff finds the proposed development is appropriate for this site based on the existing use as a fire station and concurrence with the Comprehensive Plan.
- (3) That there has been an error in the original zoning; or
The original zoning would not have permitted the existing station to be constructed as it is today. An effort to enforce these restrictions on the current site and use may have rendered the site unusable for the fire district's operations.

- (4) That there have been significant changes in the area to warrant a zone change;

Staff finds that the needs of the fire district since the facility's original construction in 1970 has changed over time. Additionally, the surrounding community has grown and may exceed the existing facility's ability to serve it.

- (5) That adequate circulation exists and traffic movement would not be impeded by development; and

Staff finds that the traffic and circulation impacts will not be impeded by this development, and in fact may be improved as a result of large fire trucks no longer accessing the station from Muriel Dr.

- (6) That additional municipal service costs will not be incurred which the City is not prepared to meet.

Staff finds that there will be no additional municipal service costs incurred.

COMMISSION OPTIONS:

The Planning Commission is making a recommendation for Preliminary PUD to the City Council and a final decision regarding the Final PUD. The Commissions options are as follows:

- 1) Approve the request, with or without conditions or stipulations;
- 2) Deny the request for reasons stated; or
- 3) Table the request for further consideration.

STAFF RECOMMENDATION:

Staff recommends a favorable recommendation of the Preliminary PUD to the City Council and approval of the Final PUD with the following conditions and based on six recommended Findings of Fact per the criteria of Section 11-37-2 of the Northglenn Zoning Ordinance.

RECOMMENDED CONDITIONS OF APPROVAL:

1. NMFRD shall provide a dedicated drainage easement for their stormwater facility, prior to the issuance of a building permit.
2. NMFRD will be required to enter into a Stormwater Facilities Maintenance Agreement prior to issuance of a Certificate of Occupancy.
3. NMFRD will be required to pull all necessary permits prior to construction.

RESPECTFULLY SUBMITTED:

Alan Sielaff
Planning Technician

WHAT'S NEXT: The City Council will next hear the preliminary PUD portion of this application. If the Commission recommends approval of the preliminary portion and approves the Final PUD portion at the hearing then the rezoning will be finalized.

FUTURE APPLICATIONS:

- | | |
|--|--|
| <i>1. Preliminary PUD</i> | <i>Considered by City Council 2/27/17</i> |
| <i>2. ROW / Grading Permits</i> | <i>Approved administratively by staff</i> |
| <i>3. Building Permits</i> | <i>Approved administratively by staff</i> |

EXHIBIT A



NORTH METRO STATION #63 ADDITION & REMODEL

PRELIMINARY & FINAL PUD

BEING A PORTION OF THE NORTHEAST QUARTER (NE1/4) OF SECTION 11, TOWNSHIP 2 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS
STATE OF COLORADO

SITE DATA	GENERAL NOTES	VICINITY MAP	SHEET INDEX																		
<p>BUILDING USE: FIRE STATION</p> <p>TYPE OF CONSTRUCTION: V-B FULLY SPRINKLED</p> <p>ZONING: I-2</p> <p>EXISTING BUILDING GROSS FLOOR AREA: 4,202 SF</p> <p>BUILDING GROSS FLOOR AREA (LOWER & UPPER LEVELS): 9,350 SF</p> <p>LAND USE CHART</p> <table border="1"> <tr> <td>TOTAL BUILDING FOOTPRINT</td> <td>5,547 SF</td> <td>21.4% (4,202 SF. EXISTING)</td> </tr> <tr> <td>SIDEWALK</td> <td>1,406 SF</td> <td>5.4%</td> </tr> <tr> <td>DRIVEWAY/PARKING</td> <td>14,856 SF</td> <td>57.4%</td> </tr> <tr> <td>LANDSCAPING & OPEN SPACE</td> <td>4,066 SF</td> <td>15.8%</td> </tr> <tr> <td>SITE TOTAL</td> <td>25,875 SF</td> <td>100%</td> </tr> <tr> <td></td> <td>(.594 ACRES)</td> <td></td> </tr> </table> <p>MAXIMUM BUILDING HEIGHT: 65'-0"</p> <p>MINIMUM BUILDING SETBACKS:</p> <p>FRONT SETBACK: 49'-0"</p> <p>SIDE SETBACK: 15'-0"</p> <p>REAR SETBACK: 15'-0"</p> <p>TOTAL PARKING PROVIDED</p> <p>20 PARKING SPACES</p> <p>1 HANDICAP SPACES (1 VAN SPACE)</p> <p>EXISTING AND PROPOSED STREETS</p> <p>-IRMA DRIVE</p> <p>-MURIEL DRIVE</p> <p>-NO PROPOSED STREETS</p> <p>RESIDENTIAL UNITS: NONE</p> <p>PUBLIC LAND DEDICATIONS: NONE</p> <p>CONSTRUCTION SCHEDULE: SPRING 2017</p> <p>ALLOWED USES: THE ALLOWED USE IS A FIRE STATION WITH BUNK ROOMS</p>	TOTAL BUILDING FOOTPRINT	5,547 SF	21.4% (4,202 SF. EXISTING)	SIDEWALK	1,406 SF	5.4%	DRIVEWAY/PARKING	14,856 SF	57.4%	LANDSCAPING & OPEN SPACE	4,066 SF	15.8%	SITE TOTAL	25,875 SF	100%		(.594 ACRES)		<ol style="list-style-type: none"> THE CITY OF NORTHGLENN RESERVES THE RIGHT TO PERIODICALLY REVIEW THIS PUD FOR CONFORMANCE WITH ITS PROPOSED CONSTRUCTION SCHEDULE AND WHEN APPROPRIATE, REZONE THIS PROPERTY TO A DIFFERENT ZONING CLASSIFICATION. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE CITY OF NORTHGLENN UTILITY STANDARDS AND SPECIFICATIONS. ALL UTILITY TAPS SHALL BE SUPERVISED AND INSPECTED BY CITY OF NORTHGLENN PERSONNEL. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH CITY OF NORTHGLENN PUBLIC RIGHT-OF-WAY STANDARDS AND SPECIFICATIONS. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT OF 1990. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CITY MUST REVIEW AND APPROVE THE FOLLOWING: <ul style="list-style-type: none"> - GRADING AND DRAINAGE PLAN AND REPORT - EROSION CONTROL PLAN - WATER AND SANITARY SEWER UTILITY CONSTRUCTION PLAN - LANDSCAPE PLAN - COMPLETE CONSTRUCTION PLANS. 		<p>A1.0 COVER SHEET IMPROVEMENT SURVEY PLAT COVER SHEET IMPROVEMENT SURVEY PLAT</p> <p>A1.0 SITE PLAN A1.1 SITE DETAILS</p> <p>C1.0 SITE PLAN - WEST C2.0 SITE PLAN - EAST C3.0 UTILITY PLAN - WEST C4.0 UTILITY PLAN - EAST C5.0 GRADING PLAN - WEST C6.0 GRADING PLAN - EAST</p> <p>L1 LANDSCAPE PLAN L2 LANDSCAPE DETAILS</p> <p>A4.0 EXISTING DEMO ELEVATIONS A4.1 SOUTH & EAST ELEVATIONS A4.2 NORTH & WEST ELEVATIONS</p>
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	<p>APPROVAL LIST</p> <p>MAYOR _____ DATE _____</p> <p>PLANNING COMMISSION CHAIRPERSON _____ DATE _____</p> <p>CITY CLERK _____ DATE _____</p> <p>DIRECTOR OF PLANNING AND DEVELOPMENT _____ DATE _____</p> <p>DIRECTOR OF PUBLIC WORKS AND UTILITIES _____ DATE _____</p>	<p>OWNERS CERTIFICATE</p> <p>I, _____, HEREBY AFFIRM THAT I AM THE _____ OF _____ OF THE PROPERTY DESCRIBED HEREIN, KNOWN AS NORTH METRO FIRE STATION #63.</p> <p>OWNER _____ DATE _____</p> <p>NOTARY PUBLIC _____ DATE _____</p>	<p>PROJECT TEAM</p> <p>OWNER NORTH METRO FIRE 101 SPADER WAY BROOMFIELD, CO 80020 C: DAVE ANDERSON P: 303.466.4434 F: E: danderson@northmetrofire.org</p> <p>ARCHITECT ALLRED & ASSOCIATES 580 BURBANK ST., UNIT 125 BROOMFIELD, CO 80020 C: BRAD BONNET P: 303.465.4306 x5 F: E: brad@allredarch.com</p> <p>CIVIL PARK ENGINEERING CONSULTANTS 420 21ST AVENUE, SUITE 101 LONGMONT, CO 80501 C: JOEL SEAMONS P: 303.651.6626 X2 F: 303.651.0331 E: Joel@Parkengineering.net</p> <p>LANDSCAPE MEURAN DESIGN GROUP 852 BROADWAY, STE 250 DENVER, CO 80203 C: KERRY SMEESTER P: 303.512.0549 F: 303.812.1224 E: kts@meuran.com</p>																		
	<p>RECORDING CERTIFICATE</p> <p>THIS PUD WAS FILED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER IN THE COUNTY OF ADAMS, STATE OF COLORADO, THIS _____ DAY OF _____ 2017, AND ENTERED IN PLAT BOOK _____ AT PAGE _____ RECEPTION NO. _____</p> <p>BY: _____ DEPUTY _____</p> <p>CLERK _____ CLERK AND RECORDER _____</p> <p>MY COMMISSION EXPIRES: _____</p> <p>INSTRUMENT NO: _____</p>	<p>DESIGN CERTIFICATE</p> <p>I HEREBY AFFIRM THAT THE PLANS WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISIONS) FOR THE OWNERS THEREOF IN ACCORDANCE WITH THE PROVISIONS OF CITY OF NORTHGLENN STANDARDS AND SPECIFICATIONS. I UNDERSTAND THAT IT IS THE POLICY OF THE CITY OF NORTHGLENN THAT THE CITY DOES NOT AND WILL NOT ASSUME LIABILITY FOR FACILITIES DESIGNED BY OTHERS.</p> <p>BRENT ALLRED (ARCHITECT) _____ DATE _____</p>																			

ALLRED & ASSOCIATES

ARCHITECTURE • PLANNING • INTERIOR DESIGN
580 BURBANK ST., SUITE 125, BROOMFIELD, COLORADO 80020 PH: 303.466.4434 FAX: 303.466.4434 WWW.ALLREDARCH.COM

**NMFRD STATION #63
ADDITION & REMODEL**

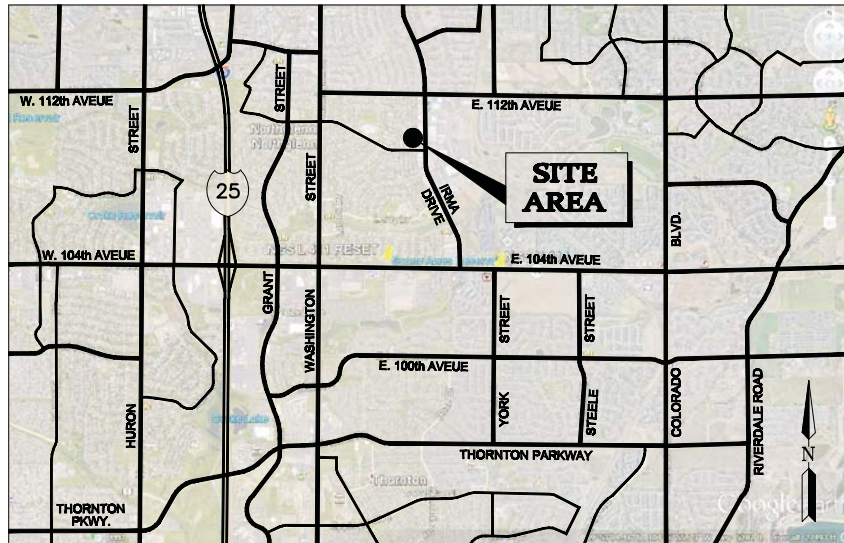
ISSUE DATE: 2016 1209

COVER SHEET

A0.0

IMPROVEMENT SURVEY PLAT

BEING A PORTION OF THE NORTHEAST QUARTER (NE1/4) OF
SECTION 11, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS,
STATE OF COLORADO



VICINITY MAP
Not to scale

SUBJECT PROPERTY DESCRIPTION

THE SOUTH 115 FEET OF THE SOUTH 225 FEET OF TRACT 6 OF NORTHGLENN – SEVENTH FILING, COUNTY OF ADAMS,
STATE OF COLORADO.

(PUBLISHED ADDRESS FOR INFORMATIONAL PURPOSES ONLY: 10941 IRMA DRIVE, NORTHGLENN, COLORADO)

PROJECT BENCHMARK

NATIONAL GEODETIC SURVEY (N.G.S.) STATION K 411

A STAINLESS STEEL ROD IN SLEEVE, STAMPED "K 4511 1984", LOCATED IN THE SOUTHEAST QUADRANT OF THE
INTERSECTION OF 104TH AVENUE AND YORK STREETS.

PUBLISHED NAVD 88 ELEVATION = 5286.40 FEET

SURVEYOR'S NOTES

1. DATE OF FIELD WORK COMPLETION: MAY 4, 2016.
2. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
3. THIS IMPROVEMENT SURVEY PLAT, AND THE INFORMATION HEREON, MAY NOT BE USED FOR ANY ADDITIONAL OR EXTENDED PURPOSES BEYOND THAT FOR WHICH IT WAS INTENDED AND MAY NOT BE USED BY ANY PARTIES OTHER THAN THOSE TO WHICH IT IS CERTIFIED.
4. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POWER SURVEYING COMPANY, INC. THIS IMPROVEMENT SURVEY PLAT WAS PERFORMED AND ISSUED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
5. THIS IMPROVEMENT SURVEY PLAT CONSISTS OF TWO (2) SHEETS.
6. BASIS OF BEARINGS: SOUTH 00°12'00" WEST, BEING THE BEARING OF THE WEST LINE OF IRMA DRIVE, AS DEFINED AND MEASURED BETWEEN THE MONUMENTS FOUND AND SHOWN HEREON.
7. THE SUBJECT PROPERTY CONTAINS 25,875 SQUARE FEET OR 0.594 ACRES OF LAND, MORE OR LESS.
8. THE UNDERGROUND UTILITIES SHOWN HEREON WERE LOCATED FROM SURFACE EVIDENCE AND PAINT MARKINGS SUPPLIED BY ACCURATE UNDERGROUND UTILITY FIELD SERVICES ON MAY 4, 2016. SAID UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE IN NATURE. FOR EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES, POT-HOLING IS RECOMMENDED. EXCEPT FOR SANITARY SEWER INVERTS SHOWN HEREON, THIS SURVEYOR HAS NOT PHYSICALLY OR ACTUALLY LOCATED ANY UNDERGROUND UTILITIES SHOWN HEREON.
9. REGARDING THE APPARENT EXISTENCE OF SANITARY SEWER LINES IN IRMA DRIVE AND MURIEL DRIVE, THE LINES HAVE BEEN SHOWN ON THE MAP SHEET FOR REFERENCE ONLY. AFTER EXAMINING THE SURVEYED INVERTS AND PIPE SIZES BETWEEN THE MANHOLES, IT IS DIFFICULT TO CONCLUDE WHICH MANHOLES CONNECT TO EACH OTHER. IT IS RECOMMENDED THAT UTILITY MAPPING RESEARCH BE CONDUCTED WITH THE CITY OF NORTHGLENN TO DETERMINE THEIR PROPER LOCATIONS.

SURVEYOR'S CERTIFICATE

I, HEREBY CERTIFY THAT ON MAY 4, 2016, A SURVEY WAS MADE OF THE ABOVE DESCRIBED PROPERTY UNDER MY DIRECT SUPERVISION AND THE CORNERS WERE SET AS SHOWN, HOLDING FOUND POINTS AND PLAT DISTANCES WHEREVER POSSIBLE AND UTILIZING ADAMS COUNTY SURVEY INFORMATION FOR CONTROL. I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE PARCEL ON THIS DATE, MAY 4, 2016, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES EXCEPT AS INDICATED, AS THAT THERE IS NO EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

RICHARD B. GABRIEL, P.L.S.
Colorado License No. 37929
For and on behalf of
Power Surveying Company, Inc.



CLERK & RECORDER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____ O'CLOCK ____M., THIS
_____ DAY OF _____, A.D., 20____.

FILED AT RECEPTION NO. _____

BY: _____
ADAMS COUNTY RECORDER

DEPUTY _____



TYPE OF SUBMITTAL:	IMP SURV PLAT
PREPARATION DATE:	MAY 12, 2016
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	
JOB NO. 501-16-126	DWS: 501-16-126.dwg

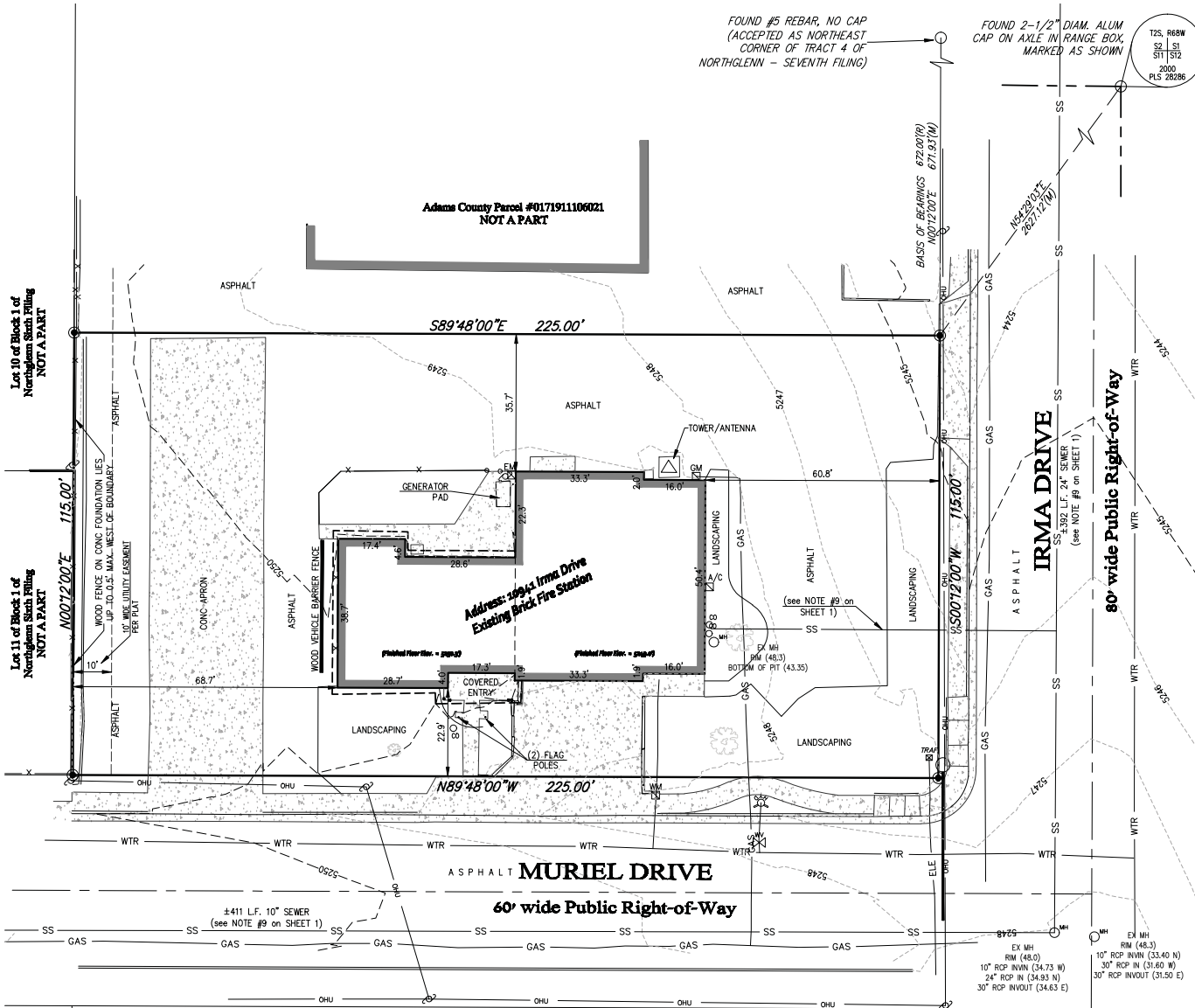
SHEET 1 OF 2

IMPROVEMENT SURVEY PLAT

BEING A PORTION OF THE NORTHEAST QUARTER (NE1/4) OF
SECTION 11, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS,
STATE OF COLORADO

LIST OF SYMBOLS & ABBREVIATIONS

○	MONUMENT FOUND, AS NOTED
●	SET REBAR & PLASTIC CAP, MARKED PLS 37929" TYPICAL
(C)	CALCULATED
(R)	RECORD
(M)	MEASURED
□	IRRIGATION CONTROL BOX
⊕	FIRE HYDRANT
⊗	MONITORING WELL
⊕	WATER VALVE
⊕	WATER METER
⊕	STORM DRAIN MANHOLE
⊕	AREA DRAIN OR STORM INLET
⊕	SANITARY SEWER MANHOLE
⊕	SANITARY SEWER CLEANOUT
⊕	AREA LIGHT OR STREETLIGHT
⊕	POWER POLE
⊕	ELECTRIC BOX
⊕	ELECTRIC METER
⊕	TRAFFIC SIGNAL BOX
⊕	TELEPHONE MANHOLE
⊕	TELEPHONE BOX OR RISER
⊕	GAS METER
⊕	MISC. SIGN AND/OR POST
⊕	TREE OR BUSH
WTR	EXISTING WATER LINE
IR	EXISTING IRRIGATION LINE
SS	EXISTING SANITARY SEWER LINE
SD	EXISTING STORM DRAIN LINE
GAS	EXISTING GAS LINE
ELE	EXISTING ELECTRIC LINE
LE	EXISTING ELECTRIC LINE (LIGHTING)
OHU	EXISTING OVERHEAD UTILITY LINE
TE	EXISTING TELEPHONE LINE
FO	EXISTING FIBEROPTIC LINE
TS	EXISTING TRAFFIC SYSTEM WIRING
CTV	EXISTING TRAFFIC SYSTEM WIRING
---	ADJOINING LOT OR PARCEL LINE
---	CENTERLINE
---	PUBLIC LANDS SURVEY SECTION LINE
---	SUBJECT PROPERTY BOUNDARY LINE



TYPE OF SUBMITTAL:	IMP SURV PLAT
PREPARATION DATE:	MAY 12, 2016
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	
JOB NO. 501-16-126	DWS: 501-16-126.dwg

SHEET 2 OF 2

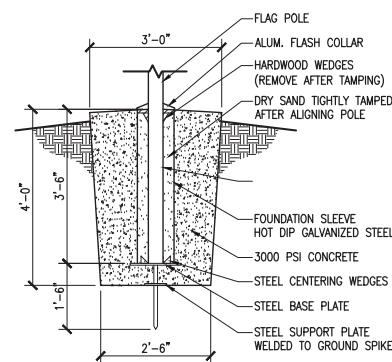
Al₂O₃

ISSUE DATE: 2016 1209

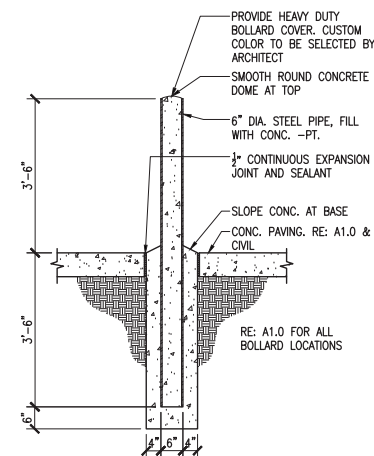
ALLRED & ASSOCIATES



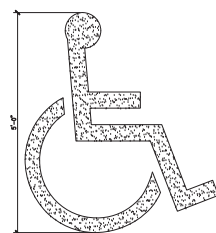
NMFRD STATION #63 ADDITION & REMODEL



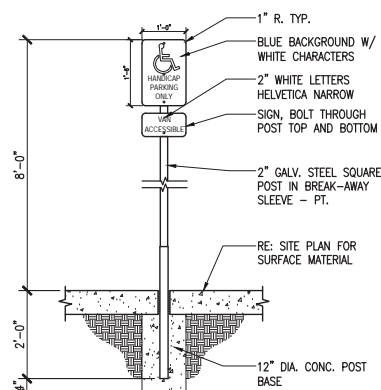
5 FLAG POLE DETAIL
SCALE: 1/2"=1'-0"



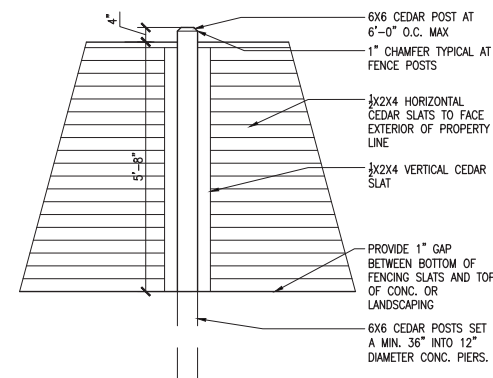
4 BOLLARD DETAIL
SCALE: 1/2"=1'-0"



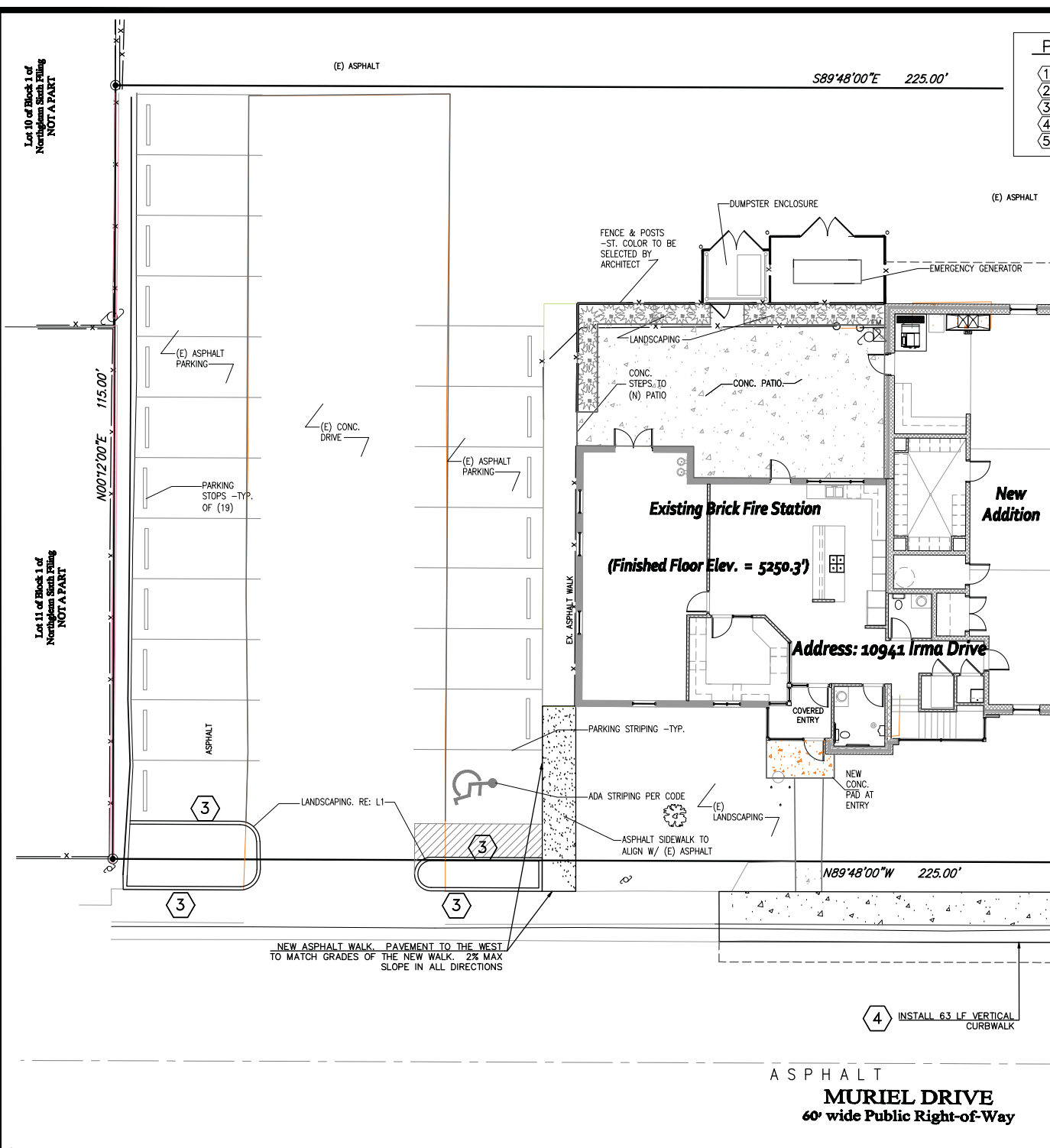
3 ACCESSIBLE PARKING SYMBOL
1/2" = 1'-0"



2 SIGN
1/2" = 1'-0"



1 FENCE DETAIL
SCALE: 1/2"=1'-0"



PLANIMETRIC LEGEND	
①	MIDBLOCK RAMP W/ DETECTABLE DOMES (DTL R11)
②	STD SIDEWALK CHASE DRAIN (DTL R12A & B)
③	6" VERTICAL MEDIAN CURB & GUTTER (DTL R4)
④	VERTICAL CURB & GUTTER & ATTACHED WALK (DTL R4)
⑤	MOUNTABLE CURB & GUTTER (DTL R5)

SUBJECT PROPERTY DESCRIPTION
 THE SOUTH 115 FEET OF THE SOUTH 225 FEET OF TRACT 6 OF NORTHGLENN - SEVENTH FILING, COUNTY OF ADAMS, STATE OF COLORADO.

(PUBLISHED ADDRESS FOR INFORMATIONAL PURPOSES ONLY:
 10941 IRMA DRIVE, NORTHGLENN, COLORADO)

PROJECT BENCHMARK

NATIONAL GEODETIC SURVEY (N.G.S.) STATION K 411
 A STAINLESS STEEL ROD IN SLEEVE, STAMPED "K 4511 1984", LOCATED IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF 104TH AVENUE AND YORK STREETS.
 PUBLISHED NAVD 88 ELEVATION = 5286.40 FEET

- NOTES:**
- ALL CONSTRUCTION FOR THE SITE SHALL BE TO CITY OF NORTHGLENN STANDARDS
 - CONTRACTOR TO OBTAIN NECESSARY ROW PERMITS AND TRAFFIC CONTROL PLANS TO CUT INTO MURIEL DRIVE AND IRMA DRIVE.
 - PAVEMENT THICKNESS NOTES:
 - NEW ASPHALT TO BE 7" FULL DEPTH ASPHALT
 - NEW CONCRETE FOR FIRE ACCESS TO BE 7"
 - NEW SITE CONCRETE TO BE CITY STANDARD
 - NEW CONCRETE FOR SIDEWALKS AT EAST ENTRY TO BE 7".
 - WHEN "REMOVE" OR "REMOVAL" IS USED ON THE PLANS, THAT SIGNIFIES THAT THE CONTRACTOR WILL REMOVE SAID ITEM AND ITS APPURTENANCES AND DISPOSE OF THEM OFFSITE PER CITY AND STATE REGULATIONS. THE CONDITION OF THE IMMEDIATE AND SURROUNDING AREA WILL BE BETTER THAN ORIGINALLY FOUND.

ALLRED&ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIOR DESIGN
 500 E. MAIN ST. SUITE 200 DENVER, CO 80202 PH: 303/733-4636 FAX: 303/733-4636
 PLANNED UNIT DEVELOPMENT • JOB NO. 1834

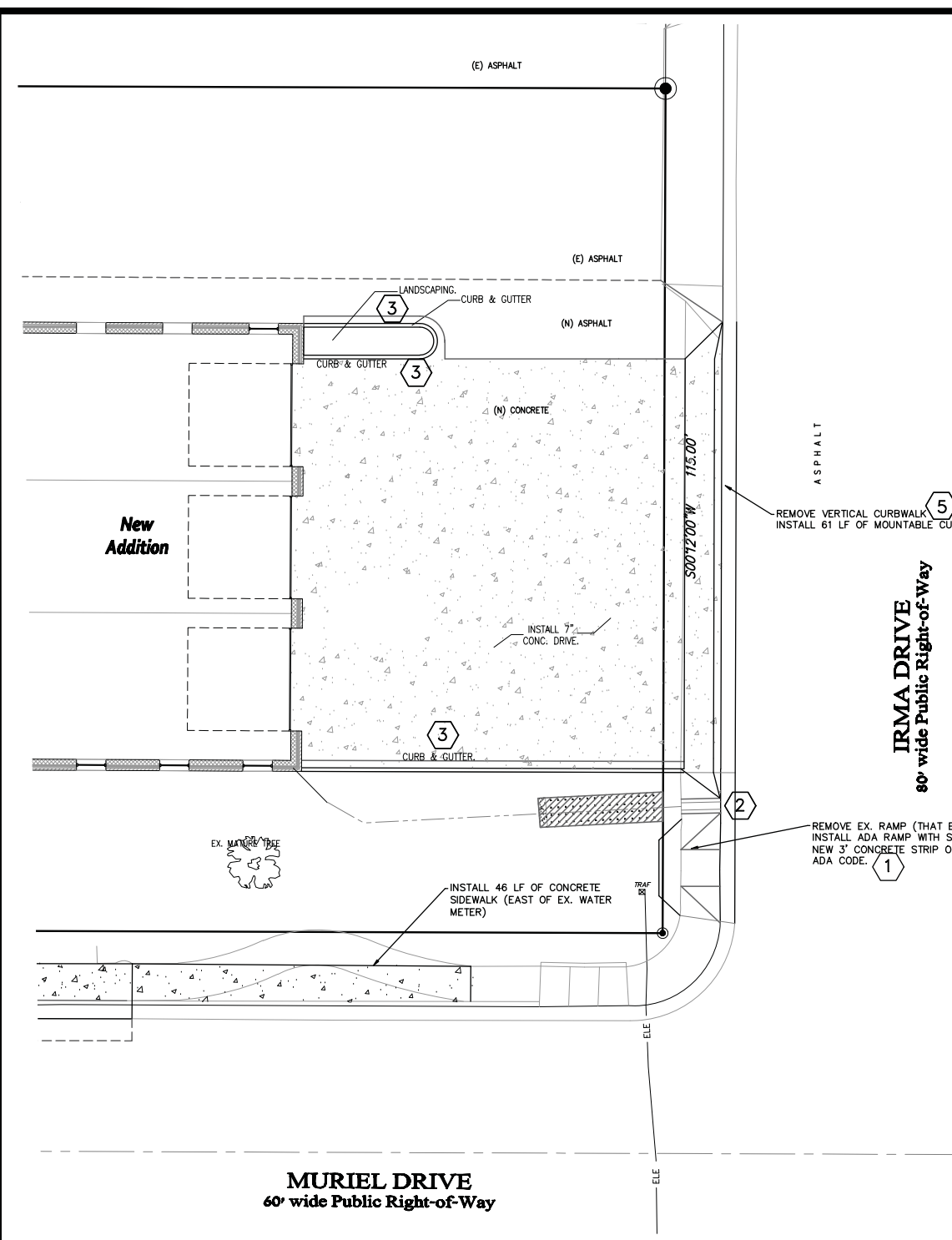
**NMFRD STATION #63
 ADDITION & REMODEL**



ISSUE DATE: 2016.11

SITE PLAN
 WEST

C1.0



PLANIMETRIC LEGEND

①	MIDBLOCK RAMP W/ DETECTABLE DOMES (DTL R11)
②	STD SIDEWALK CHASE DRAIN (DTL R12A & B)
③	6" VERTICAL MEDIAN CURB & GUTTER (DTL R4)
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ARCHITECTURE • PLANNING • INTERIOR DESIGN
 500 E. MAIN ST. SUITE 200 DENVER, CO 80202 PH: 303.733.4444 FAX: 303.733.4444 WWW.ALLRED.COM

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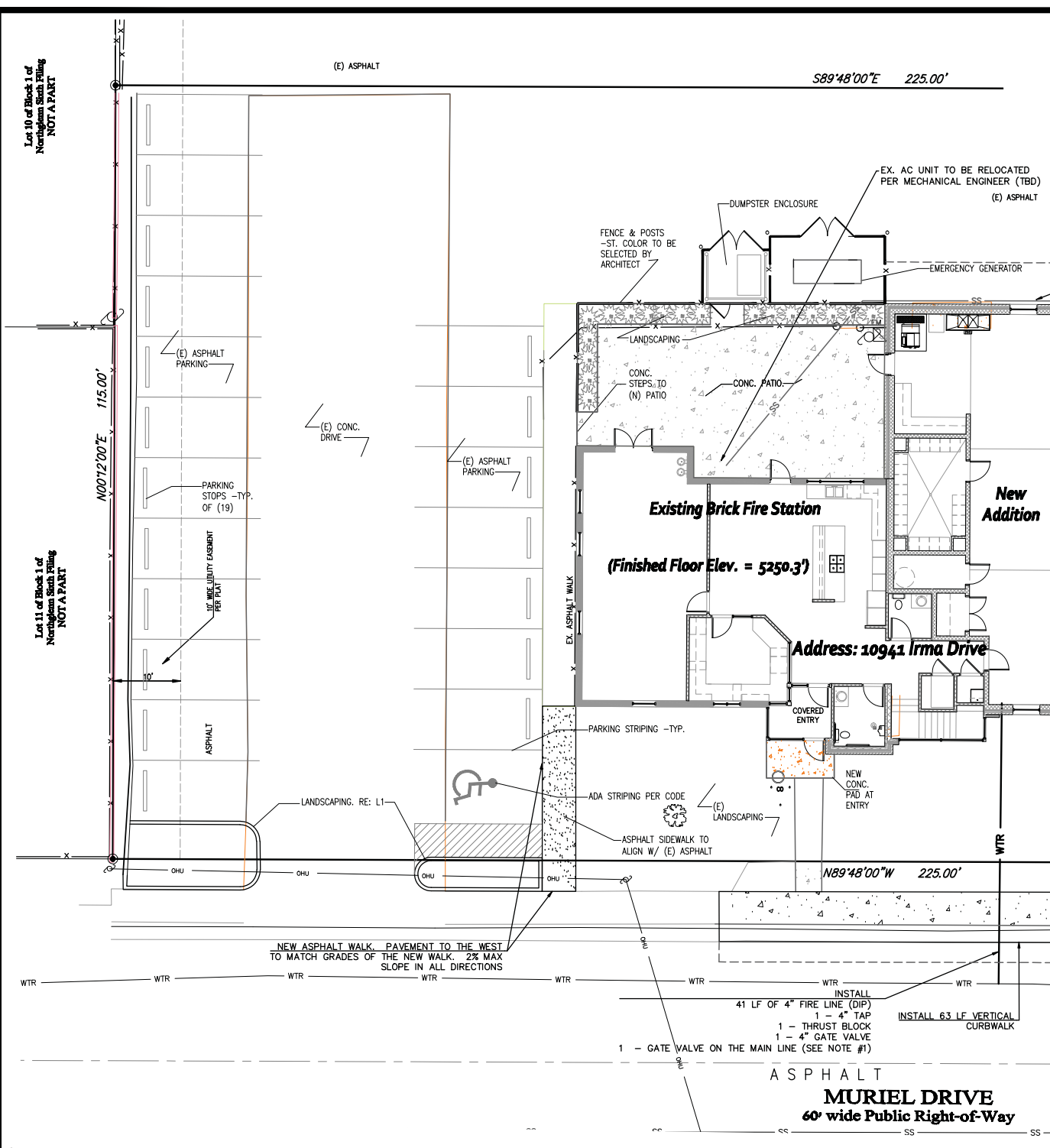
**NMFRD STATION #63
 ADDITION & REMODEL**



ISSUE DATE: 2016.11

SITE PLAN
 EAST

CI.I

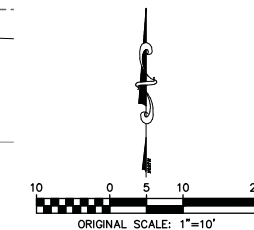


CITY STANDARD NOTES:

1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO CITY OF NORTHGLENN UTILITY STANDARDS AND SPECIFICATIONS
2. INSTALLATION OF ALL UTILITY TAPS SHALL BE OBSERVED BY CITY OF NORTHGLENN PERSONNEL
3. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH CITY OF NORTHGLENN STREET AND DRAINAGE STANDARDS AND SPECIFICATIONS
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990.
5. PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE CITY MUST REVIEW AND APPROVE THE FOLLOWING:
 - 5.1. GRADING AND DRAINAGE PLAN AND REPORT
 - 5.2. EROSION CONTROL PLAN
 - 5.3. WATER AND SANITARY SEWER UTILITY CONSTRUCTION PLAN
 - 5.4. LANDSCAPE PLAN
 - 5.5. IRRIGATION PLAN (IF APPLICABLE)
 - 5.6. COMPLETE CONSTRUCTION PLANS FOR ALL REQUIRED PUBLIC IMPROVEMENTS.
6. ALL EXISTING METER VAULTS, UTILITY SERVICE LINE APPURTENANCES, STREET CURB, GUTTER, SIDEWALK AND TRAIL ON AND ADJACENT TO THIS SITE SHALL BE REPAIRED AS NECESSARY AND BROUGHT TO CURRENT CITY STANDARDS.
7. STREET LIGHTS ON PUBLIC STREETS ADJACENT TO THIS SITE, IF NECESSARY, SHALL BE DESIGNED AND INSTALLED BY XCEL ENERGY ACCORDING TO CITY APPROVED STANDARDS AND PAID FOR BY THE DEVELOPER OR PROPERTY OWNER PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.

NOTES:

1. FIRE LINE SIZE DETERMINED BY MECHANICAL ENGINEER. A FLOW TEST WAS COMPLETED BY THE FIRE DEPARTMENT NEAR THIS LOCATION ON NOVEMBER 14, 2016. THE RESULTS IN THE TABLES ABOVE
2. EXACT LOCATION OF SANITARY SEWER SERVICE IS UNKNOWN. CARE MUST BE TAKEN WHEN CONSTRUCTING IMPROVEMENTS ON SITE TO ENSURE THE LINE IS NOT DAMAGED.
3. IRRIGATION TAP SHALL BE 3" DIAMETER (DESIGNED BY IRRIGATION ENGINEER). LOCATION SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL FIND EX. SERVICE LINE AND INSTALL ALL APPURTENANCES ASSOCIATED WITH CONNECTING TO THE EX. SANITARY LINE.



ALLRED & ASSOCIATES

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500 E. MAIN ST. SUITE 200 DENVER, CO 80202 PH: 303/733-4643 FAX: 303/733-4643

PLANNED UNIT DEVELOPMENT • JOB NO. 1834

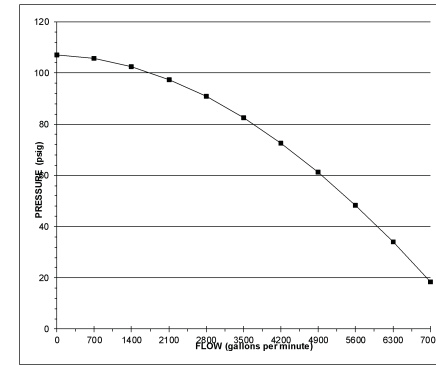
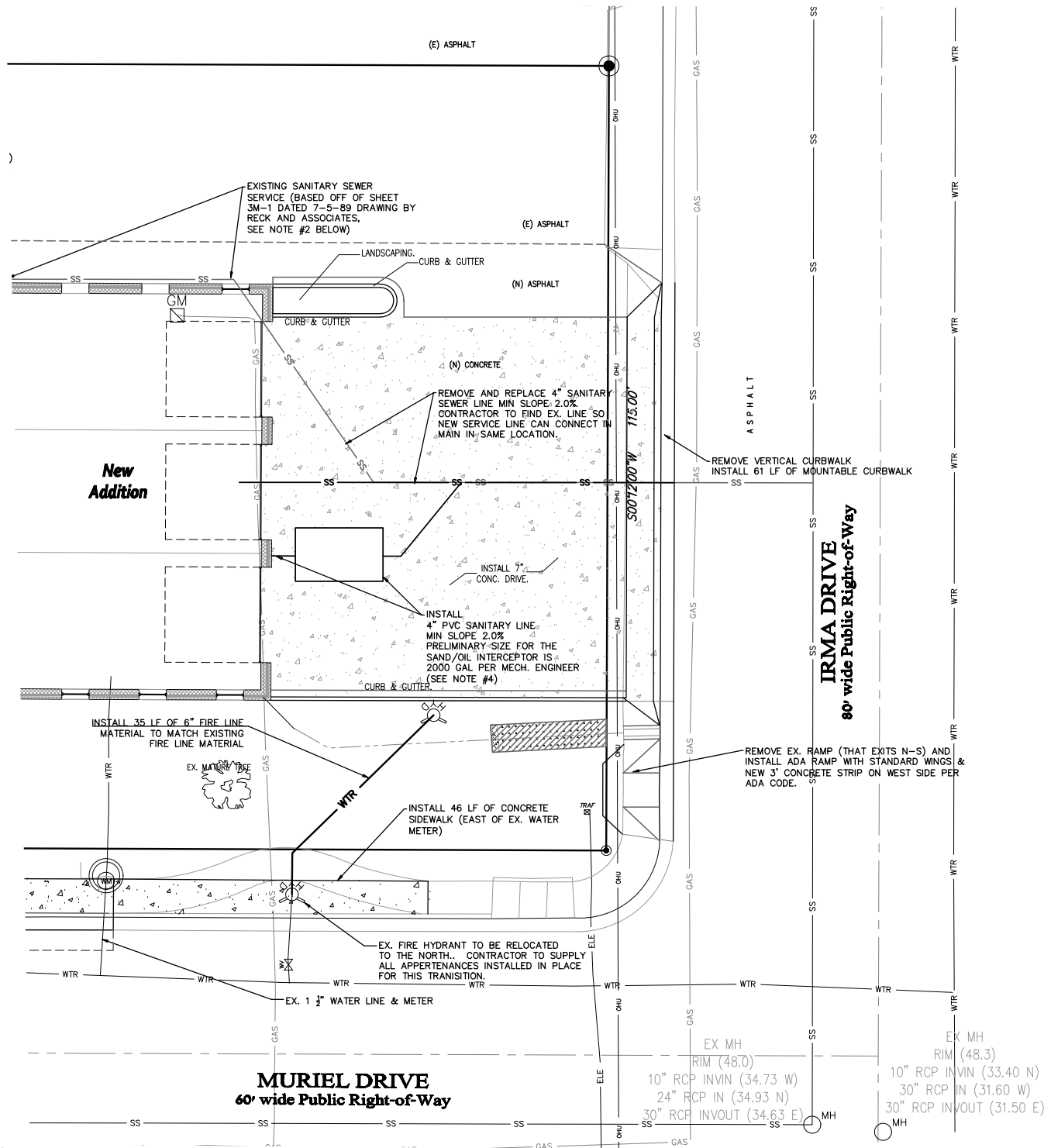
**NMFRD STATION #63
ADDITION & REMODEL**



ISSUE DATE: 2016.11

UTILITY PLAN
WEST

C2.0



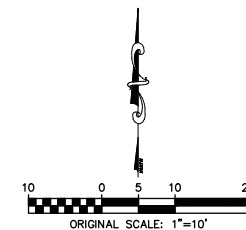
Test Hydrant Flow Hydrant Flow Hydrant Flow Hydrant Flow Hydrant Flow Hydrant Flow Hydrant Flow			
Location	10941 Irma Dr	11012 Murray	
Hydrant ID			
Coefficient		0.9	
Diameter (to 1/16")		2.5	
Gage ID			
Static Pressure (psi)	107		
Residual Pressure (psi)	104		
Flow Pressure (psi)		45	
GPM Flowing		1126	
GPM Available @ 20 psi	6,935		

CITY STANDARD NOTES:

- ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO CITY OF NORTHGLENN UTILITIES STANDARDS AND SPECIFICATIONS.
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- IRRIGATION TAP SHALL BE 3/4" DIAMETER (DESIGNED BY IRRIGATION ENGINEER). LOCATION SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIND EX. SERVICE LINE AND INSTALL ALL APPURTENANCES ASSOCIATED WITH CONNECTING TO THE EX. SANITARY LINE.



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500 BROADWAY, SUITE 200, DENVER, CO 80202 PH: 303.733.4646 FAX: 303.733.4646

PLANNED UNIT DEVELOPMENT • JOB NO. 1834

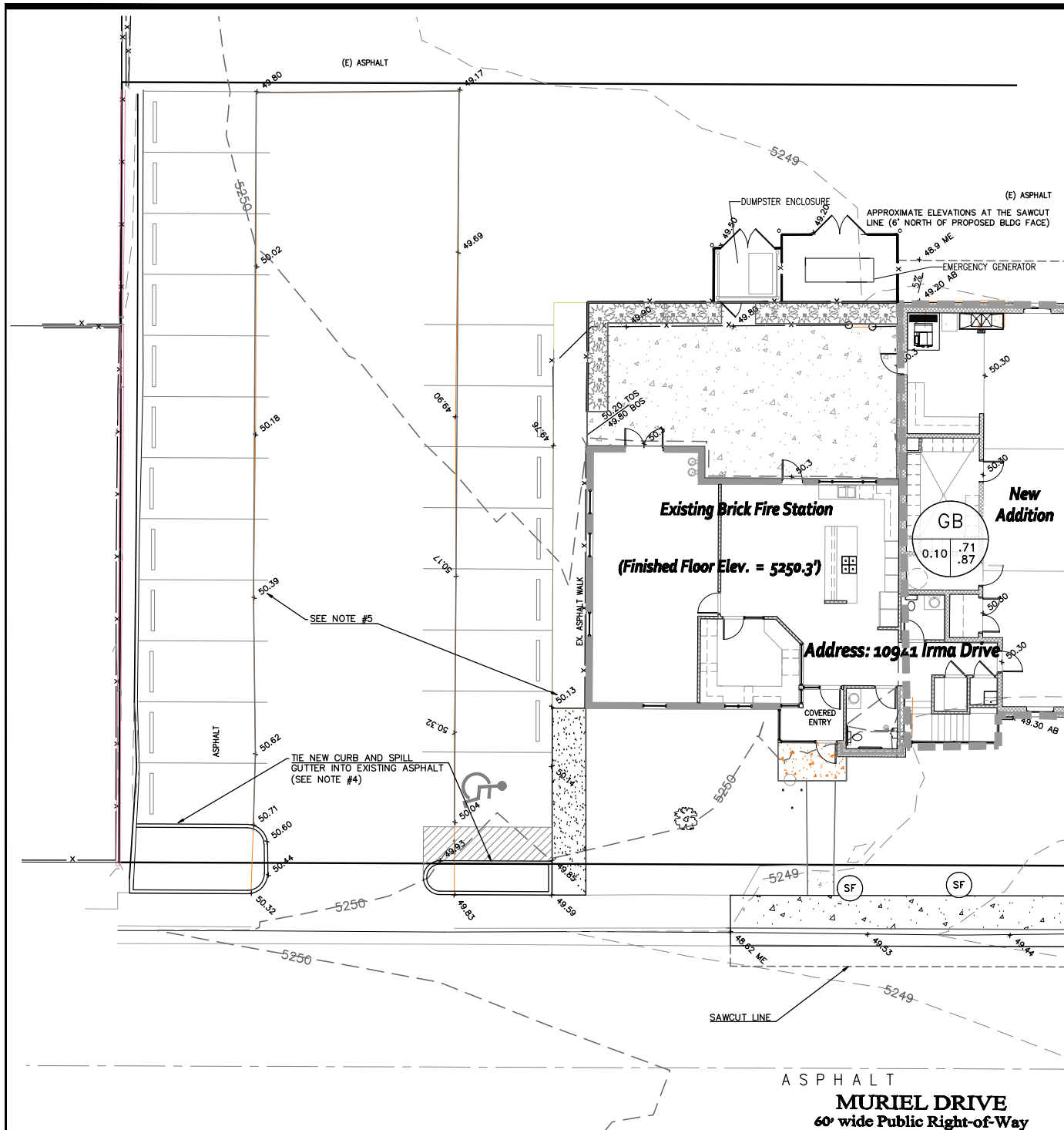
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ADDITION & REMODEL**



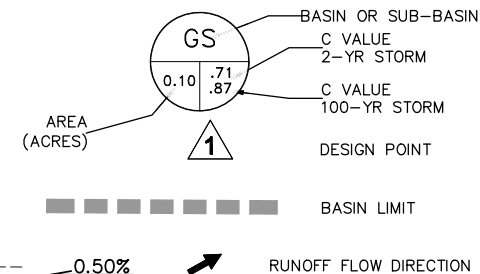
ISSUE DATE: 2016.11

UTILITY PLAN
EAST

C2.1



DRAINAGE LEGEND



EROSION CONTROL LEGEND

- FC ON-SITE FUEL CONTAINMENT (IF NEEDED)
- SF SILT FENCE
- CE CONSTRUCTION ENTRANCE
- IP CURB INLET PROTECTION
- CW CONCRETE WASHOUT AREA (IF NEEDED)
- CS CURB SOCK (FILLED WITH GRAVEL)

NOTES:

- THE PROPOSED GRASS BUFFER IN THE SOUTHEAST CORNER OF THE SITE WILL TREAT A PORTION OF THE ROOF DRAINAGE AND AREA ADJACENT TO THE BUFFER. THIS FLOW WILL DISCHARGE THROUGH A PROPOSED CURB CHASE IN THE WEST SIDEWALK OF IRMA DRIVE.
- THE PROPOSED 6" ROOF DRAIN LINE DISCHARGING TO THE TYPE 'L' RIPRAP AND THEN TO THE GRASS SWALE. ALL OF THE DRAINAGE FROM THE ADDITION WILL FLOW THROUGH THE BUFFER.
- THE SITE IS NOT IN THE 100 YEAR AND PARTIALLY IN THE 500 YEAR FLOODPLAIN.
- IN PLACES WHERE NEW CURB AND GUTTER IS BEING INSTALLED NEXT TO EXISTING PAVEMENT, CONTRACTOR TO SAWCUT PAVEMENT BACK 6" FROM PROPOSED GUTTER LIP AND PAVE/POUR BACK IN TO TIE INTO NEW CURB. PATCH MATERIAL THICKNESS TO MATCH WHAT WAS REMOVED. MINIMUM THICKNESS TO BE 5".
- SPOT ELEVATIONS IN WEST PARKING AREA (NORTH OF THE PROPOSED ISLANDS) ARE EXISTING SPOT ELEVATIONS (TOP OF PAVEMENT). CLIENT WANTS EXISTING PARKING AREA TO REMAIN AS IS EXCEPT FOR THE ISLANDS PROPOSED TO THE SOUTH.
- OUTSIDE OF THE WEST PARKING AREA AND CONCRETE APRON ON EAST SIDE, THE MAJORITY OF THE SPOT ELEVATIONS ARE TO FLOWLINE.
1. TOS - TOP OF STAIRS
2. BOS - BOTTOM OF STAIRS
3. ME - MATCH EXISTING
4. AB - ADJACENT TO BUILDING
5. PROPOSED GRASS BUFFER TO HAVE DRAINAGE EASEMENT TO BE RECORDED BY SEPARATE INSTRUMENT.

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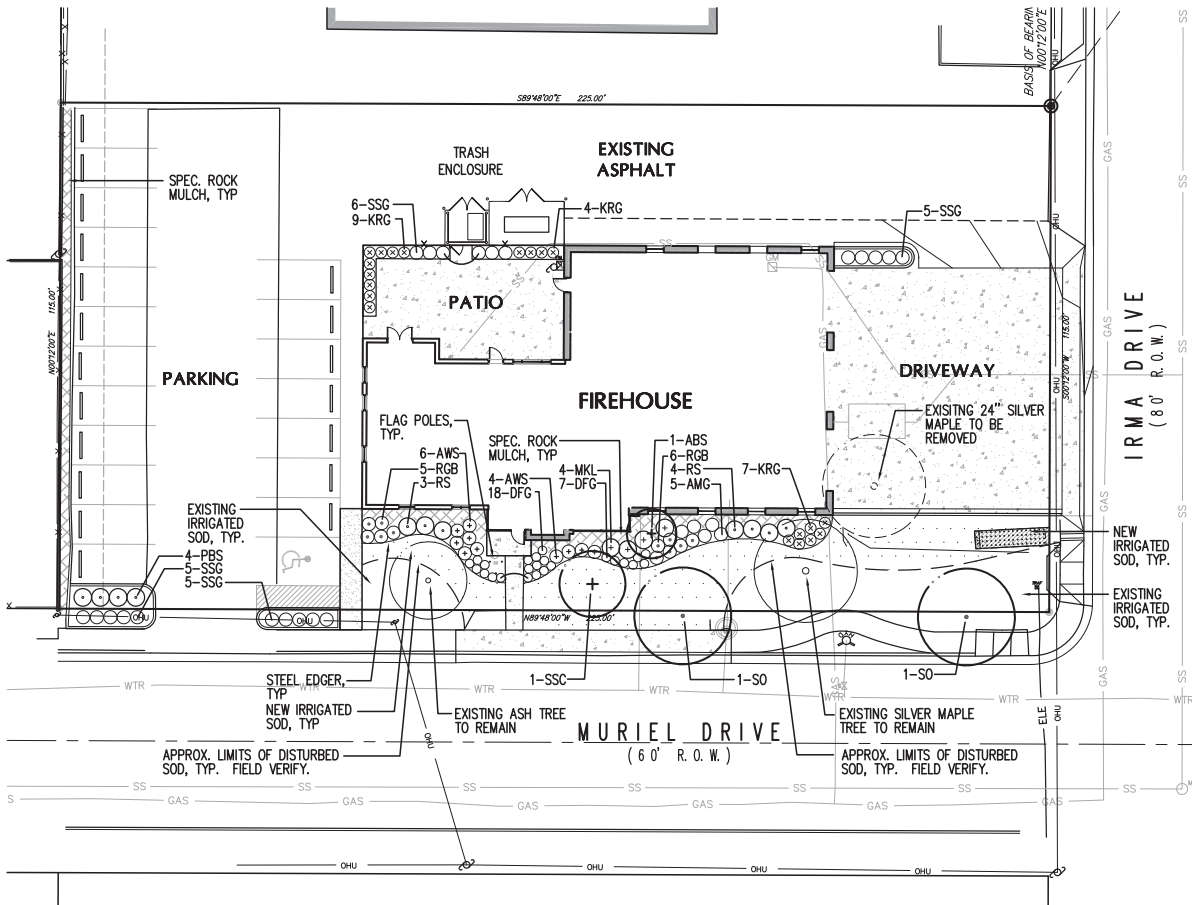
**NMFRD STATION #63
ADDITION & REMODEL**



ISSUE DATE: 2016.11

GRADING & EROSION
CONTROL PLAN-WEST


C3.0



GROUND COVER LEGEND

-  IRRIGATED SOD
Texas Hybrid Mix
- NEW 3/4" CRUSHED GRANITE
ROCK MULCH OVER SPECIFIED
FILTER FABRIC

LANDSCAPE LEGEND

-  NEW DECIDUOUS SHADE TREE
-  NEW DECIDUOUS
ORNAMENTAL TREE
-  NEW DECIDUOUS SHRUBS
-  NEW ORNAMENTAL GRASSES
-  EXISTING DECIDUOUS TREE
TO REMAIN
-  EXISTING DECIDUOUS TREE
TO BE REMOVED

LANDSCAPE TABLE

TOTAL SITE AREA:	25,875 S.F.
ON-SITE LIVING MATERIAL:	(13.1%) 3,379 S.F.
ON-SITE NON-LIVING MATERIAL:	(2.7%) 687 S.F.
PAVING AND STRUCTURES:	(84.2%) 21,809 S.F.
R.O.W. LIVING MATERIAL:	540 S.F.
R.O.W. NON-LIVING MATERIAL:	0 S.F.
SPRAY IRRIGATED AREA:	2,958 S.F.
DRIP IRRIGATED AREA:	961 S.F.

PLANT LIST

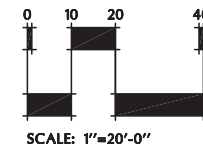
SYM.	QTY.	COMMON / BOTANIC NAME	SIZE	COMMENTS	SYM.	QTY.	COMMON / BOTANIC NAME	SIZE	COMMENTS
DECIDUOUS SHADE TREES					ORNAMENTAL GRASSES				
SO	2	Shumard Oak Quercus shumardii	2" cal.	Specimen quality, full crown, B&B, staked	DFG	25	Dwarf Fountain Grass Pennisetum alopecuroides	1 gal.	container, plant 24" o.c.
ORNAMENTAL TREES					KRG	20	Korean Reed Grass Calamagrostis brachytricha	1 gal.	container, plant 36" o.c.
ABS	1	Autumn Brilliance Serviceberry Amelanchier 'Autumn Brilliance'	1-1/2" cal.	Specimen quality, clump form, B&B, staked	SSG	21	Shenandoah Switch Grass Panicum virgatum 'Shenandoah'	1 gal.	container, plant 36" o.c.
RRC	1	Royal Raindrops Crabapple Malus 'Royal Raindrops'	1-1/2" cal.	Specimen quality, full crown, B&B, staked	AMG	5	Adagio Maiden Grass Miscanthus sinensis 'Adagio'	1 gal.	container, plant 36" o.c.
DECIDUOUS SHRUBS									
AWS	10	Anthony Waterer Spirea Spiraea 'Anthony Waterer'	5 gal.	container, 5 canes min. plant 3' o.c.					
RGB	11	Rose Glow Barberry Berberis thunbergii 'Rose Glow'	5 gal.	container, 5 canes min. plant 3' o.c.					
PBS	4	Pawnee Buttes Sandcherry Prunus besseyi 'Pawnee Buttes'	5 gal.	container, 5 canes min. plant 4' o.c.					
RS	7	Russian sage Perovskia atriplicifolia	5 gal.	container, 5 canes min. plant 4' o.c.					
MKL	4	Miss Kim Lilac Syringa patula 'Miss Kim'	5 gal.	container, 5 canes min. plant 4' o.c.					

REFER TO SHEET L2 FOR
LANDSCAPE NOTES

REFER TO SHEET L3 FOR
LANDSCAPE DETAILS



NORTH



meuran
designgroup
site design
landscape architecture
site planning
700 colorado boulevard, suite 131
denver, colorado 80206
303.512.0549 www.meuran.com

LANDSCAPE
PLAN

L1

ISSUE DATE: 2016 1209

ALLRED & ASSOCIATES

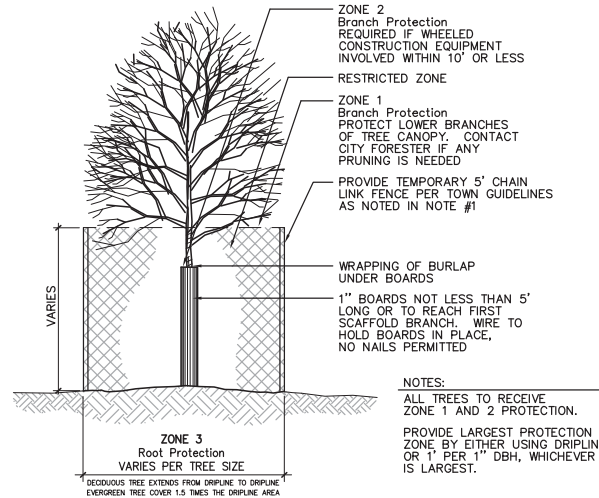
ARCHITECTURE • PLANNING • INTERIOR DESIGN
300 BROADWAY ST. SUITE 1200 DENVER, COLORADO 80202 PH: 303.733.4600 FAX: 303.733.4602 www.allred.com

**NMFRD STATION #63
ADDITION & REMODEL**

PLANNED UNIT DEVELOPMENT • JOB NO. 16.122

TREE PRESERVATION AND REMOVAL NOTES:

1. BARRICADES SHALL HAVE A 1-FOOT RADIUS PER INCH OF TRUNK DIAMETER, WITH A WOOD CHIP MULCH 6 TO 8 INCHES DEEP EXTENDING BEYOND THE BARRIER TO THE DRIPLINE, IF NEEDED. IF LOW BRANCHES WILL BE KEPT, PLACE THE FENCE OUTSIDE THE DRIPLINE. EXAMINE TREES AND BARRICADES AT LEAST ONCE A WEEK DURING CONSTRUCTION. WITHIN THE DRIP LINE OF PROTECTED EXISTING TREES, THERE SHALL BE NO CUT OR FILL UNLESS THE CONSULTING ARBORIST HAS EVALUATED AND APPROVED THE DISTURBANCE. TREE ROOTS ON TREES IN NATIVE AREAS SUCH AS THIS CAN BE FOUND AT THE VERY SURFACE OF THE SOIL, AND AS MANY OF THESE ARE FEEDER ROOTS, NO DISTURBANCE OF ANY KIND SHALL BE PERMITTED UNLESS APPROVED BY THE CONSULTING ARBORIST.
2. ALL EXISTING PRESERVED SPRUCE TREES SHALL BE TREATED FOR Ips BEETLES TWICE PER YEAR (MARCH AND JULY).
3. ALL TRENCHING, BORING, AND PUSHING OF UTILITIES THROUGH THE ROOT ZONES OF EXISTING SHALL BE AVOIDED.
4. IF DAMAGE OCCURS TO ROOTS OF EXISTING TREES, THE ROOTS SHALL BE PRUNED AND COVERED WITH SOIL OR MOIST BURLAP WITHIN TWO HOURS.
5. THE CONSULTING ARBORIST MUST BE CONTACTED PRIOR TO ANY NECESSARY CUT AND FILL EARTHWORK WITHIN THE DRIPLINE OF AN EXISTING PRESERVED TREE.
6. EARTHWORK SHALL NOT BE PLACED ADJACENT TO TREE TRUNKS.
7. ALL CONSTRUCTION ACTIVITY SHALL BE PROHIBITED WITHIN THE FENCED ROOT/DRIP LINE IN ORDER TO PREVENT SOIL COMPACTION.
8. NO CONSTRUCTION RELATED WASH-OUT (E.G., LIME, ACID, CONCRETE) SHOULD OCCUR WITHIN 30 FEET OF ANY TREE TRUNK.
9. A CERTIFIED ARBORIST SHALL PRUNE ALL EXISTING PRESERVED TREES.
10. SUPPLEMENTAL WATERING IS NOT RECOMMENDED UNLESS APPROVED BY THE CONSULTING ARBORIST.



1 TREE PROTECTION DETAIL
N.T.S.

LANDSCAPE NOTES

1. THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE EXISTING CIVIL, MECHANICAL, ELECTRICAL, ARCHITECTURAL, AND IRRIGATION AS-BUILT SITE PLANS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
2. ALL NEW LANDSCAPE AREAS SHALL BE ROTOTILLED WITH CLASS 1 ORGANIC COMPOST AT A RATE OF 4 CUBIC YARDS PER 1,000 SQUARE FEET. THIS PREPARATION SHALL BE THOROUGHLY INCORPORATED INTO THE TOP 6" OF SOIL.
3. ALL DECIDUOUS TREES ARE TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ANY PLANT NOT MEETING THE LANDSCAPE ARCHITECT'S APPROVAL WILL BE REJECTED AT ANY TIME PRIOR TO FINAL ACCEPTANCE.
4. ALL TREES TO BE STAKED OR GUYED AS PER PLANT LIST AND DETAILS.
5. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
7. ALL SHRUB/ORNAMENTAL GRASS BEDS SHALL BE MULCHED WITH 4" DEPTH 3/4" CRUSHED GRANITE ROCK MULCH OVER SPECIFIED FILTER FABRIC.
8. ALL MULCH AREAS ADJACENT TO THE BUILDING SHALL BE MULCHED WITH 4" DEPTH 3/4" CRUSHED GRANITE ROCK MULCH OVER SPECIFIED FILTER FABRIC.
9. ALL NEW SHRUB BEDS AND MULCH AREAS ARE TO BE CONTAINED WITH SPECIFIED ROLL TOP STEEL EDGER (NOT REQUIRED AT CURB, WALKS OR BUILDING). PLACE STEEL EDGER BETWEEN ALL ROCK AND WOOD MULCH BEDS. COLOR OF EDGER TO BE GREEN.
10. ALL NEW LANDSCAPE AREAS WILL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL TURF AREAS LESS THAN 15' IN WIDTH SHALL HAVE LOW-ANGLE SPRAY NOZZLES DESIGNED FOR THE SPECIFIED WIDTH. ALL TURF AREAS GREATER THAN 15' SHALL BE IRRIGATED WITH GEAR-DRIVEN ROTORS WITH LOW ANGLE NOZZLES ON SEPARATE STATIONS. ALL SPRAY HEADS SHALL BE PRESSURE REDUCING DESIGNED TO PREVENT LOW HEAD DRAINAGE. ALL SHRUB BEDS SHALL BE IRRIGATED WITH A SEPARATELY ZONED DRIP SYSTEM PROVIDING FULL COVERAGE TO EACH PLANT. A RAIN SENSOR SYSTEM SHALL BE ADDED TO THE NEW IRRIGATION SYSTEM. THE CONTRACTOR SHALL USE THE EXISTING ON-SITE TAP AND BACKFLOW DEVICE AND SHALL FIELD VERIFY LOCATIONS AND CONDITION. THE LANDSCAPE CONTRACTOR SHALL SUPPLY AN IRRIGATION SYSTEM DESIGN AND SUBMITTALS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
11. NO TREE OR SHRUB MORE THAN 30 INCHES HIGHER THAN TOP OF CURB SHALL BE PLANTED NEITHER IN ANY 50 FOOT VISION TRIANGLE AT ANY STREET INTERSECTION NOR IN ANY 25 FOOT VISION TRIANGLE AT THE INTERSECTION OF ANY DRIVEWAY AND PUBLIC STREET.
12. NO TREE SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE.
13. ALL LANDSCAPING SHALL BE INSTALLED IN COMPLIANCE WITH SEC. 11-6-13. PLANTS PROHIBITED BY THE CITY OF NORTHGLENN SHALL NOT BE UTILIZED OR PLANTED ON THE PROPERTY.

ALLRED & ASSOCIATES

ARCHITECTURE • PLANNING • INTERIOR DESIGN
300 BROADWAY ST. SUITE 1200 DENVER, COLORADO 80202 PH: 303.733.4600 FAX: 303.733.4601 www.allred.com

**NMFRD STATION #63
ADDITION & REMODEL**

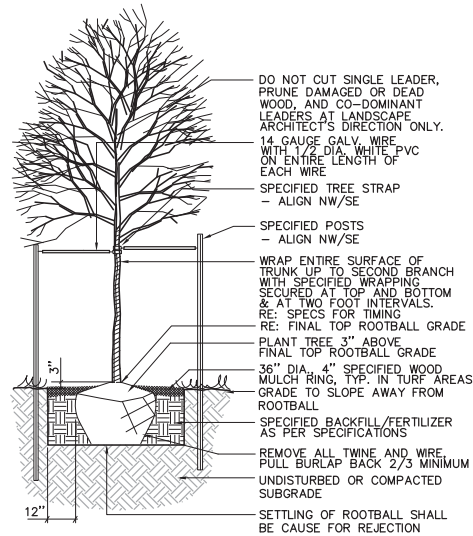
SCALE: REVISIONS: Δ

ISSUE DATE: 2016 1209

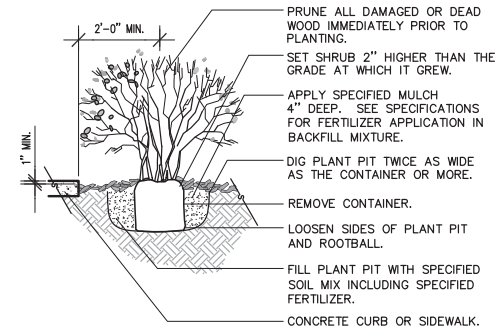
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denver, colorado 80206
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LANDSCAPE
NOTES

L2

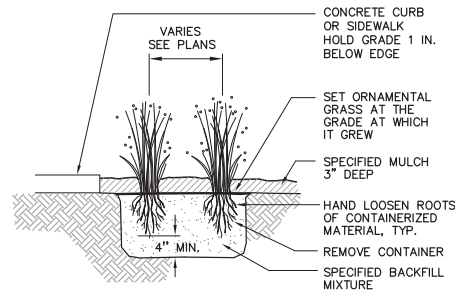


1 DECIDUOUS TREE PLANTING
N.T.S.

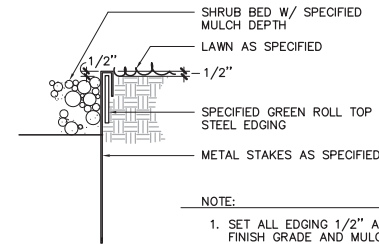


- NOTES:
1. ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
 2. HOLD GRADE 1" BELOW EDGE OF WALK OR CURB. THIS DETAIL SHALL ALSO APPLY TO PERENNIAL FLOWERS IN CONTAINER.
 3. ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF MULCH LAYER.

2 SHRUB PLANTING DETAIL
N.T.S.



3 ORNAMENTAL GRASS DETAIL
N.T.S.



- NOTE:
1. SET ALL EDGING 1/2" ABOVE FINISH GRADE AND MULCH AS SHOWN. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH W/ GRADES OF CONCRETE. ALL JOINTS TO BE SECURELY STAKED.

4 STEEL EDGER DETAIL
N.T.S.

ALLRED&ASSOCIATES

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300 BROADWAY ST. SUITE 1250 DENVER, COLORADO 80202 PH: 303/465-0081 FAX: 303/465-0082 WWW.ALLRED.COM

PLANNED UNIT DEVELOPMENT • JOB NO. 16.122

SCALE:

REVISIONS:

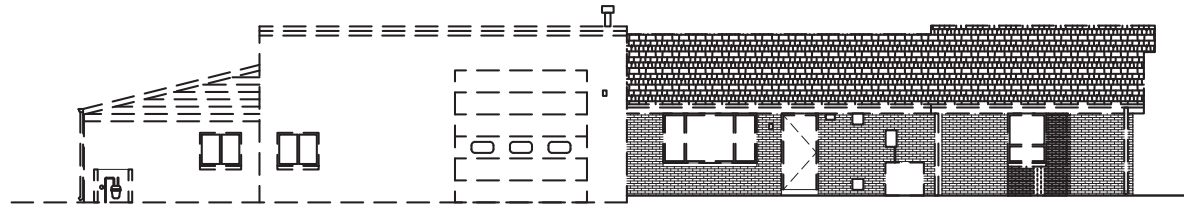
**NMFRD STATION #63
ADDITION & REMODEL**

ISSUE DATE: 2016 1209

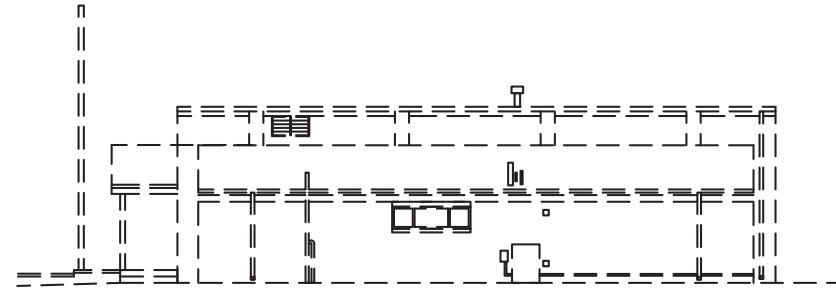
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LANDSCAPE
DETAILS

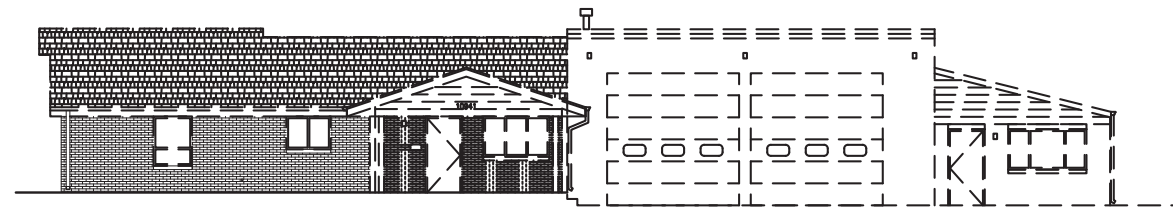
L3



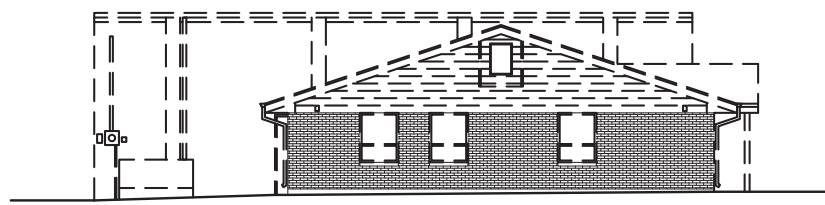
4 NORTH DEMO ELEVATION
SCALE: 1/8"=1'-0"



3 EAST DEMO ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH DEMO ELEVATION
SCALE: 1/8"=1'-0"



1 WEST DEMO ELEVATION
SCALE: 1/8"=1'-0"

ALLRED & ASSOCIATES

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360 BROADWAY, SUITE 1200, NEWARK, NJ 07102
PLANNED UNIT DEVELOPMENT • JOB NO. 1534

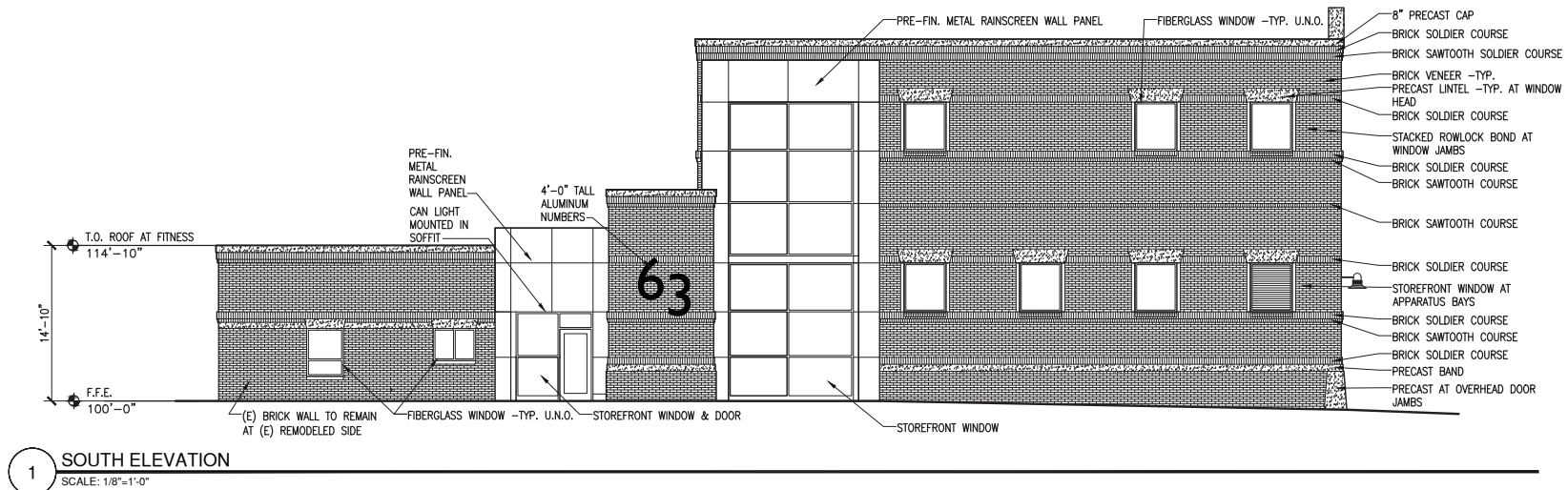
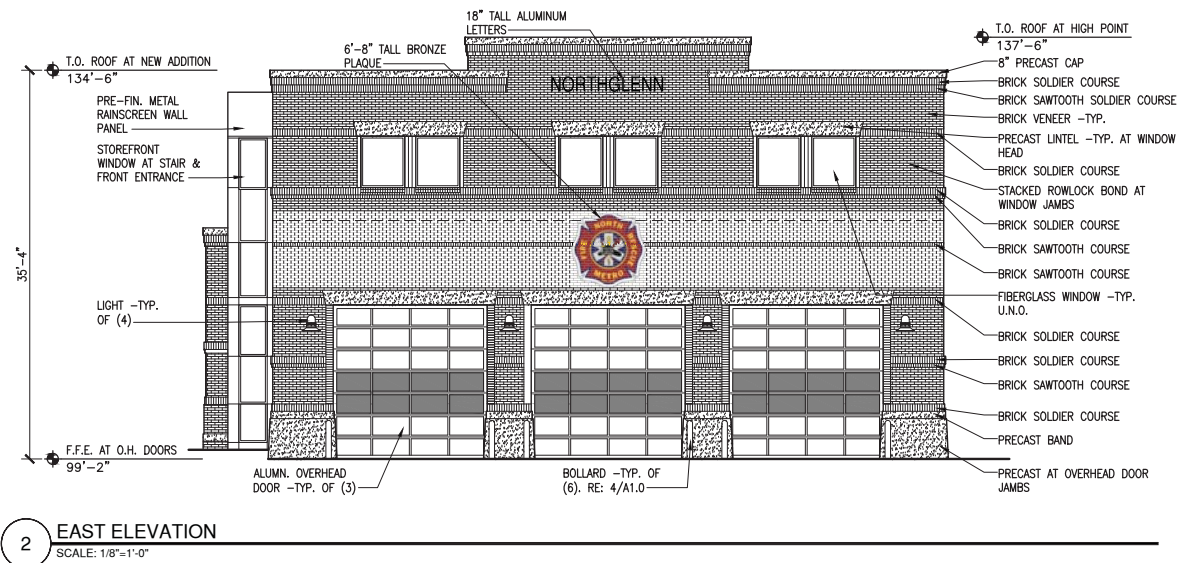
SCALE: 1/8"=1'-0" REVISIONS:

**NMFRD STATION #63
ADDITION & REMODEL**

ISSUE DATE: 2016 1209

DEMO ELEVATIONS

A4.0



ALLRED & ASSOCIATES

ARCHITECTURE • PLANNING • INTERIOR DESIGN
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PLANNED UNIT DEVELOPMENT • JOB NO. 1534

SCALE: 1/8"=1'-0" REVISIONS:

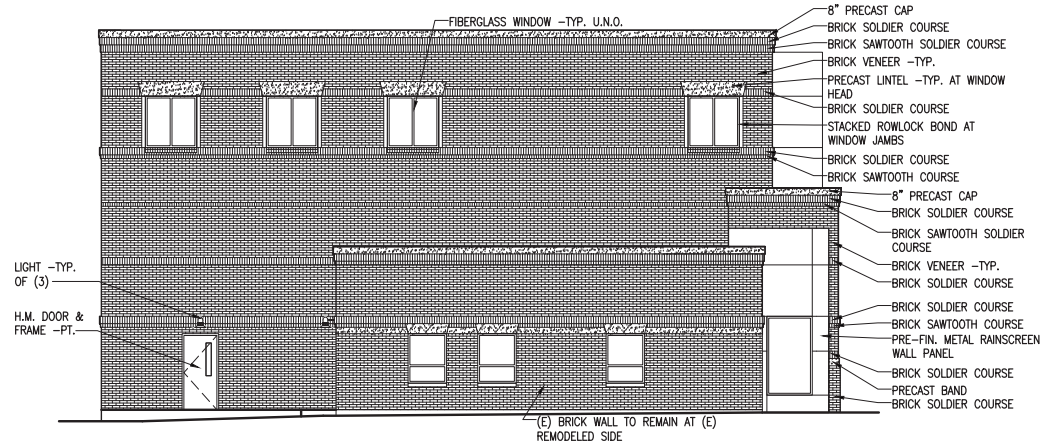
**NMFRD STATION #63
ADDITION & REMODEL**

**SOUTH & EAST
ELEVATIONS**

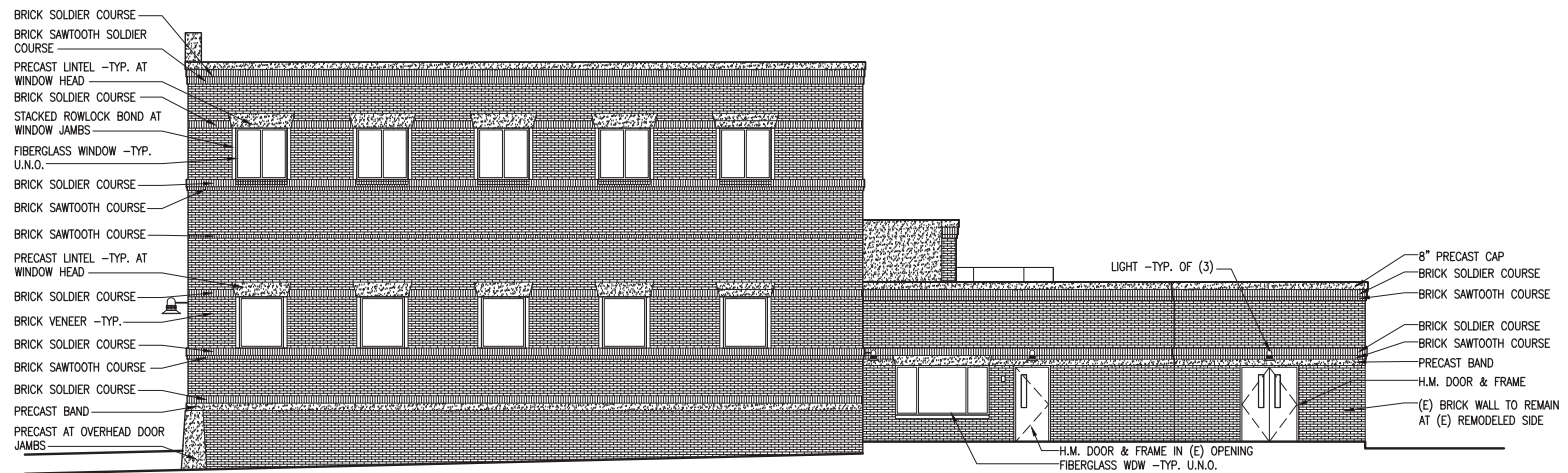
A4.1

ISSUE DATE: 2016 1209

**NMFRD STATION #63
ADDITION & REMODEL**



2 WEST ELEVATION
SCALE: 1/8"=1'-0"



1 NORTH ELEVATION
SCALE: 1/8"=1'-0"

Traffic Report

**North Metro Fire Department
Station 63, Irma & Muriel
Northglenn, CO**

Prepared for:

**Allred & Associates
580 Burbank St., Suite 125
Broomfield, CO 80020
303-465-4306**

Prepared by:

**Fred Lantz P.E.
LANTZ ASSOCIATES, LLC
13335 W. 72nd Circle
Arvada, CO 80005**

**fredlantz@comcast.net
303-887-3714**



December 2016

Introduction

Fire Station 63 at the intersection of Irma Dr and Muriel Dr is being remodeled. The main change is to have the emergency vehicles exit onto Irma Dr rather than on Muriel Dr as they do now. In order to accommodate this change, the existing driveway on Irma Dr is being widened so that the emergency vehicles can drive straight out of the bays onto Irma Dr. The northern portion of the access onto Irma Dr will function as the access for non emergency vehicles as it does today. The access onto Muriel Dr on the west portion of the site will also remain as it is today.

Trip Generation

There will be no change in the staffing levels at the Station. The Station will have a maximum of 6 employees. These employees work 48-hour shifts with the shift change at 7 am. Thus every two days there will be a shift change with 6 employees arriving in the 6am – 7am hour and 6 employees leaving in the 7am – 8am hour. In addition to employees, there will be 1-12 people visiting the station during the week for various reasons. This traffic already exists at the present Station and no increases are expected. Thus the total peak hour traffic will be 20 trips or less in the AM peak hour. Only deliveries and visitors are expected in the PM peak hour, which will be 1-2 vehicles.

The City's requirement for Traffic Studies states that Traffic Studies are required "... when trip generation during the AM or PM peak hour is expected to exceed one hundred (100) vehicles..." This station will not have any new traffic and the existing traffic is clearly under 100 vehicles during the peak hours. Thus this report requests that a traffic study not be required as per the City's Specifications.

Emergency Access onto Irma Dr

The access for the emergency vehicles will be between the existing access and the intersection of Irma Dr and Muriel Dr. This portion of the access on Irma Dr will only be used by emergency vehicles and will not be used by employees or visitors. The fire vehicles exiting the station on an emergency run will have lights and sirens activated to warn vehicles on Irma Dr. The emergency vehicles will be looking directly at the access on the east side of Irma Dr and the drivers exiting the access on the east side of Irma Dr will be looking directly at the emergency vehicles. The emergency vehicle drivers will ensure that any traffic exiting the access is yielding to the emergency vehicles.

Turning Templates show that Fire Trucks and the Ambulance from the station can access Irma Dr with no problems. The Ambulance will be stored in the southern bay and can make the turn onto Irma Dr and all the way around to Muriel Dr without a problem. The Turning Templates are attached to this report.

To accommodate the traffic signal preemption at the traffic signal at Irma Dr and Muriel Dr, the Opticom receiver located on the south side of Muriel Dr at the existing access from the Fire Station will have to be relocated to face the new access. The receiver may be relocated on the top of the

existing signal pole on the north east corner eliminating the need for an additional pole. The receiver will have to be wired back to the controller cabinet on the southwest corner. Hopefully the wire can be pulled into existing conduit and new conduit will not be required.

The pre-emption operation will turn the signal green for SB traffic to clear any stopped queue and turn the NB and EB traffic signal red. Once traffic has been cleared, the traffic signal can turn red for SB traffic. The all red condition will be maintained as long as the apparatus is in the driveway. Once the apparatus leaves the station, after a delay of approximately 10 sec, the signal can be released to its normal operation. The following table represents the preemption sequence at the signal.

Condition	Signal	Go To	Go To	Hold
EB Green				
NB Red	Red			Red
SB Red	Red	Green	Red	Red
EB Green	Green	Red		Red
NB/SB Green				
NB Green	Green	Red		Red
SB Green	Green	Green	Red	Red
EB Red	Red			Red

Pre-Emption Table

The Fire Department does not believe that an advanced traffic signal is required to stop southbound traffic in advance of the Station. They believe that the pre-emption sequence as shown above will be sufficient for the emergency vehicles to access Irma Dr. This does not prevent an advance signal from being installed in the future if it is determined later that it is needed.

Summary

The existing fire station at the northeast corner of Irma Dr and Muriel Dr is being remodeled. As part of the remodel, the equipment bays are being changed to face Irma Dr rather than Muriel Dr.

There will be no additional personnel assigned to this station due to the remodel, thus not additional trips will occur. The Station generates a maximum of 20 trips in the AM Peak hour, far less than the threshold of 100 trips that the City uses as the trigger for a traffic study, thus this report requests that a traffic study not be required.

The existing access on Muriel Dr for employees and visitors is remaining as it is today. The access on Irma Dr for employees and visitors is remaining as it is today. The access for the emergency vehicles will be onto Irma Dr between the existing access and the intersection of Muriel Dr and Irma Dr. The access is being obtained by extending the width of the existing access. The north portion of the access on Irma Dr will be used by employees and visitors and the southern portion will only be used by the emergency vehicles.

The existing opticom preemption system will be moved from the existing emergency vehicle access to the new emergency vehicle access. The traffic signal will be retimed so that the signal will go green for southbound traffic to clear any stopped vehicles when the opticom receives the signal from the emergency vehicles. The Fire Department believes that that operation will be sufficient to allow the emergency vehicles to enter Irma Dr safely.



SPONSORED BY: MAYOR DOWNING

COUNCILMAN'S BILL

ORDINANCE NO.

No. CB-1881
Series of 2017

Series of 2017

A BILL FOR A SPECIAL ORDINANCE REZONING FROM I-2 INDUSTRIAL, TO PLANNED UNIT DEVELOPMENT, CERTAIN REAL PROPERTY IN THE CITY OF NORTHGLENN COMMONLY KNOWN AS THE “NORTH METRO STATION #63” IN THE COUNTY OF ADAMS, STATE OF COLORADO, AND AMENDING THE ZONING MAP OF THE CITY OF NORTHGLENN

WHEREAS, all of the property described in **Exhibit A** is currently zoned I-2 with a legal description as follows:

Being a Portion of the Northeast Quarter (NE1/4) of Section 11, Township 2 South, Range 68 West of the Sixth Principal Meridian, City of Northglenn, County of Adams, State of Colorado.

WHEREAS, the City Council desires to rezone the property described in **Exhibit A** to PUD, pursuant to the “North Metro Station #63 Addition & Remodel Preliminary & Final PUD” attached hereto as **Exhibit B**.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. Findings of Fact. The City Council hereby makes the following findings of fact:

- (a) The proposed development is compatible with the surrounding area;
- (b) The proposed development is not inconsistent with the City’s Master Plan;
- (c) The proposed development does not adversely affect the health, safety, and welfare of the inhabitants of the area and the City of Northglenn;
- (d) Adequate circulation exists and traffic movement will not be impeded by the proposed development; and
- (e) Additional municipal service costs will not be incurred.

Section 2. Rezoning. Pursuant to the provisions of the Northglenn Zoning Ordinance, as amended, and upon the recommendation of the Northglenn Planning Commission (Case No. Z-1-17), a zoning change to Planned Unit Development (PUD) is hereby allowed and granted for the real property in the City of Northglenn, Colorado described in the attached **Exhibit A**, pursuant to the “Preliminary & Final PUD” attached as **Exhibit B**.

Section 3. Change of Zone Maps. The official zoning map of the City of Northglenn, pursuant to the provisions of Section 11-3-1 of the Municipal Code of the City of Northglenn, as

amended, and the Comprehensive Master Plan of the City of Northglenn shall be and hereby are ordered amended to conform with the provisions of this Ordinance.

Section 4. Violations-Penalty. Violations of the provisions of this Ordinance shall be punishable under the provisions provided in Section 1-1-10 of the Northglenn Municipal Code.

INTRODUCED, READ AND ORDERED POSTED this ____ day of _____,
2017.

JOYCE DOWNING
Mayor

ATTEST:

JOHANNA SMALL, CMC
City Clerk

PASSED ON SECOND AND FINAL READING this ____ day of _____,
2017.

JOYCE DOWNING
Mayor

ATTEST:

JOHANNA SMALL
City Clerk

APPROVED AS TO FORM:

COREY Y. HOFFMANN
City Attorney

EXHIBIT A

LEGAL DESCRIPTION

Being a Portion of the Northeast Quarter (NE1/4) of Section 11, Township 2 South, Range 68 West of the Sixth Principal Meridian, City of Northglenn, County of Adams, State of Colorado.


EXHIBIT B

[ATTACH PRELIMINARY PUD]

NORTH METRO STATION #63 ADDITION & REMODEL

PRELIMINARY & FINAL PUD

BEING A PORTION OF THE NORTHEAST QUARTER (NE1/4) OF SECTION 11, TOWNSHIP 2 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS
STATE OF COLORADO

SITE DATA	GENERAL NOTES	VICINITY MAP	SHEET INDEX																		
<p>BUILDING USE: FIRE STATION</p> <p>TYPE OF CONSTRUCTION: V-B FULLY SPRINKLED</p> <p>ZONING: I-2</p> <p>EXISTING BUILDING GROSS FLOOR AREA: 4,202 SF</p> <p>BUILDING GROSS FLOOR AREA (LOWER & UPPER LEVELS): 9,350 SF</p> <p>LAND USE CHART</p> <table border="1"><tr><td>TOTAL BUILDING FOOTPRINT</td><td>5,547 SF</td><td>21.4% (4,202 SF. EXISTING)</td></tr><tr><td>SIDEWALK</td><td>1,406 SF</td><td>5.4%</td></tr><tr><td>DRIVEWAY/PARKING</td><td>14,856 SF</td><td>57.4%</td></tr><tr><td>LANDSCAPING & OPEN SPACE</td><td>4,066 SF</td><td>15.8%</td></tr><tr><td>SITE TOTAL</td><td>25,875 SF</td><td>100%</td></tr><tr><td></td><td>(.594 ACRES)</td><td></td></tr></table> <p>MAXIMUM BUILDING HEIGHT: 65'-0"</p> <p>MINIMUM BUILDING SETBACKS:</p> <p>FRONT SETBACK: 49'-0"</p> <p>SIDE SETBACK: 15'-0"</p> <p>REAR SETBACK: 15'-0"</p> <p>TOTAL PARKING PROVIDED</p> <p>20 PARKING SPACES</p> <p>1 HANDICAP SPACES (1 VAN SPACE)</p> <p>EXISTING AND PROPOSED STREETS</p> <p>-IRMA DRIVE</p> <p>-MURIEL DRIVE</p> <p>-NO PROPOSED STREETS</p> <p>RESIDENTIAL UNITS: NONE</p> <p>PUBLIC LAND DEDICATIONS: NONE</p> <p>CONSTRUCTION SCHEDULE: SPRING 2017</p> <p>ALLOWED USES: THE ALLOWED USE IS A FIRE STATION WITH BUNK ROOMS</p>	TOTAL BUILDING FOOTPRINT	5,547 SF	21.4% (4,202 SF. EXISTING)	SIDEWALK	1,406 SF	5.4%	DRIVEWAY/PARKING	14,856 SF	57.4%	LANDSCAPING & OPEN SPACE	4,066 SF	15.8%	SITE TOTAL	25,875 SF	100%		(.594 ACRES)		<ol style="list-style-type: none">THE CITY OF NORTHGLENN RESERVES THE RIGHT TO PERIODICALLY REVIEW THIS PUD FOR CONFORMANCE WITH ITS PROPOSED CONSTRUCTION SCHEDULE AND WHEN APPROPRIATE, REZONE THIS PROPERTY TO A DIFFERENT ZONING CLASSIFICATION.ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE CITY OF NORTHGLENN UTILITY STANDARDS AND SPECIFICATIONS.ALL UTILITY TAPS SHALL BE SUPERVISED AND INSPECTED BY CITY OF NORTHGLENN PERSONNEL.ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH CITY OF NORTHGLENN PUBLIC RIGHT-OF-WAY STANDARDS AND SPECIFICATIONS.ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT OF 1990.PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CITY MUST REVIEW AND APPROVE THE FOLLOWING:<ul style="list-style-type: none">GRADING AND DRAINAGE PLAN AND REPORTEROSION CONTROL PLANWATER AND SANITARY SEWER UTILITY CONSTRUCTION PLANLANDSCAPE PLANCOMPLETE CONSTRUCTION PLANS.		<p>A1.0 COVER SHEET IMPROVEMENT SURVEY PLAT COVER SHEET IMPROVEMENT SURVEY PLAT</p> <p>A1.0 SITE PLAN A1.1 SITE DETAILS</p> <p>C1.0 SITE PLAN - WEST C2.0 SITE PLAN - EAST C3.0 UTILITY PLAN - WEST C4.0 UTILITY PLAN - EAST C5.0 GRADING PLAN - WEST C6.0 GRADING PLAN - EAST</p> <p>L1 LANDSCAPE PLAN L2 LANDSCAPE DETAILS</p> <p>A4.0 EXISTING DEMO ELEVATIONS A4.1 SOUTH & EAST ELEVATIONS A4.2 NORTH & WEST ELEVATIONS</p>
TOTAL BUILDING FOOTPRINT	5,547 SF	21.4% (4,202 SF. EXISTING)																			
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SITE TOTAL	25,875 SF	100%																			
	(.594 ACRES)																				
	APPROVAL LIST	OWNERS CERTIFICATE	PROJECT TEAM																		
	<p>MAYOR _____ DATE _____</p> <p>PLANNING COMMISSION CHAIRPERSON _____ DATE _____</p> <p>CITY CLERK _____ DATE _____</p> <p>DIRECTOR OF PLANNING AND DEVELOPMENT _____ DATE _____</p> <p>DIRECTOR OF PUBLIC WORKS AND UTILITIES _____ DATE _____</p>	<p>I, _____, HEREBY AFFIRM THAT I AM THE _____ OF _____ OF THE PROPERTY DESCRIBED HEREIN, KNOWN AS NORTH METRO FIRE STATION #63.</p> <p>OWNER _____ DATE _____</p> <p>NOTARY PUBLIC _____ DATE _____</p>	<p>OWNER NORTH METRO FIRE 101 SPADER WAY BROOMFIELD, CO 80020 C: DAVE ANDERSON P: 303.466.4434 F: E: danderson@northmetrofire.org</p> <p>ARCHITECT ALLRED & ASSOCIATES 580 BURBANK ST., UNIT 125 BROOMFIELD, CO 80020 C: BRAD BONNET P: 303.465.4306 x5 F: E: brad@allredarch.com</p> <p>CIVIL PARK ENGINEERING CONSULTANTS 420 21ST AVENUE, SUITE 101 LONGMONT, CO 80501 C: JOEL SEAMONS P: 303.651.6626 X2 F: 303.651.0331 E: Joel@Parkengineering.net</p> <p>LANDSCAPE MEURAN DESIGN GROUP 852 BROADWAY, STE 250 DENVER, CO 80203 C: KERRY SMEESTER P: 303.512.0549 F: 303.812.1224 E: kts@meuran.com</p>																		
	RECORDING CERTIFICATE	DESIGN CERTIFICATE																			
	<p>THIS PUD WAS FILED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER IN THE COUNTY OF ADAMS, STATE OF COLORADO, THIS _____ DAY OF _____ 2017, AND ENTERED IN PLAT BOOK _____ AT PAGE _____ RECEPTION NO. _____</p> <p>BY: _____ DEPUTY _____</p> <p>CLERK _____ CLERK AND RECORDER _____</p> <p>MY COMMISSION EXPIRES: _____</p> <p>INSTRUMENT NO: _____</p>	<p>I HEREBY AFFIRM THAT THE PLANS WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISIONS) FOR THE OWNERS THEREOF IN ACCORDANCE WITH THE PROVISIONS OF CITY OF NORTHGLENN STANDARDS AND SPECIFICATIONS. I UNDERSTAND THAT IT IS THE POLICY OF THE CITY OF NORTHGLENN THAT THE CITY DOES NOT AND WILL NOT ASSUME LIABILITY FOR FACILITIES DESIGNED BY OTHERS.</p> <p>BRENT ALLRED (ARCHITECT) _____ DATE _____</p>																			

ALLRED&ASSOCIATES

ARCHITECTURE • PLANNING • INTERIOR DESIGN
580 BURBANK ST. SUITE 125 BROOMFIELD, COLORADO 80020 PH: 303.466.4434 FAX: 303.466.4434 WWW.ALLREDARCH.COM

NMFRD STATION #63
ADDITION & REMODEL

ISSUE DATE: 2016 1209

COVER SHEET

A0.0

IMPROVEMENT SURVEY PLAT

BEING A PORTION OF THE NORTHEAST QUARTER (NE1/4) OF
SECTION 11, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS,
STATE OF COLORADO



VICINITY MAP
Not to scale

SUBJECT PROPERTY DESCRIPTION

THE SOUTH 115 FEET OF THE SOUTH 225 FEET OF TRACT 6 OF NORTHGLENN – SEVENTH FILING, COUNTY OF ADAMS,
STATE OF COLORADO.

(PUBLISHED ADDRESS FOR INFORMATIONAL PURPOSES ONLY: 10941 IRMA DRIVE, NORTHGLENN, COLORADO)

PROJECT BENCHMARK

NATIONAL GEODETIC SURVEY (N.G.S.) STATION K 411

A STAINLESS STEEL ROD IN SLEEVE, STAMPED "K 4511 1984", LOCATED IN THE SOUTHEAST QUADRANT OF THE
INTERSECTION OF 104TH AVENUE AND YORK STREETS.

PUBLISHED NAVD 88 ELEVATION = 5286.40 FEET

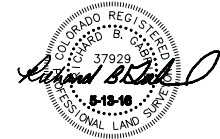
SURVEYOR'S NOTES

1. DATE OF FIELD WORK COMPLETION: MAY 4, 2016.
2. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
3. THIS IMPROVEMENT SURVEY PLAT, AND THE INFORMATION HEREON, MAY NOT BE USED FOR ANY ADDITIONAL OR EXTENDED PURPOSES BEYOND THAT FOR WHICH IT WAS INTENDED AND MAY NOT BE USED BY ANY PARTIES OTHER THAN THOSE TO WHICH IT IS CERTIFIED.
4. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POWER SURVEYING COMPANY, INC. THIS IMPROVEMENT SURVEY PLAT WAS PERFORMED AND ISSUED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
5. THIS IMPROVEMENT SURVEY PLAT CONSISTS OF TWO (2) SHEETS.
6. BASIS OF BEARINGS: SOUTH 00°12'00" WEST, BEING THE BEARING OF THE WEST LINE OF IRMA DRIVE, AS DEFINED AND MEASURED BETWEEN THE MONUMENTS FOUND AND SHOWN HEREON.
7. THE SUBJECT PROPERTY CONTAINS 25,875 SQUARE FEET OR 0.594 ACRES OF LAND, MORE OR LESS.
8. THE UNDERGROUND UTILITIES SHOWN HEREON WERE LOCATED FROM SURFACE EVIDENCE AND PAINT MARKINGS SUPPLIED BY ACCURATE UNDERGROUND UTILITY FIELD SERVICES ON MAY 4, 2016. SAID UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE IN NATURE. FOR EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES, POT-HOLING IS RECOMMENDED. EXCEPT FOR SANITARY SEWER INVERTS SHOWN HEREON, THIS SURVEYOR HAS NOT PHYSICALLY OR ACTUALLY LOCATED ANY UNDERGROUND UTILITIES SHOWN HEREON.
9. REGARDING THE APPARENT EXISTENCE OF SANITARY SEWER LINES IN IRMA DRIVE AND MURIEL DRIVE, THE LINES HAVE BEEN SHOWN ON THE MAP SHEET FOR REFERENCE ONLY. AFTER EXAMINING THE SURVEYED INVERTS AND PIPE SIZES BETWEEN THE MANHOLES, IT IS DIFFICULT TO CONCLUDE WHICH MANHOLES CONNECT TO EACH OTHER. IT IS RECOMMENDED THAT UTILITY MAPPING RESEARCH BE CONDUCTED WITH THE CITY OF NORTHGLENN TO DETERMINE THEIR PROPER LOCATIONS.

SURVEYOR'S CERTIFICATE

I, HEREBY CERTIFY THAT ON MAY 4, 2016, A SURVEY WAS MADE OF THE ABOVE DESCRIBED PROPERTY UNDER MY DIRECT SUPERVISION AND THE CORNERS WERE SET AS SHOWN, HOLDING FOUND POINTS AND PLAT DISTANCES WHEREVER POSSIBLE AND UTILIZING ADAMS COUNTY SURVEY INFORMATION FOR CONTROL. I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE PARCEL ON THIS DATE, MAY 4, 2016, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES EXCEPT AS INDICATED, AS THAT THERE IS NO EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

RICHARD B. GABRIEL, P.L.S.
Colorado License No. 37929
For and on behalf of
Power Surveying Company, Inc.



CLERK & RECORDER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____ O'CLOCK ____M., THIS
____ DAY OF _____, A.D., 20____.

FILED AT RECEPTION NO. _____

BY: _____
ADAMS COUNTY RECORDER

DEPUTY _____

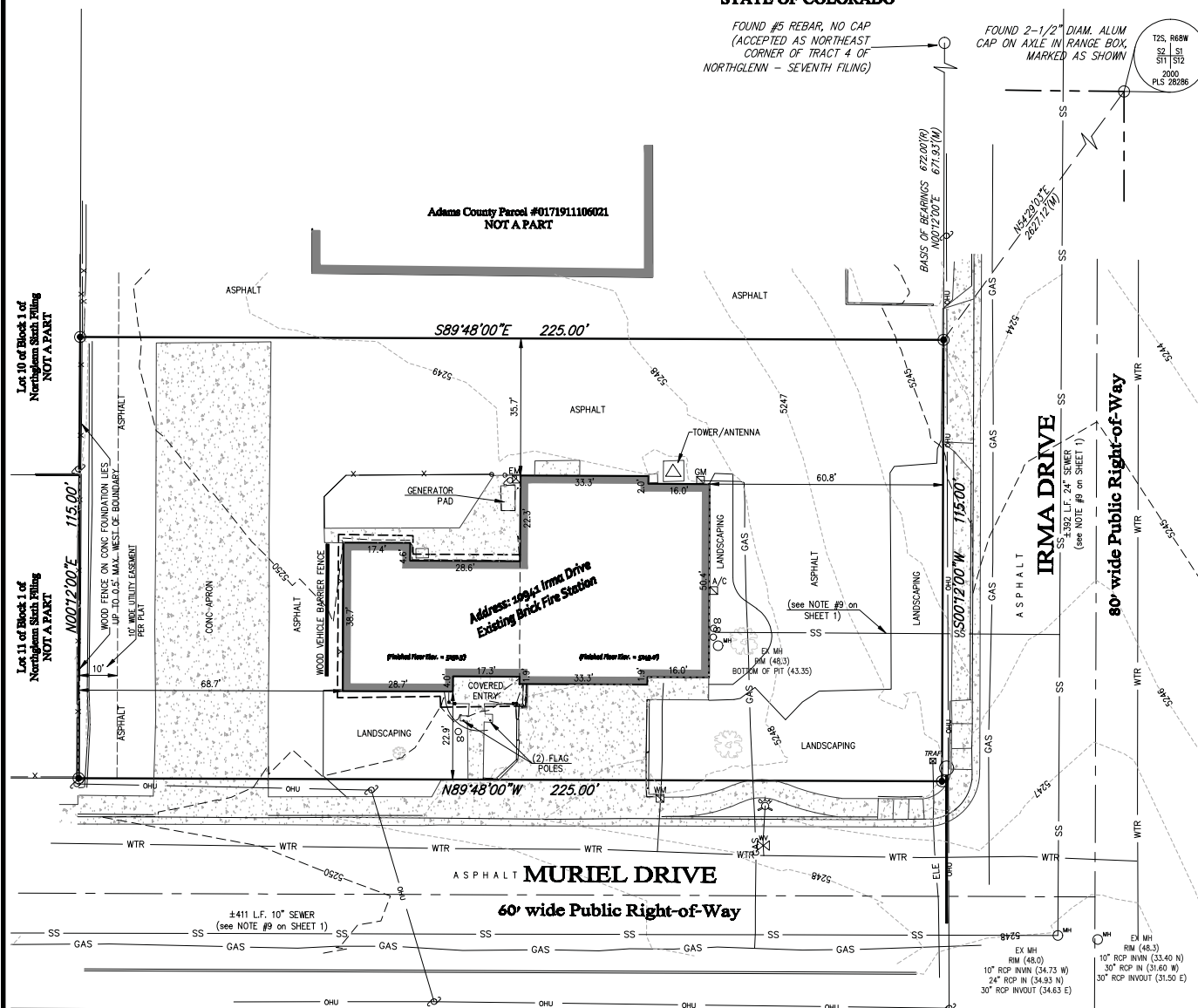


TYPE OF SUBMITTAL:	IMP SURV PLAT
PREPARATION DATE:	MAY 12, 2016
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	
JOB NO. 501-16-126	DWS: 501-16-126.dwg

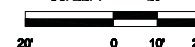
SHEET 1 OF 2

**BEING A PORTION OF THE NORTHEAST QUARTER (NE1/4) OF
SECTION 11, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS,
STATE OF COLORADO**

○	MONUMENT FOUND, AS NOTED
●	SET REBAR & PLASTIC CAP, MARKED "PLS 37929" TYPICAL
(C)	CALCULATED
(R)	RECORD
(M)	MEASURED
ICB	IRRIGATION CONTROL BOX
⊗	FIRE HYDRANT
⊗	MONITORING WELL
WM	WATER VALVE
W	WATER METER
Ⓢ	STORM DRAIN MANHOLE
Ⓢ	AREA DRAIN OR STORM INLET
Ⓢ	SANITARY SEWER MANHOLE
Ⓢ	SANITARY SEWER CLEANOUT
★	AREA LIGHT OR STREETLIGHT
⌚	POWER POLE
ELEC	ELECTRIC BOX
EM	ELECTRIC METER
TRAFF	TRAFFIC SIGNAL BOX
TMH	TELEPHONE MANHOLE
TEL	TELEPHONE BOX OR RISER
GM	GAS METER
⊗	MISC. SIGN AND/OR POST
⊗	TREE OR BUSH
WTR	EXISTING WATER LINE
IRR	EXISTING IRRIGATION LINE
SS	EXISTING SANITARY SEWER LINE
SD	EXISTING STORM DRAIN LINE
GAS	EXISTING GAS LINE
ELE	EXISTING ELECTRIC LINE
LE	EXISTING ELECTRIC LINE (LIGHTING)
OHU	EXISTING OVERHEAD UTILITY LINE
TE	EXISTING TELEPHONE LINE
FO	EXISTING FIBEROPTIC LINE
TS	EXISTING TRAFFIC SYSTEM WIRING
CTV	EXISTING TRAFFIC SYSTEM WIRING
—	ADJOINING LOT OR PARCEL LINE
—	CENTERLINE
—	PUBLIC LANDS SURVEY SECTION LINE
—	SUBJECT PROPERTY BOUNDARY LINE



SCALE: 1" = 20'



TYPE OF SUBMITTAL:	IMP SURV PLAT
PREPARATION DATE:	MAY 12, 2016
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	
JOB NO. 501-16-126	DWG: 501-16-126.dwg

SHEET 2 OF 2

ADDITION & REMODEL



1 SITE PLAN
SCALE: 1/16"=1'-0"

ISSUE DATE: 2016 1209


$$\frac{1}{2}'' = 1'-0''$$


2

$$\frac{1}{2}'' = 1'-0''$$

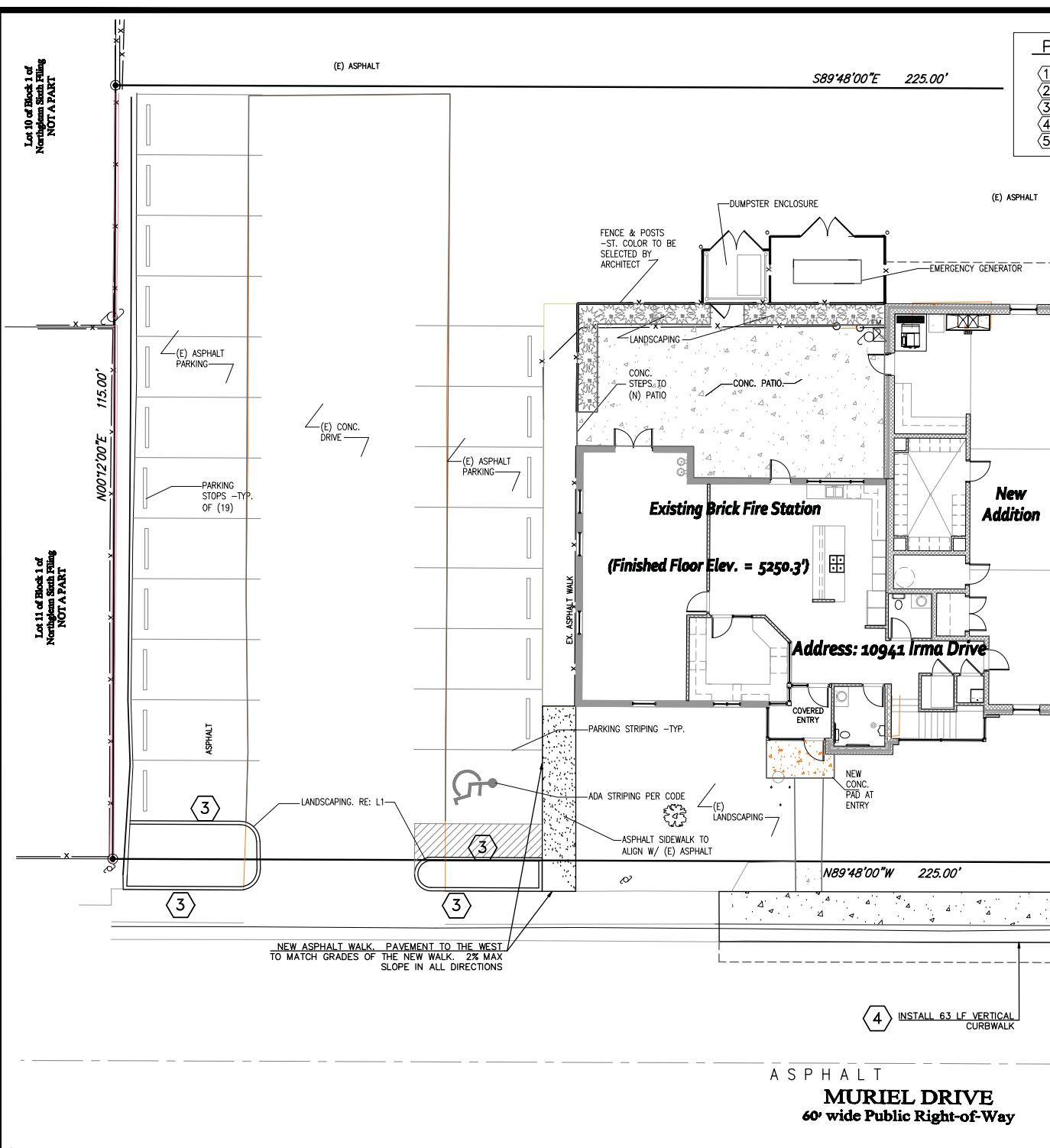

SCALE: 1/2"=1'-0"



SCALE: 1/2"=1'-0"



SCALE: 1/2"=1'-0"



PLANIMETRIC LEGEND

- ① MIDBLOCK RAMP W/ DETECTABLE DOMES (DTL R11)
- ② STD SIDEWALK CHASE DRAIN (DTL R12A & B)
- ③ 6" VERTICAL MEDIAN CURB & GUTTER (DTL R4)
- ④ VERTICAL CURB & GUTTER & ATTACHED WALK (DTL R4)
- ⑤ MOUNTABLE CURB & GUTTER (DTL R5)

SUBJECT PROPERTY DESCRIPTION

THE SOUTH 115 FEET OF THE SOUTH 225 FEET OF TRACT 6 OF NORTHGLENN - SEVENTH FILING, COUNTY OF ADAMS, STATE OF COLORADO.

(PUBLISHED ADDRESS FOR INFORMATIONAL PURPOSES ONLY: 10941 IRMA DRIVE, NORTHGLENN, COLORADO)

PROJECT BENCHMARK

NATIONAL GEODETIC SURVEY (N.G.S.) STATION K 411

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PUBLISHED NAVD 88 ELEVATION = 5286.40 FEET

NOTES:

1. ALL CONSTRUCTION FOR THE SITE SHALL BE TO CITY OF NORTHGLENN STANDARDS
2. CONTRACTOR TO OBTAIN NECESSARY ROW PERMITS AND TRAFFIC CONTROL PLANS TO CUT INTO MURIEL DRIVE AND IRMA DRIVE.
3. PAVEMENT THICKNESS NOTES:
 - 3.1. NEW ASPHALT TO BE 7" FULL DEPTH ASPHALT
 - 3.2. NEW CONCRETE FOR FIRE ACCESS TO BE 7"
 - 3.3. NEW SITE CONCRETE TO BE CITY STANDARD
 - 3.4. NEW CONCRETE FOR SIDEWALKS AT EAST ENTRY TO BE 7".
4. WHEN "REMOVE" OR "REMOVAL" IS USED ON THE PLANS, THAT SIGNIFIES THAT THE CONTRACTOR WILL REMOVE SAID ITEM AND ITS APPURTENANCES AND DISPOSE OF THEM OFFSITE PER CITY AND STATE REGULATIONS. THE CONDITION OF THE IMMEDIATE AND SURROUNDING AREA WILL BE BETTER THAN ORIGINALLY FOUND.

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PLANNED UNIT DEVELOPMENT • JOB NO. 1834

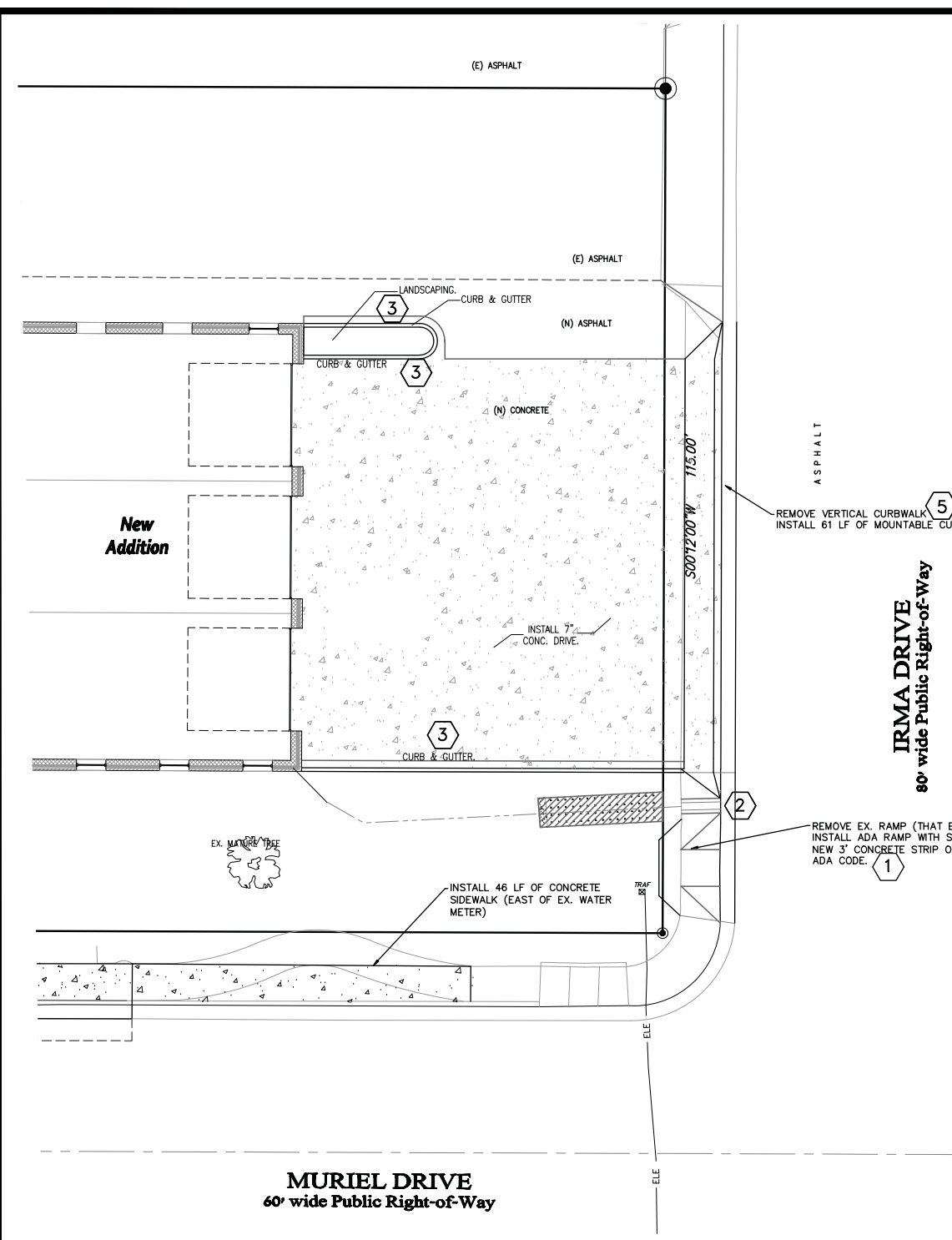
NMFRD STATION #63
ADDITION & REMODEL



ISSUE DATE: 2016.11

SITE PLAN
WEST

C1.0



PLANIMETRIC LEGEND	
①	MIDBLOCK RAMP W/ DETECTABLE DOMES (DTL R11)
②	STD SIDEWALK CHASE DRAIN (DTL R12A & B)
③	6" VERTICAL MEDIAN CURB & GUTTER (DTL R4)
④	VERTICAL CURB & GUTTER & ATTACHED WALK (DTL R4)
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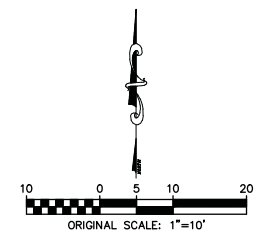
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- WHEN "REMOVE" OR "REMOVAL" IS USED ON THE PLANS, THAT SIGNIFIES THAT THE CONTRACTOR WILL REMOVE SAID ITEM AND ITS APPURTENANCES AND DISPOSE OF THEM OFFSITE PER CITY AND STATE REGULATIONS. THE CONDITION OF THE IMMEDIATE AND SURROUNDING AREA WILL BE BETTER THAN ORIGINALLY FOUND.



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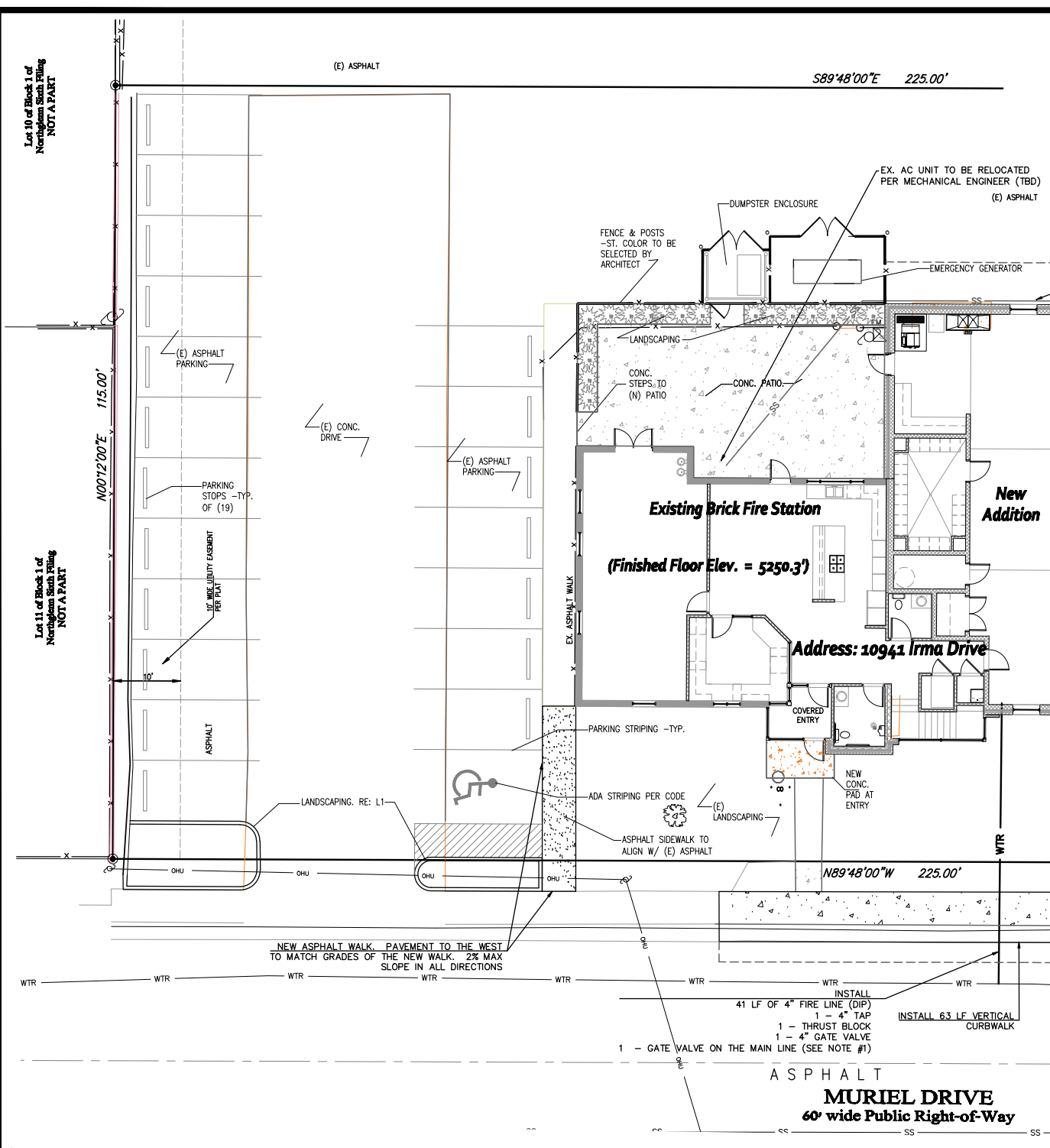
**NMFRD STATION #63
 ADDITION & REMODEL**



ISSUE DATE: 2016.11

SITE PLAN
 EAST

CI.I

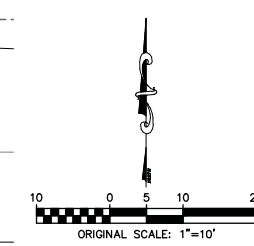


CITY STANDARD NOTES:

1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO CITY OF NORTHGLENN UTILITY STANDARDS AND SPECIFICATIONS
2. INSTALLATION OF ALL UTILITY TAPS SHALL BE OBSERVED BY CITY OF NORTHGLENN PERSONNEL
3. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH CITY OF NORTHGLENN STREET AND DRAINAGE STANDARDS AND SPECIFICATIONS
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990.
5. PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE CITY MUST REVIEW AND APPROVE THE FOLLOWING:
 - 5.1. GRADING AND DRAINAGE PLAN AND REPORT
 - 5.2. EROSION CONTROL PLAN
 - 5.3. WATER AND SANITARY SEWER UTILITY CONSTRUCTION PLAN
 - 5.4. LANDSCAPE PLAN
 - 5.5. IRRIGATION PLAN (IF APPLICABLE)
 - 5.6. COMPLETE CONSTRUCTION PLANS FOR ALL REQUIRED PUBLIC IMPROVEMENTS.
6. ALL EXISTING METER VAULTS, UTILITY SERVICE LINE APPURTENANCES, STREET CURB, GUTTER, SIDEWALK AND TRAIL ON AND ADJACENT TO THIS SITE SHALL BE REPAIRED AS NECESSARY AND BROUGHT TO CURRENT CITY STANDARDS.
7. STREET LIGHTS ON PUBLIC STREETS ADJACENT TO THIS SITE, IF NECESSARY, SHALL BE DESIGNED AND INSTALLED BY XCEL ENERGY ACCORDING TO CITY APPROVED STANDARDS AND PAID FOR BY THE DEVELOPER OR PROPERTY OWNER PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.

NOTES:

1. FIRE LINE SIZE DETERMINED BY MECHANICAL ENGINEER. A FLOW TEST WAS COMPLETED BY THE FIRE DEPARTMENT NEAR THIS LOCATION ON NOVEMBER 14, 2016. THE RESULTS IN THE TABLES ABOVE
2. EXACT LOCATION OF SANITARY SEWER SERVICE IS UNKNOWN. CARE MUST BE TAKEN WHEN CONSTRUCTING IMPROVEMENTS ON SITE TO ENSURE THE LINE IS NOT DAMAGED.
3. IRRIGATION TAP SHALL BE 3" DIAMETER (DESIGNED BY IRRIGATION ENGINEER). LOCATION SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL FIND EX. SERVICE LINE AND INSTALL ALL APPURTENANCES ASSOCIATED WITH CONNECTING TO THE EX. SANITARY LINE.



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PLANNED UNIT DEVELOPMENT • JOB NO. 1634

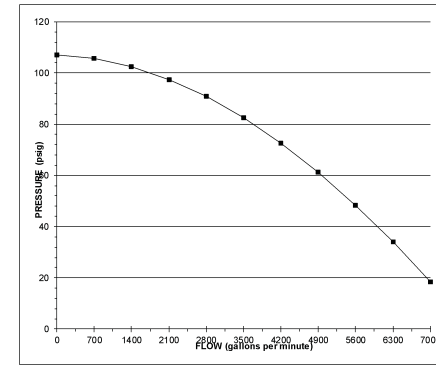
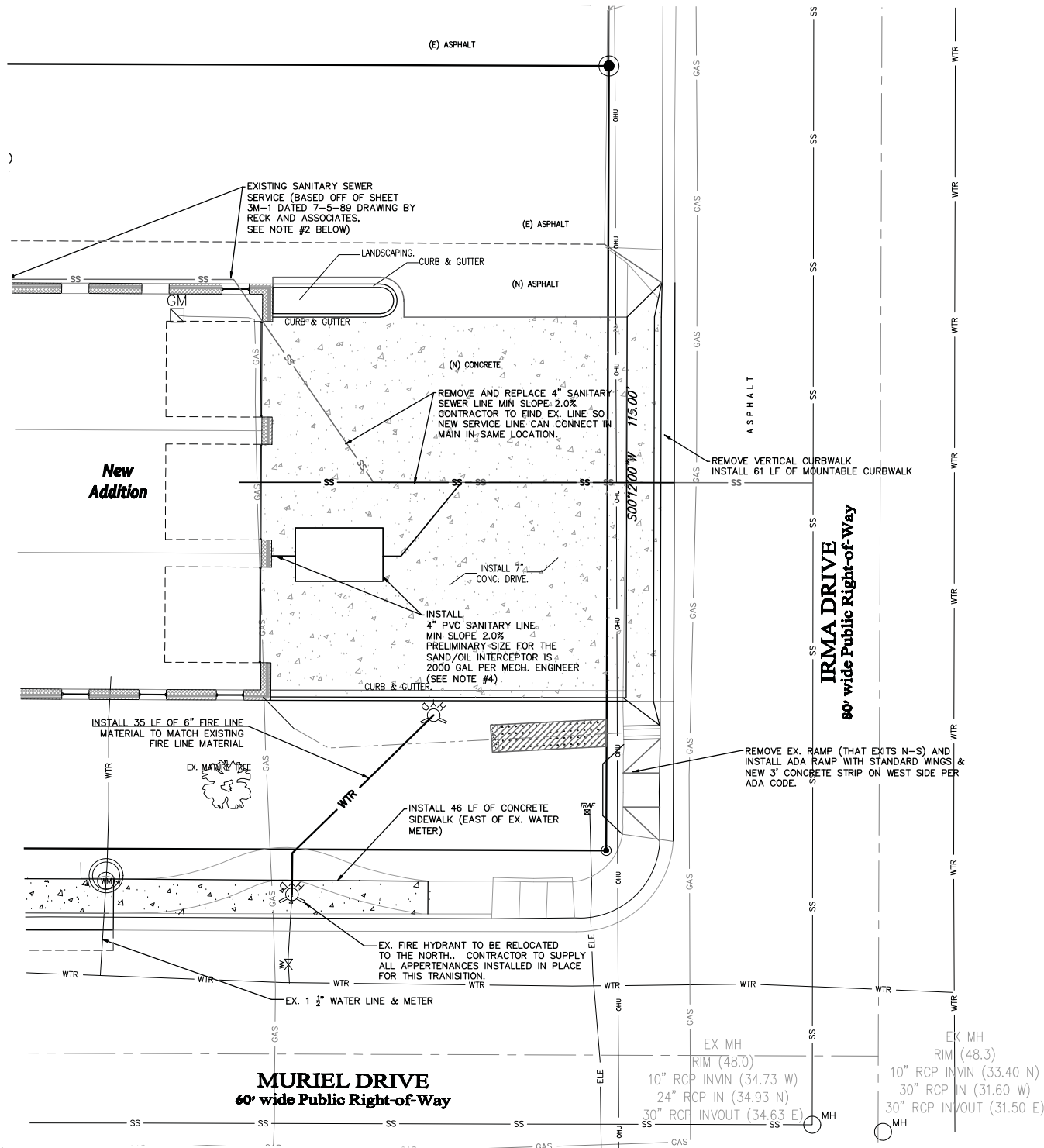
**NMFRD STATION #63
ADDITION & REMODEL**



ISSUE DATE: 2016.11

UTILITY PLAN
WEST

C2.0



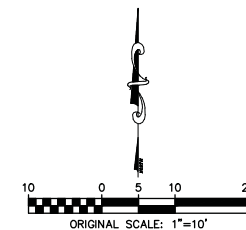
Test Hydrant Flow Hydrant Flow Hydrant Flow Hydrant Flow Hydrant Flow Hydrant Flow Hydrant Flow			
Location	10941 Irma Dr	11012 Murray	
Hydrant ID			
Coefficient		0.9	
Diameter (to 1/16")		2.5	
Gage ID			
Static Pressure (psi)	107		
Residual Pressure (psi)	104		
Flow Pressure (psi)		45	
GPM Flowing		1126	
GPM Available @ 20 psi	6,935		

CITY STANDARD NOTES:

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- INSTALLATION OF ALL UTILITY TAPS SHALL BE OBSERVED BY CITY OF NORTHGLENN PERSONNEL.
- ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH CITY OF NORTHGLENN STREET AND DRAINAGE STANDARDS AND SPECIFICATIONS.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990.
- PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE CITY MUST REVIEW AND APPROVE THE FOLLOWING:
 - GRADING AND DRAINAGE PLAN AND REPORT
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 - LANDSCAPE PLAN
 - IRRIGATION PLAN (IF APPLICABLE)
 - COMPLETE CONSTRUCTION PLANS FOR ALL REQUIRED PUBLIC IMPROVEMENTS.
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NOTES:

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- EXACT LOCATION OF SANITARY SEWER SERVICE IS UNKNOWN. CARE MUST BE TAKEN WHEN CONSTRUCTING IMPROVEMENTS ON SITE TO ENSURE THE LINE IS NOT DAMAGED.
- IRRIGATION TAP SHALL BE 3/4" DIAMETER (DESIGNED BY IRRIGATION ENGINEER). LOCATION SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIND EX. SERVICE LINE AND INSTALL ALL APPURTENANCES ASSOCIATED WITH CONNECTING TO THE EX. SANITARY LINE.

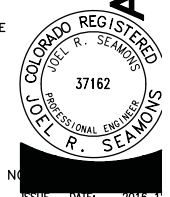


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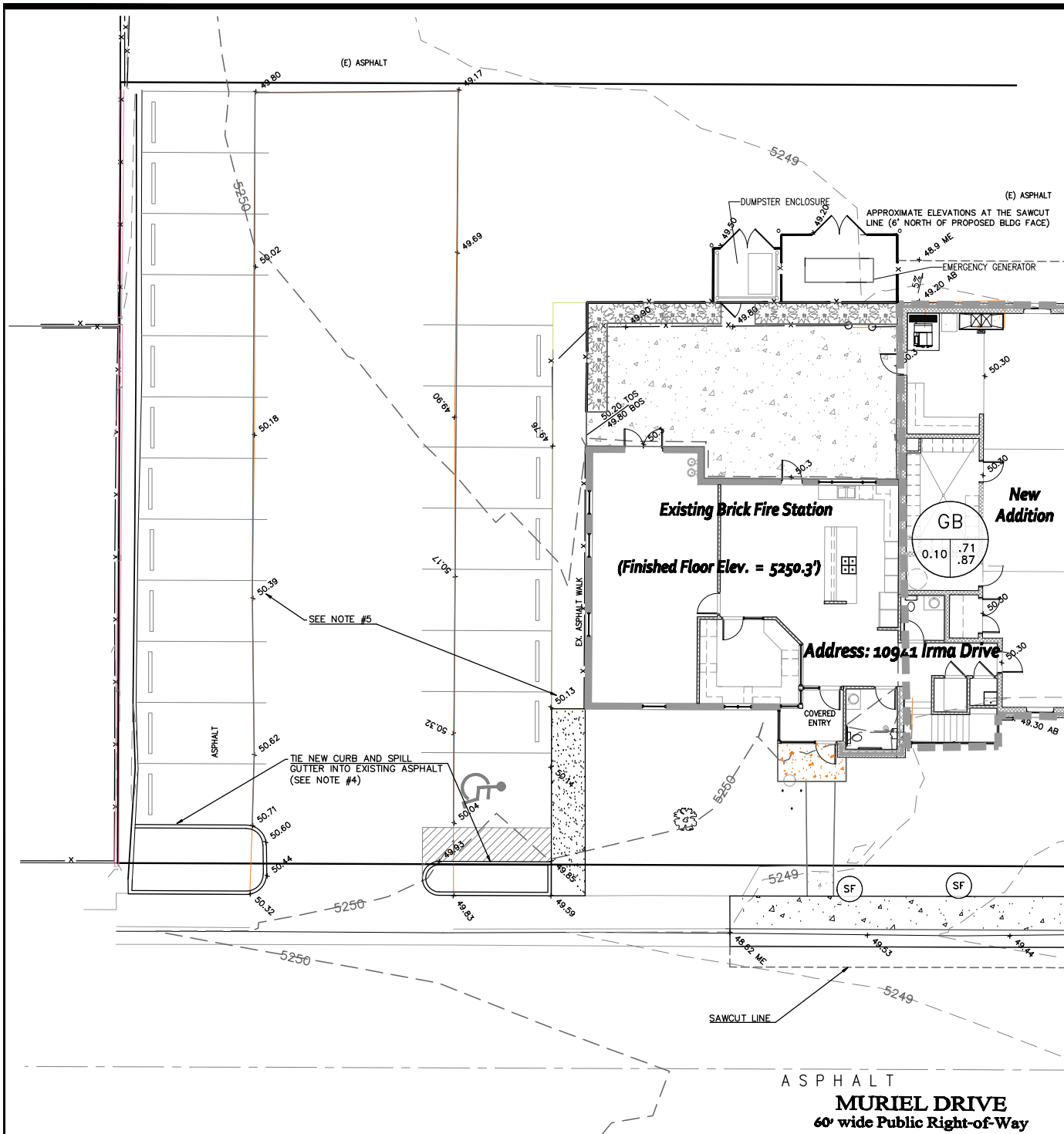
PLANNED UNIT DEVELOPMENT • JOB NO. 1834

**NMFRD STATION #63
ADDITION & REMODEL**

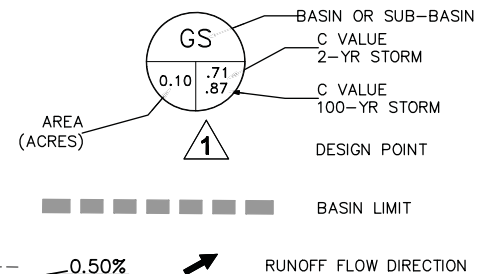


UTILITY PLAN
EAST

C2.1



DRAINAGE LEGEND



EROSION CONTROL LEGEND

- (FC) ON-SITE FUEL CONTAINMENT (IF NEEDED)
- (SF) SILT FENCE
- (CE) CONSTRUCTION ENTRANCE
- (IP) CURB INLET PROTECTION
- (CW) CONCRETE WASHOUT AREA (IF NEEDED)
- (CS) CURB SOCK (FILLED WITH GRAVEL)

NOTES:

1. THE PROPOSED GRASS BUFFER IN THE SOUTHEAST CORNER OF THE SITE WILL TREAT A PORTION OF THE ROOF DRAINAGE AND AREA ADJACENT TO THE BUFFER. THIS FLOW WILL DISCHARGE THROUGH A PROPOSED CURB CHASE IN THE WEST SIDEWALK OF IRMA DRIVE.
2. THE PROPOSED 6" ROOF DRAIN LINE DISCHARGING TO THE TYPE 'L' RIPRAP AND THEN TO THE GRASS SWALE. ALL OF THE DRAINAGE FROM THE ADDITION WILL FLOW THROUGH THE BUFFER.
3. THE SITE IS NOT IN THE 100 YEAR AND PARTIALLY IN THE 500 YEAR FLOODPLAIN.
4. IN PLACES WHERE NEW CURB AND GUTTER IS BEING INSTALLED NEXT TO EXISTING PAVEMENT, CONTRACTOR TO SAWCUT PAVEMENT BACK 6" FROM PROPOSED GUTTER LIP AND PAVE/POUR BACK IN TO TIE INTO NEW CURB. PATCH MATERIAL THICKNESS TO MATCH WHAT WAS REMOVED. MINIMUM THICKNESS TO BE 5".
5. SPOT ELEVATIONS IN WEST PARKING AREA (NORTH OF THE PROPOSED ISLANDS) ARE EXISTING SPOT ELEVATIONS (TOP OF PAVEMENT). CLIENT WANTS EXISTING PARKING AREA TO REMAIN AS IS EXCEPT FOR THE ISLANDS PROPOSED TO THE SOUTH.
6. OUTSIDE OF THE WEST PARKING AREA AND CONCRETE APRON ON EAST SIDE, THE MAJORITY OF THE SPOT ELEVATIONS ARE TO FLOWLINE.
- 6.1. TOS - TOP OF STAIRS
- 6.2. BOS - BOTTOM OF STAIRS
- 6.3. ME - MATCH EXISTING
- 6.4. AB - ADJACENT TO BUILDING
7. PROPOSED GRASS BUFFER TO HAVE DRAINAGE EASEMENT TO BE RECORDED BY SEPARATE INSTRUMENT.

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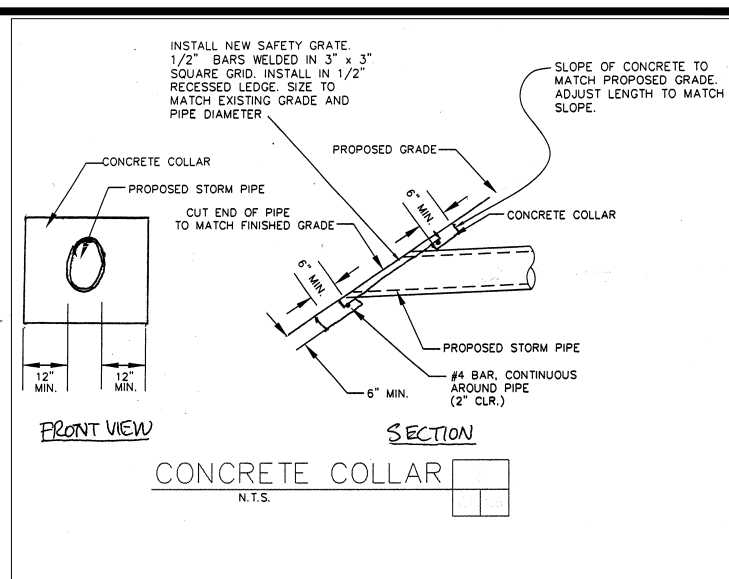
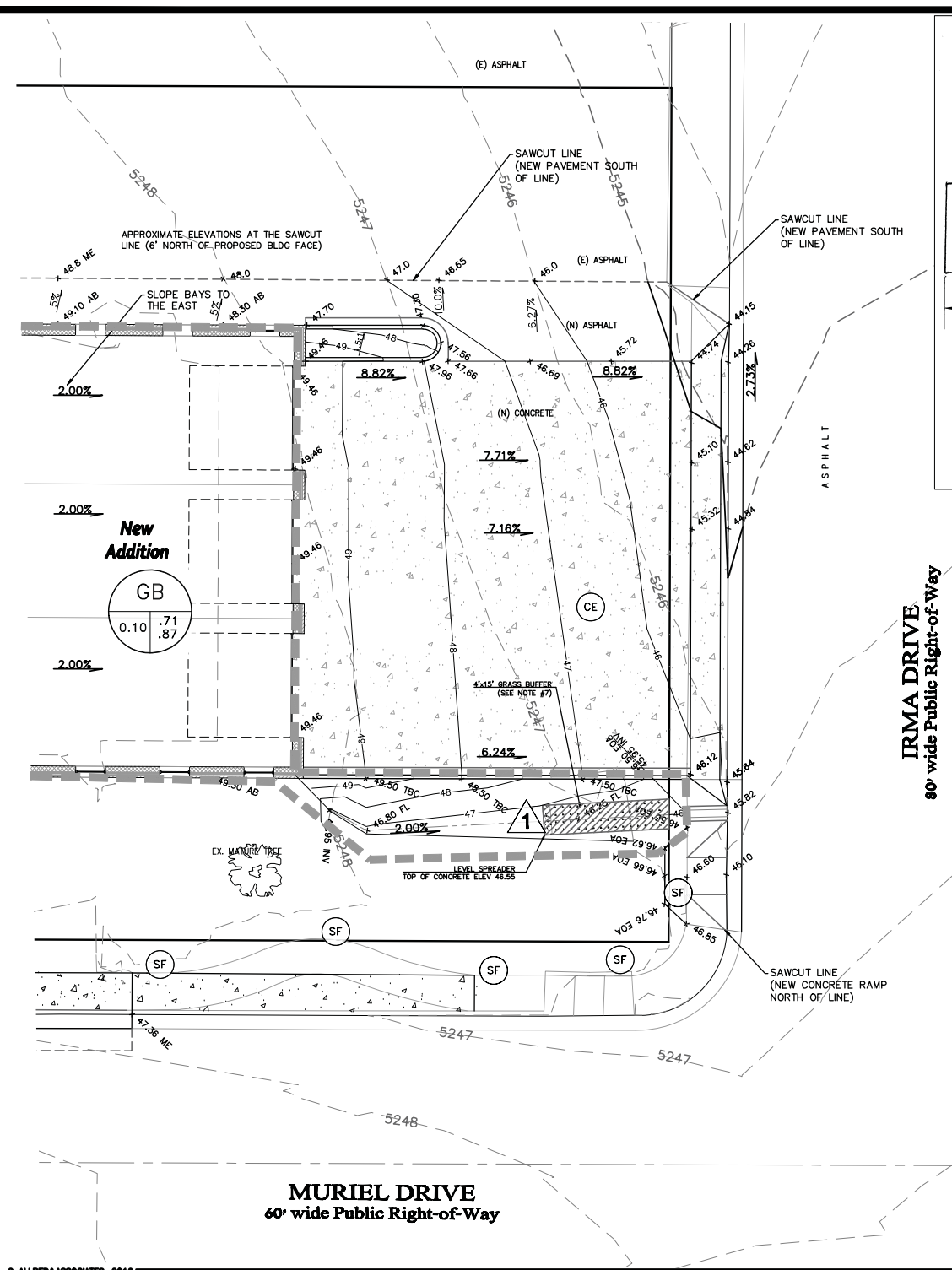
NMFRD STATION #63
ADDITION & REMODEL



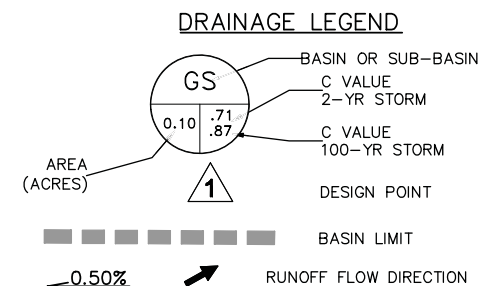
ISSUE DATE: 2016.11.

GRADING & EROSION
CONTROL PLAN - WEST

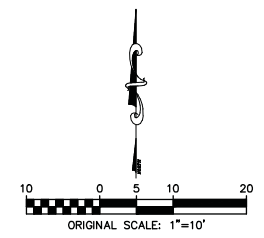
C3.0



- NOTES:**
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 - 6.3. ME - MATCH EXISTING
 - 6.4. AB - ADJACENT TO BUILDING
 7. PROPOSED GRASS BUFFER TO HAVE DRAINAGE EASEMENT TO BE RECORDED BY SEPARATE INSTRUMENT.



- EROSION CONTROL LEGEND**
- FC ON-SITE FUEL CONTAINMENT (IF NEEDED)
 - SF SILT FENCE
 - CE CONSTRUCTION ENTRANCE
 - IP CURB INLET PROTECTION
 - CW CONCRETE WASHOUT AREA (IF NEEDED)
 - CS CURB SOCK (FILLED WITH GRAVEL)



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NMFRD STATION #63

ADDITION & REMODEL

C3.1

GRADING & EROSION CONTROL PLAN-EAST

ISSUE DATE: 2016.11.

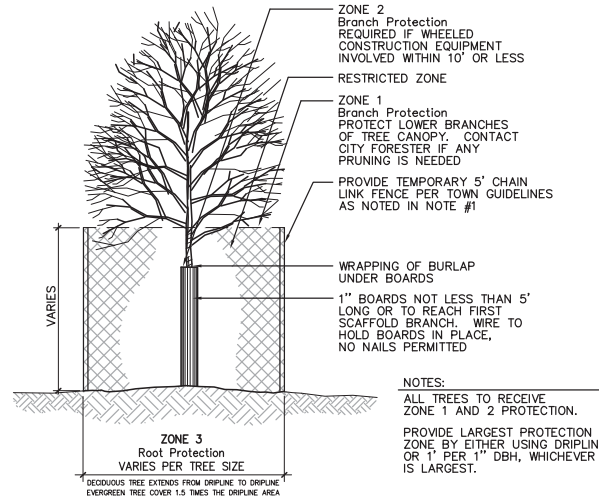
37162

REGISTERED PROFESSIONAL ENGINEER

JOEL R. SEAMONS

TREE PRESERVATION AND REMOVAL NOTES:

1. BARRICADES SHALL HAVE A 1-FOOT RADIUS PER INCH OF TRUNK DIAMETER, WITH A WOOD CHIP MULCH 6 TO 8 INCHES DEEP EXTENDING BEYOND THE BARRIER TO THE DRIPLINE, IF NEEDED. IF LOW BRANCHES WILL BE KEPT, PLACE THE FENCE OUTSIDE THE DRIPLINE. EXAMINE TREES AND BARRICADES AT LEAST ONCE A WEEK DURING CONSTRUCTION. WITHIN THE DRIP LINE OF PROTECTED EXISTING TREES, THERE SHALL BE NO CUT OR FILL UNLESS THE CONSULTING ARBORIST HAS EVALUATED AND APPROVED THE DISTURBANCE. TREE ROOTS ON TREES IN NATIVE AREAS SUCH AS THIS CAN BE FOUND AT THE VERY SURFACE OF THE SOIL, AND AS MANY OF THESE ARE FEEDER ROOTS, NO DISTURBANCE OF ANY KIND SHALL BE PERMITTED UNLESS APPROVED BY THE CONSULTING ARBORIST.
2. ALL EXISTING PRESERVED SPRUCE TREES SHALL BE TREATED FOR Ips BEETLES TWICE PER YEAR (MARCH AND JULY).
3. ALL TRENCHING, BORING, AND PUSHING OF UTILITIES THROUGH THE ROOT ZONES OF EXISTING SHALL BE AVOIDED.
4. IF DAMAGE OCCURS TO ROOTS OF EXISTING TREES, THE ROOTS SHALL BE PRUNED AND COVERED WITH SOIL OR MOIST BURLAP WITHIN TWO HOURS.
5. THE CONSULTING ARBORIST MUST BE CONTACTED PRIOR TO ANY NECESSARY CUT AND FILL EARTHWORK WITHIN THE DRIPLINE OF AN EXISTING PRESERVED TREE.
6. EARTHWORK SHALL NOT BE PLACED ADJACENT TO TREE TRUNKS.
7. ALL CONSTRUCTION ACTIVITY SHALL BE PROHIBITED WITHIN THE FENCED ROOT/DRIP LINE IN ORDER TO PREVENT SOIL COMPACTION.
8. NO CONSTRUCTION RELATED WASH-OUT (E.G., LIME, ACID, CONCRETE) SHOULD OCCUR WITHIN 30 FEET OF ANY TREE TRUNK.
9. A CERTIFIED ARBORIST SHALL PRUNE ALL EXISTING PRESERVED TREES.
10. SUPPLEMENTAL WATERING IS NOT RECOMMENDED UNLESS APPROVED BY THE CONSULTING ARBORIST.



1 TREE PROTECTION DETAIL
N.T.S.

LANDSCAPE NOTES

1. THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE EXISTING CIVIL, MECHANICAL, ELECTRICAL, ARCHITECTURAL, AND IRRIGATION AS-BUILT SITE PLANS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
2. ALL NEW LANDSCAPE AREAS SHALL BE ROTOTILLED WITH CLASS 1 ORGANIC COMPOST AT A RATE OF 4 CUBIC YARDS PER 1,000 SQUARE FEET. THIS PREPARATION SHALL BE THOROUGHLY INCORPORATED INTO THE TOP 6" OF SOIL.
3. ALL DECIDUOUS TREES ARE TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ANY PLANT NOT MEETING THE LANDSCAPE ARCHITECT'S APPROVAL WILL BE REJECTED AT ANY TIME PRIOR TO FINAL ACCEPTANCE.
4. ALL TREES TO BE STAKED OR GUYED AS PER PLANT LIST AND DETAILS.
5. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
7. ALL SHRUB/ORNAMENTAL GRASS BEDS SHALL BE MULCHED WITH 4" DEPTH 3/4" CRUSHED GRANITE ROCK MULCH OVER SPECIFIED FILTER FABRIC.
8. ALL MULCH AREAS ADJACENT TO THE BUILDING SHALL BE MULCHED WITH 4" DEPTH 3/4" CRUSHED GRANITE ROCK MULCH OVER SPECIFIED FILTER FABRIC.
9. ALL NEW SHRUB BEDS AND MULCH AREAS ARE TO BE CONTAINED WITH SPECIFIED ROLL TOP STEEL EDGER (NOT REQUIRED AT CURB, WALKS OR BUILDING). PLACE STEEL EDGER BETWEEN ALL ROCK AND WOOD MULCH BEDS. COLOR OF EDGER TO BE GREEN.
10. ALL NEW LANDSCAPE AREAS WILL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL TURF AREAS LESS THAN 15' IN WIDTH SHALL HAVE LOW-ANGLE SPRAY NOZZLES DESIGNED FOR THE SPECIFIED WIDTH. ALL TURF AREAS GREATER THAN 15' SHALL BE IRRIGATED WITH GEAR-DRIVEN ROTORS WITH LOW ANGLE NOZZLES ON SEPARATE STATIONS. ALL SPRAY HEADS SHALL BE PRESSURE REDUCING DESIGNED TO PREVENT LOW HEAD DRAINAGE. ALL SHRUB BEDS SHALL BE IRRIGATED WITH A SEPARATELY ZONED DRIP SYSTEM PROVIDING FULL COVERAGE TO EACH PLANT. A RAIN SENSOR SYSTEM SHALL BE ADDED TO THE NEW IRRIGATION SYSTEM. THE CONTRACTOR SHALL USE THE EXISTING ON-SITE TAP AND BACKFLOW DEVICE AND SHALL FIELD VERIFY LOCATIONS AND CONDITION. THE LANDSCAPE CONTRACTOR SHALL SUPPLY AN IRRIGATION SYSTEM DESIGN AND SUBMITTALS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
11. NO TREE OR SHRUB MORE THAN 30 INCHES HIGHER THAN TOP OF CURB SHALL BE PLANTED NEITHER IN ANY 50 FOOT VISION TRIANGLE AT ANY STREET INTERSECTION NOR IN ANY 25 FOOT VISION TRIANGLE AT THE INTERSECTION OF ANY DRIVEWAY AND PUBLIC STREET.
12. NO TREE SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE.
13. ALL LANDSCAPING SHALL BE INSTALLED IN COMPLIANCE WITH SEC. 11-6-13. PLANTS PROHIBITED BY THE CITY OF NORTHGLENN SHALL NOT BE UTILIZED OR PLANTED ON THE PROPERTY.

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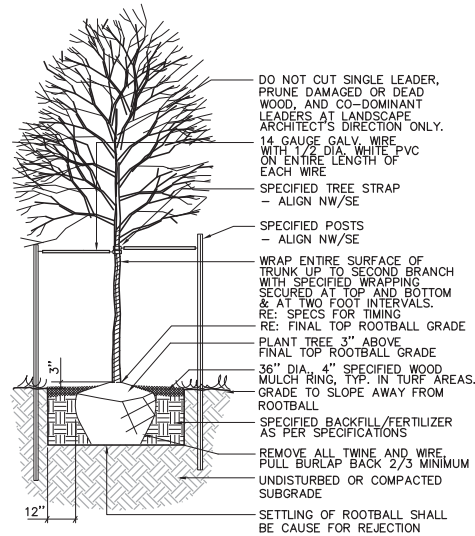
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ISSUE DATE: 2016 1209

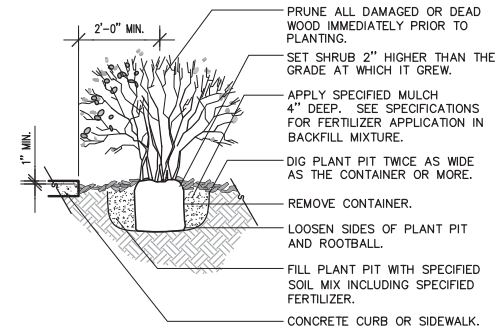
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LANDSCAPE
NOTES

L2

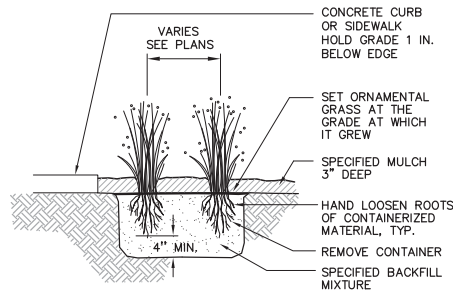


1 DECIDUOUS TREE PLANTING
N.T.S.

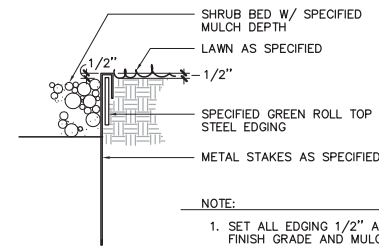


- NOTES:
1. ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
 2. HOLD GRADE 1" BELOW EDGE OF WALK OR CURB. THIS DETAIL SHALL ALSO APPLY TO PERENNIAL FLOWERS IN CONTAINER.
 3. ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF MULCH LAYER.

2 SHRUB PLANTING DETAIL
N.T.S.



3 ORNAMENTAL GRASS DETAIL
N.T.S.



- NOTE:
1. SET ALL EDGING 1/2" ABOVE FINISH GRADE AND MULCH AS SHOWN. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH W/ GRADES OF CONCRETE. ALL JOINTS TO BE SECURELY STAKED.

4 STEEL EDGER DETAIL
N.T.S.

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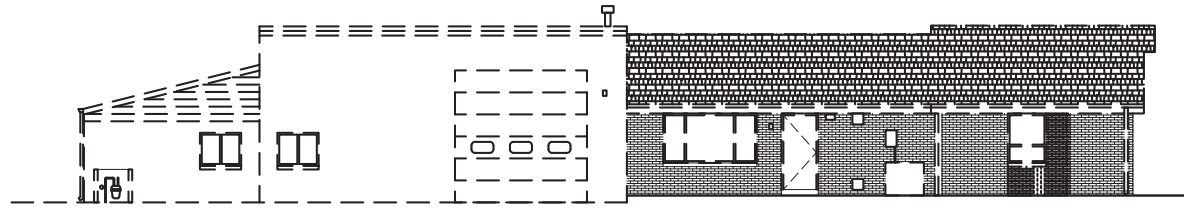
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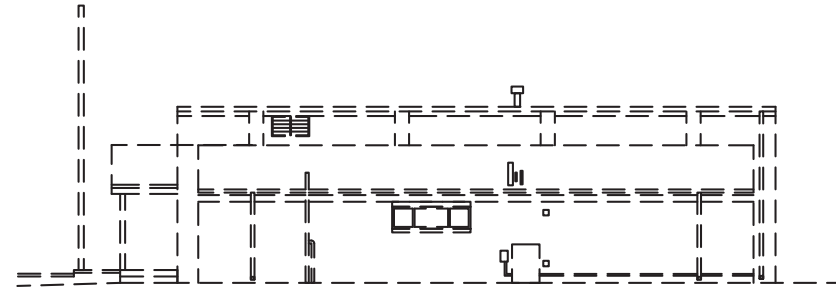
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LANDSCAPE
DETAILS

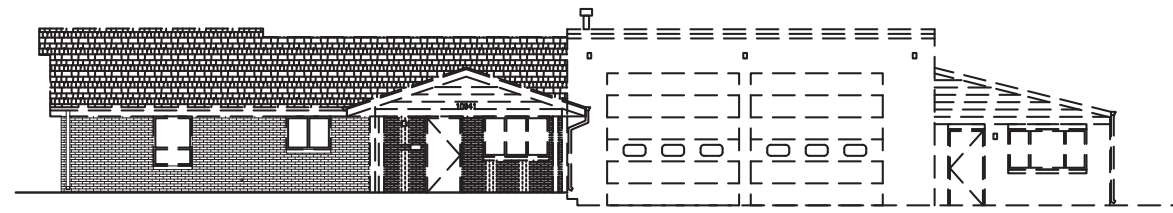
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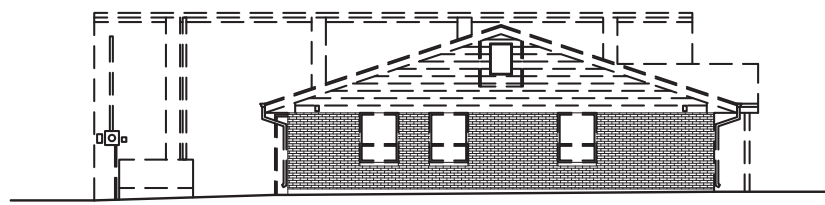
4 NORTH DEMO ELEVATION
SCALE: 1/8"=1'-0"



3 EAST DEMO ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH DEMO ELEVATION
SCALE: 1/8"=1'-0"



1 WEST DEMO ELEVATION
SCALE: 1/8"=1'-0"

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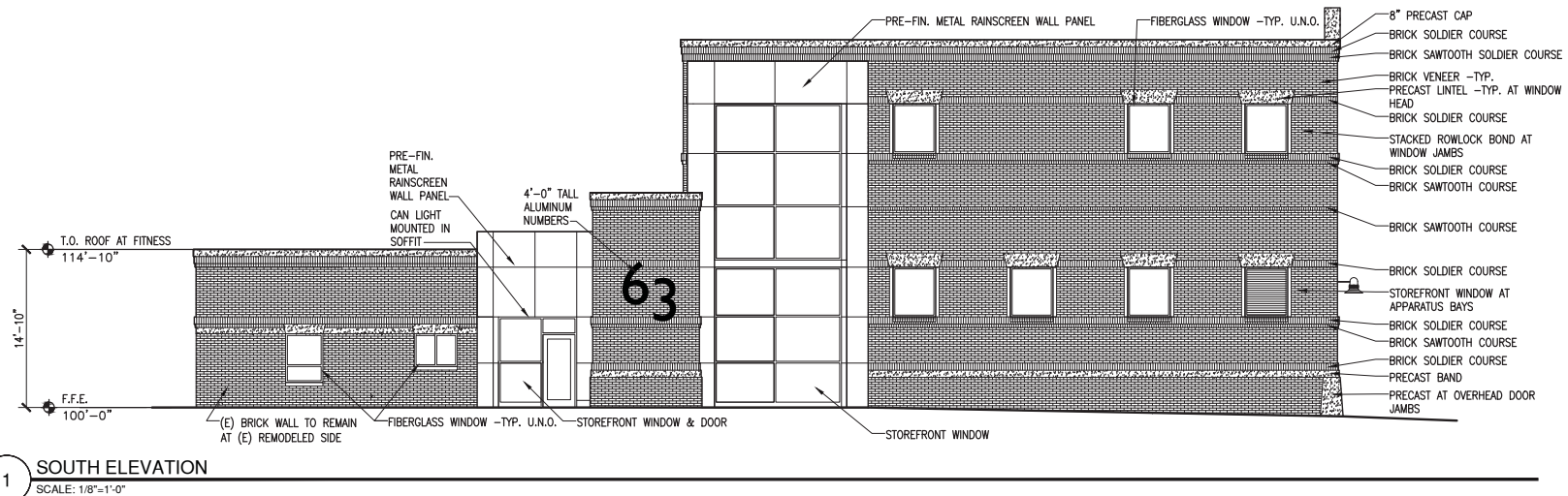
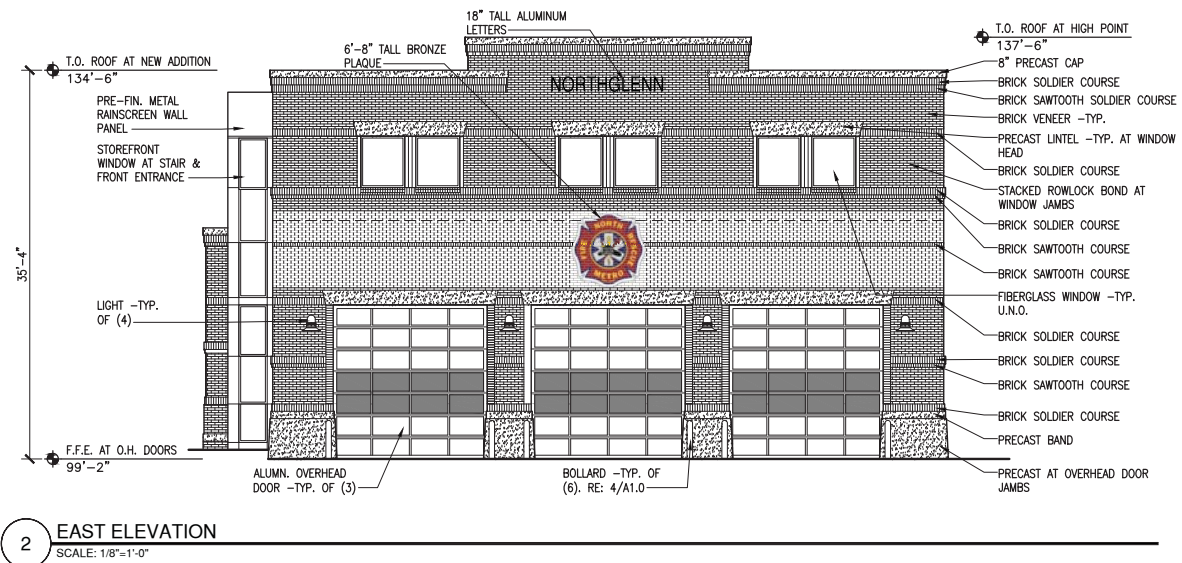
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DEMO ELEVATIONS

A4.0



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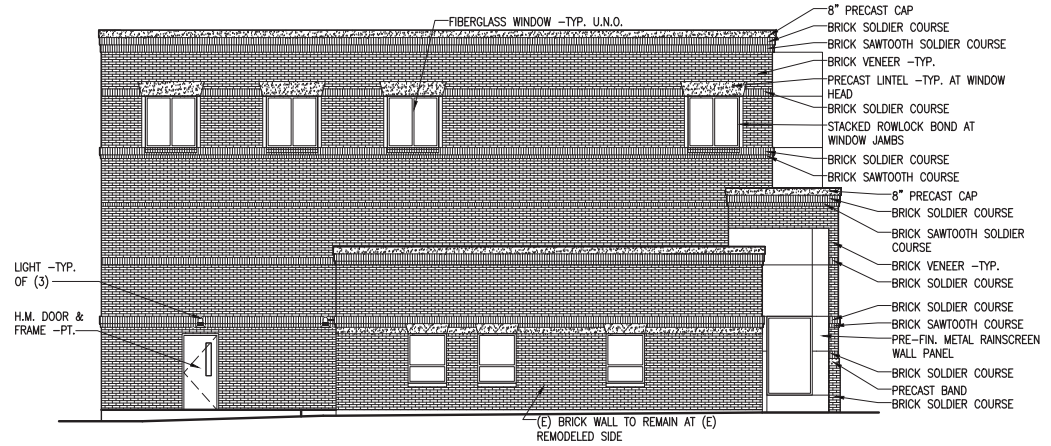
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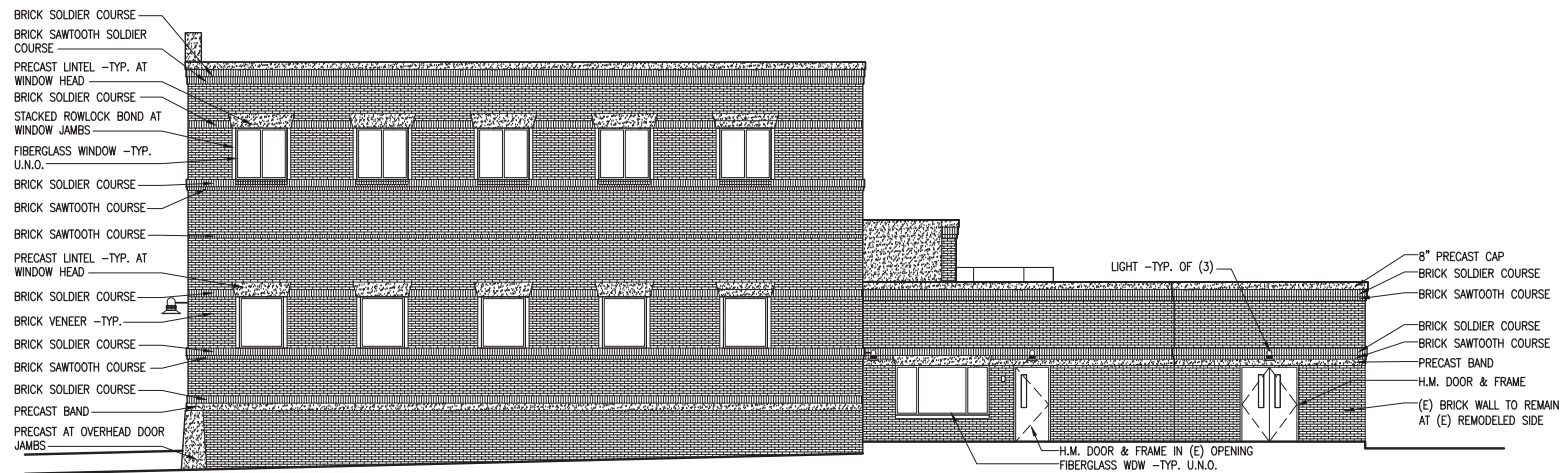
**SOUTH & EAST
ELEVATIONS**

A4.1

**NMFRD STATION #63
ADDITION & REMODEL**



2 WEST ELEVATION
SCALE: 1/8"=1'-0"



1 NORTH ELEVATION
SCALE: 1/8"=1'-0"