

PLANNING & DEVELOPMENT MEMORANDUM
#30-2023

DATE: July 10, 2023

TO: Honorable Mayor Meredith Leighty and City Council Members

THROUGH: Heather Geyer, City Manager *hmg*
Jason Loveland, Interim Deputy City Manager *ALZ*

FROM: Brook Svoboda, Director of Planning & Development *B*
Ashley McFarland, Planner II

SUBJECT: CB-2007 – Rezone of 10691 Melody Drive to Multifamily (RM-2)

PURPOSE

To consider CB-2007, an ordinance on first reading to rezone the property at 10691 Melody Drive from Commercial General (CG)/Commercial Auto (CA) to Multifamily (RM-2).

BACKGROUND

The applicant, Kimley Horn and Associates, on behalf of Headwaters Group, is requesting consideration for a rezoning of the property located at 10691 Melody Drive from CG/CA to Multifamily (RM-2). The 4.53-acre lot is located on the west side of Melody Drive, south of Kennedy Drive, and north of West 106th Avenue. The property currently contains three buildings, including a 9,000-square-foot retail space, 6,000-square-foot restaurant space, 9,000-square-foot commercial and retail space, and a parking lot area. Should this rezoning be approved, these structures would come down for the site's redevelopment.

The applicant has submitted a formal site plan application proposing a 172-unit senior independent living multifamily housing development. Any future development would be required to conform to the development standards within the Unified Development Ordinance (UDO) for review of applicable development standards and engineering requirements. It is important to note that any future development would need to comply with all applicable development standards in the UDO pertaining to the RM-2 zone district. Any future development would be considered a Major Site Plan and require review and approval from the Planning Commission.

The Planning Commission reviewed the proposed rezone at a public hearing on May 16, 2023 and voted 7-0 to recommend approval of the rezone to City Council. Attachment 1 includes the staff report and exhibits presented to the Planning Commission and has additional background information on the rezoning request.

Following public testimony on the requested rezone, the Planning Commission determined that the proposed RM-2 zone district was the most appropriate zoning designation for this property, was consistent with the Comprehensive Plan, is consistent with the neighboring multifamily (RM-2) zone district to the west, and consistent with the zoning criteria outlined in the UDO for rezoning requests. An analysis of those criteria is included in the Planning Commission staff memorandum in Attachment 1.

The property is identified as an Area of Change/Area of Focus. Rezoning the site to the RM-2 zone district provides a transition from the commercial uses to the east and south and is compatible with the multifamily zoning to the west. Additionally, the RM-2 district would allow the development of diverse medium-density housing types. Rezoning to multifamily would encourage walkability and serve as a connection to both the neighboring Northglenn Marketplace and

CB-2007 – Rezone of 10691 Melody Drive to Multifamily (RM-2)

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Northglenn Square commercial centers. Rezoning to a multifamily zone district would be more consistent with the Comprehensive Plan by adding needed housing to the surrounding adjacent commercial properties, thus providing a mix of uses in the area.

BUDGET/TIME IMPLICATIONS

There are no financial or time impacts to the City.

If CB-2007 is approved on first reading, a public hearing and second reading of the proposed ordinance would be scheduled for July 24, 2023.

STAFF RECOMMENDATION

Staff recommends approval of CB-2007 on first reading.

STAFF REFERENCE

If Council Members have any questions, please contact Brook Svoboda, Director of Planning & Development, at bsvoboda@northglenn.org or 303.450.8937.

ATTACHMENT

1. Planning Commission Staff Memorandum (May 16, 2023)

CB-2007 – Rezone of 10691 Melody Drive to Multifamily (RM-2)



Planning & Development
 11701 Community Center Drive
 Northglenn, CO 80233
 P: 303-450-8739
 F: 303-450-8708
 northglenn.org

PLANNING AND DEVELOPMENT DEPARTMENT
MEMORANDUM

DATE: May 16, 2023
TO: Planning Commission
FROM: Ashley McFarland, Planner II
THROUGH: Becky Smith, Planning Manager
 Brook Svoboda, Director of Planning and Development
SUBJECT: Z-1-23, Rezone of 10691 Melody Drive

REQUEST

The applicant, Kimley Horn and Associates, on behalf of Headwaters Group, is requesting consideration for a rezoning of the property located at 10691 Melody Drive from Commercial General (CG)/Commercial Auto (CA) to Multifamily (RM-2).

RECOMMENDATION

Staff Recommendation:

Staff recommends the Planning Commission forward a recommendation for approval of a rezone from Commercial General (CG)/Commercial Auto (CA) to Multifamily (RM-2) for the property 10691 Melody Drive, based on the recommended findings of fact outlined in the Resolution attached.

Recommended Motion:

“Move to approve Planning Commission Resolution 23-07 approving case number Z-1-23, for the rezoning of 10691 Melody Drive to Multifamily.”

DISCUSSION

Site Data

The following table summarizes the site data for the property see Exhibit A for an Aerial Map of the vicinity):

| | |
|---------------------------------|------------------------------------|
| Address/General Location | 10691 Melody Drive |
| Zoning | Commercial General/Commercial Auto |
| Acreage | 4.53 acres |

| | |
|--|--|
| Building Square Footage (Existing/Proposed) | Existing: 9,000 sq. ft. retail space, 6249 sq. ft. restaurant space, 9,000 sq. ft. commercial and retail space and parking lot area. |
|--|--|

Characteristics of the Site (see Attachment A for an Aerial Vicinity Map)

- Three existing retail, commercial, and restaurant buildings and parking lot area.
- The properties are zoned CG – Commercial General and CA – Commercial Auto.
- The area to the East has undergone multiple tenant finish changes including combining and subdividing of retail spaces to accommodate incoming retail needs for the Northglenn Marketplace.

Zoning and Surrounding Land Uses

The following table summarizes the zoning and land uses for the properties surrounding this site (see Attachment B for a Zoning Map of the vicinity):

| | Zoning | Land Use |
|--------------|-------------------------|---|
| North | CG – Commercial General | Commercial and Retail – Wells Fargo Building |
| South | CA – Commercial Auto | Retail and Restaurant – Northglenn Square |
| East | CA – Commercial Auto | Retail and Restaurant – Northglenn Marketplace |
| West | RM-2 - Multifamily | Multifamily – Beacon House Apartments and The Heights on Huron Apartments |

Notification Requirements:

Notification for this application was conducted in accordance with the requirements of Section 11-6-3(e) Scheduling and Notice of Public Hearings of the UDO. Notice of the public hearing was published in the Northglenn-Thornton Sentinel at least 15 days prior to the public hearing. Additionally, a mailed notice was sent to all property owners within the City of Northglenn within 300 feet of the property, and a sign was posted at least 15 days prior to the public hearing.

Analysis:

The applicant submitted Attachment C, Headwaters Group rezoning application, prior to the adoption of the new Looking Up, A Vision for Northglenn’s Future Comprehensive Plan in April 2023; therefore the application was reviewed for compliance with the previously approved Imagine Northglenn: The Next 40 Years Comprehensive Plan. However, staff believes that the application is consistent with both documents.

The Northglenn Comprehensive Plan, Imagine Northglenn: The Next 40 Years identifies the site at 10691 Melody Drive as an area of land use change. An area of change is either a single property or a group of properties identified for potential future rezoning. Both comprehensive plans identify the property as desired to rezone to mixed-use high density. Additionally, both comprehensive plans state a goal to diversify housing types within Northglenn.

To the east of this property, at the Northglenn Marketplace, multiple tenant finish projects have occurred over the past 5 years. Changes include combining and subdividing retail spaces to accommodate the changing needs of the shopping center.

The Comprehensive Plan’s Future Land Use Maps designated the subject property as Mixed-Use High Intensity. Mixed-Use High-Intensity is defined as development that is 250,000 square feet in total gross leasable space and permits greater concentrations of office uses. Where appropriate,

large-scale single uses, utilizing pedestrian-oriented site layout and architecture. Greater residential densities are encouraged within and around the development to provide support for a core of pedestrian activity. The area should be highly served by multiple transit routes. City Staff believes rezoning the property to RM-2 Multifamily would encourage the objectives of the plan by providing higher-density housing that is mixed within the existing largely commercial area. The rezoning would be compatible with current and future land uses in the area by being consistent with the multifamily zoning of the property adjacent to the west. Future development would provide the opportunity for diverse medium-intensity housing to act as a transition from the primarily commercial areas to the south and east.

The purpose statement of the RM-2 zone district states: The RM-2 district is intended to provide housing at varied densities including attached single-family and multifamily uses. The RM-2 district also may include community, educational, and limited supportive uses. The RM-2 district may serve as a transition between higher-intensity commercial and mixed-use districts and lower-density residential districts. Staff finds the proposed use to be consistent with the purpose statement.

Table 3-2-A lists all uses allowed within the RM-2 zone district. The Table of allowed Uses is provided as Attachment D, attached below. Uses allowed by right are indicated with the check mark, cells showing an "S" indicate uses that require a Special Use Permit and are subject to procedures in Subsection 11-6-5(b), Special Use Permit, prohibited uses are shown as blank cells, and accessory uses are indicated with an "A" requiring compliance with Section 11-3-4, Accessory Uses and Structures. Approval of a rezoning to RM-2 would allow for all uses identified in the table.

Rezoning to RM-2 allows the property flexibility in the type of residential development that could occur as future development on the site. The rezoning would provide a diversification of uses in the area. Rezoning the property would also encourage the redevelopment of an aging commercial property. Finally, the rezoning would provide an optimal mix of uses, increasing the number of residential units in close proximity to the Northglenn Marketplace and Northglenn Square commercial areas.

If the site were to be rezoned, it would be subject to standards outlined in Section 11-6-4(a). Meaning that any future development would need to comply with those standards. The Commission is only considering a request to rezone the property. Any future development on the site must comply with all applicable development standards and processes outlined in this section as well as any other appropriate standards in the UDO. Staff finds it likely that any future redevelopment of the site would require a Major Site Plan, with final approval of such site plan being at the approval of the Planning Commission. Below is a summary of development standards for the proposed zone district:

| RM-2 – Multifamily Building Standards | |
|---|------------------------|
| Minimum Lot Area, Single-Family Attached and Duplex | 2,000 sq. ft. per unit |
| Minimum Lot Area, Multifamily | 1,000 sq. ft. per unit |
| Minimum Lot Area, all other uses | 10,500 sq. ft. |
| Minimum Lot Width | 70 ft. |
| Maximum Height, Primary | 60 ft. |
| Maximum Height, Accessory | 20 ft. |
| Minimum Front Building Setback | 15 ft. |
| Side, Single-Family Attached and Duplex | 5 ft. |
| Side, all other uses/Side, (detached accessory) | 10 ft./ 5 ft. |

| | |
|--|-------------|
| Minimum Rear/Rear (detached accessory) | 10 ft./None |
| Maximum Building Coverage | 60% |
| Maximum Impervious Surface Coverage | 80% |

APPROVAL CRITERIA

Applicable Code Provisions:

The following sections of the code have been considered in review of this application.

- Section 11-6-4(a) – Rezoning

Rezoning Procedure and Criteria Analysis:

Section 11-6-2 states the Planning Commission shall review rezoning applications and recommend approval, approval with conditions or denial in accordance with Section 11-6-4(a)(3)(E)(iii) – Rezoning Approval Criteria. The Planning Commission’s recommendation will be provided to City Council, where then City Council will review and provide decision.

| Criteria: | Staff Analysis: |
|--|---|
| (1) The proposed rezoning is consistent with the Comprehensive Plan and the purposes of this UDO; | The proposed rezoning is consistent with the City of Northglenn Comprehensive Plan. The property is identified as an Area of Change/Area of Focus in the plan and the proposed rezoning will encourage redevelopment of the site, from a large, underutilized property that lacks street activation and walkability. Additionally, the proposed rezoning will encourage a diversification of residential uses that will blend into the change area. |
| (2) The rezoning is consistent with the purpose statement of the proposed zoning district; | The proposed rezoning is consistent with the purpose statement of RM-2 that would allow development of diverse medium-density housing types. Rezoning to multifamily would encourage walkability and serve as a connection to both the neighboring Northglenn Marketplace and Northglenn Square commercial centers; thus, increasing economic vitality along Melody Drive. The RM-2 district is compatible with the surrounding land uses and provides a transition zone from the multifamily and commercial uses surrounding the property. |
| (3) There have been significant changes in the area to warrant a zoning change; The intensity of development in the new zoning district is not expected to create significantly adverse impacts to surrounding properties or the neighborhood; and | Changes within the area include tenant commercial changes to the east and south. Rezoning to a multifamily zone district would be more consistent with the Northglenn Comprehensive Plan by adding needed housing to the surrounding adjacent commercial properties, thus providing a mix of uses in the area. Rezoning would lead to redevelopment of the site that is currently underutilized and lacks walkability. |
| (4) Public facilities and services are available to adequately serve the subject property while maintaining adequate level of service to existing development. And/or: | Public facilities and services are available to service the property adequately. The city has the capacity to serve this property with water, sewer, etc.; these engineering or other by-department specifics will be |

| | |
|---|---|
| | <p>reviewed for compliance during the entitlement application review. Specific utility studies (storm, water, sewer) will be included at the time of site plan review to ensure compliance with the Northglenn UDO and all City Engineering Standards and Specifications.</p> |
| <p>(6) There was an error in establishing the current zoning;</p> | <p>Although there was not an error in zoning, the City's Comprehensive Plan identified this area as an area of change. This means that over time the neighborhood has evolved, and the current use is no longer desired in the neighborhood.</p> |

ADMINISTRATION

Possible Actions by the Planning Commission:

The Planning Commission is not the final approval authority for a rezone to Multifamily (RM-2). The Planning Commission shall review the application and provide a recommendation to the City Council. The Commission's options are as follows:

1. Approve the request, with or without conditions or stipulations;
2. Deny the request for reasons states; or
3. Table the request for further consideration

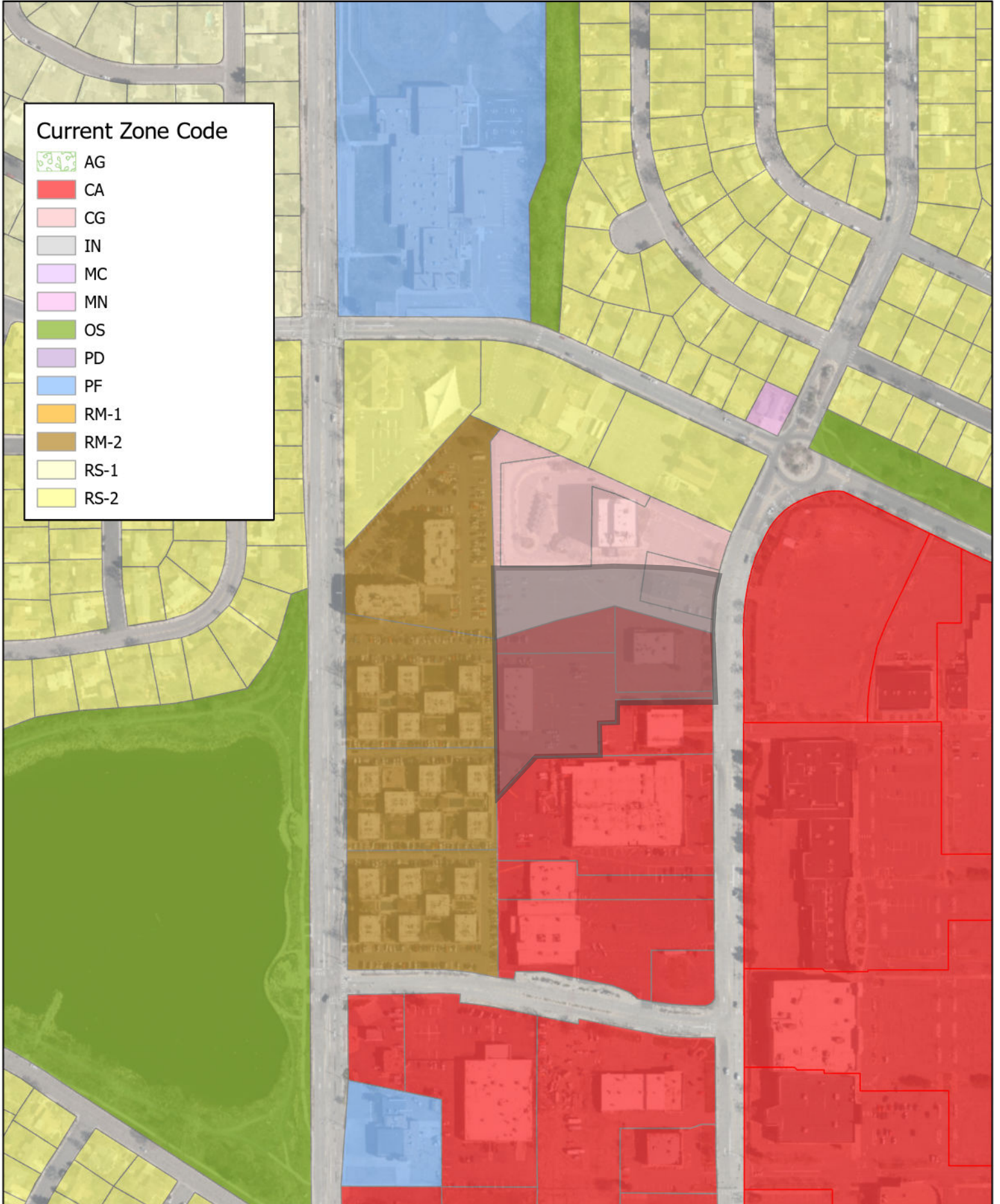
Next Steps:

The Planning Commission's recommendation will be forward to City Council for consideration. The application request would require City Council to approve an ordinance rezoning the property following a public hearing. At this time, the rezone is not scheduled with City Council. Future site development will be required to undergo review as outlined in the UDO.














ATTACHMENTS

- Attachment A – Aerial Map
- Attachment B – Zoning Map
- Attachment C – Rezoning Application and Applicant's Supporting Documentation
- Attachment D – Table of Allowed Uses





Current Zone Code

| | |
|--|------|
|  | AG |
|  | CA |
|  | CG |
|  | IN |
|  | MC |
|  | MN |
|  | OS |
|  | PD |
|  | PF |
|  | RM-1 |
|  | RM-2 |
|  | RS-1 |
|  | RS-2 |



City of Northglenn
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northglenn.org

OVERVIEW

The purpose of the rezoning procedure is to make amendments to the Official Zoning Map of the City of Northglenn to reflect changes in public policy, changed conditions, or to advance the welfare of the City. The zoning classification of any parcel in the City may be amended using this procedure. The purpose is neither to relieve particular hardships nor to confer special privileges or rights on any person. Rezoning shall not be used when a special use permit, variance, or administrative adjustment could be used to achieve the same result. An application to rezone a property is also reviewed for compliance with the City of Northglenn Comprehensive Plan and any applicable subarea or topical Master Plans. A complete description of the procedures for a Rezoning review can be found in Section 11-6-4(a) of the Unified Development Ordinance (UDO).

SUBMITTAL REQUIREMENTS

The following application package must be submitted to the Planning and Development Department to commence review. Submittals should be electronic, or one (1) paper copy will also be accepted. Any missing information may cause the application to be incomplete and, therefore, rejected.

- Completed **Application Form**.
- Application Fee** of \$500.
- Proof of Ownership**
- ALTA Survey** that includes the legal boundary description of the property
- Project Description/Justification Letter** that summarizes the rezoning request, includes written justification in response to the required criteria detailed below, discussion of surrounding zoning, conformance with the Comprehensive Plan, and any applicable subarea or topical Master Plans. Refer to your Pre-Application Meeting notes for guidance.
- Additional Information**, as may be required by the Planning staff or if applicable to the proposed site plan request.

PROCESS

- Prior to submittal of a Rezoning application, you are required to schedule a Pre-Application Meeting in accordance with Section 11-6-4(a) of the UDO. Contact the Planning and Development Department at 303-450-8739 to schedule a Pre-Application Meeting.
- Applications can be submitted electronically to development@northglenn.org or directly to Planning and Development Department staff at City Hall (11701 Community Center Drive).
- Upon receipt of an application, the Planning staff will review the application package for completeness. If the application is deemed complete, it will be referred out to the city's Development Review Committee, which consists of various city departments, including Planning, Building, Engineering, Public Works, North Metro Fire Rescue, and any other agency/department that might have an interest in the application.
- The Planning and Development Department will compile all comments from the various city departments and other agencies and provide a written review letter within 15 business days of submittal. If a resubmittal is required, it will be requested in the review letter. Any resubmittals will follow this same procedure.



City of Northglenn

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REZONING
Attachment 1
Application Guide

- Once an application has completed the staff review, it can be scheduled for public hearing before the Planning Commission to provide recommendation to City Council for final approval.
- In order for a Rezoning to be approved, it must meet the approval criteria outlined in Section 11-6-4(a)(3)(E)(iii) of the code, which is further described later in this guide.
- Planning Commission meetings are scheduled the first and third Tuesdays of the month at 7:00 p.m. in the City Council Chambers at City Hall (11701 Community Center Drive). The exact date and time for your meeting will be coordinated with you upon receipt of a complete application and full staff review.
- City Council meetings are scheduled the second and fourth Mondays of the month at 7:00 p.m. in the City Council Chambers at City Hall (11701 Community Center Drive). City Council includes two required dates, 1st Reading to schedule the item, and 2nd reading to conduct the public hearing. Attendance is only required at the public hearing during 2nd reading. The exact date and time for your meeting will be coordinated with you upon receipt of a complete application and full staff review.
- The Planning and Development Department will notice the public hearing in accordance with code requirements, meaning that a sign will be posted on the property at least 15 days before the public hearing date. Additionally, staff will publish notice of the public hearing in the local Northglenn-Thornton newspaper and send mailed notices to all property owners within 300 feet of the Rezoning request. Please note that the public hearing sign shall remain on the property until after the public hearing date. If a replacement sign is required, please contact the Planning and Development Department.
- No building permit may be issued until a Rezoning has been approved if proposed site work requires rezoning for the use. Rezonings may also be required in conjunction with development permits or approvals.

CODE REQUIREMENTS

Section 11-6-4(a) of the Unified Development Ordinance (UDO) addresses the requirements for a Rezoning application. The following references are excerpts from the UDO pertaining to the Rezoning review process. Additionally, Rezoning applications shall be in compliance with all applicable development standards and zoning district regulations identified in the UDO. Please refer to the city's Municipal Code for a complete listing of all requirements outlined in the UDO.

Section 11-6-4(a)(3)(E)(iii). Rezoning Approval Criteria

In reviewing a proposed Rezoning, the Planning Commission and City Council shall review the rezoning application and recommend approval, approval with conditions, or denial in accordance with Subsection 11-6-3(f) and the criteria below:

1. The proposed rezoning is consistent with the Comprehensive Plan and the purposes of this UDO;
2. The rezoning is consistent with the purpose statement of the proposed zoning district;
3. There have been significant changes in the area to warrant a zoning change; The intensity of development in the new zoning district is not expected to create significantly adverse impacts to surrounding properties or the neighborhood; and
4. Public facilities and services are available to adequately serve the subject property while maintaining adequate level of service to existing development. And/or:
5. There was an error in establishing the current zoning;

Please note that a Rezoning must comply with all applicable requirements outlined in the Northglenn UDO.



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REZONING
Attachment 1
Application Guide

The city's UDO can be found at www.northglenn.org/municode.



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 northglenn.org

PROJECT INFORMATION

General Description of Request: Develop an four story, 196, 850 square foot active adult living facility with 172 dwelling units.

Attach hereto a Project Description Letter that describes in detail the request.

Property Address or Location: 10691, 10699, and 10701 Melody Drive

Legal Description: Part of Tract "C", Resubdivision of Lot 1, Block 47, Lots 2-39, Block 48, and Blocks 49, 50, 51, 52, and 53, North Glenn - Fifth Filing

Current Zoning District: Commercial General/Commercial Auto-Oriented Proposed Zoning District: RM-2

Lot area: 4.53 Acres

PROPERTY OWNER(S) INFORMATION

Name: Jeff Hoffman

Company (if applicable): HG AA Northglenn, LLC

Address: Clayton Street, Suite 307

City: Denver State: CO Zip: 80206

Phone: 312.617.5736 Email: jeff.hoffman@headwatersgrp.com

AUTHORIZED AGENT (If other than owner)

Name: Ramsey Pickard

Company (if applicable): Kimley Horn & Associates

Address: 3801 Automation Way, Suite 210

City: Fort Collins State: CO Zip: 80525

Phone: 970.628.9930 Email: ramsey.pickard@kimley-horn.com

OWNER(S) & AGENT CERTIFICATION

I hereby depose and state under the penalties of perjury that all statements, proposals and/or plans submitted with/or contained in this application are true and correct and the application is complete to the best of my knowledge and belief.

Agent's Signature: *Ramsey Pickard* Date: 2.9.2023

Owner(s)' Signature(s): *Jeff Hoffman* Date: 2/21/2023

STAFF USE ONLY:

Case Number:

Date Application Received:



HEADWATERS
GROUP
WHERE GREAT THINGS BEGIN

April 7, 2023

City of Northglenn Planning Division
11701 Community Center Drive
Northglenn, CO 80233

RE: 10691 Melody Drive Rezoning Approval Criteria

Dear Mr. Eric Ensey,

The following are responses to the Rezoning Approval Criteria set forth by the City of Northglenn in regards to projects seeking rezoning. The numbering corresponds to the Unified Development Ordinance [Zoning Code] Section 11-6-4(a)(3)E(iii), "Rezoning Approval Criteria."

1. The request to change the zoning over 10691 Melody Drive from the existing CA, Commercial Auto-Oriented to RM-2, with the use 'Independent Living Facility' is in line with the 2010 Comprehensive Plan, Imagine Northglenn: The Next 40 Years. The comprehensive plan's housing policies and strategies (5B.2) indicates a goal to "diversify housing stock and encourage the development of new housing products in Northglenn." This project would bring approximately 172 new units of senior housing to Northglenn. This request is also in line with the comprehensive plan strategies 5B2.3 to "provide zoning on critical vacant parcels that encourages the development of a variety of housing types," and 5B2.4 to "investigate 'gaps' in the housing market and determine locational opportunities for varying housing products that would diversify the overall housing stock." In the comprehensive plan maps, this area is suggested to go from "commercial" to "mixed use high intensity." The creation of infill housing on a currently vacant and underutilized parking lot would be in line with the strategies of the comprehensive plan.

This request is also consistent with the currently drafted comprehensive plan update: Looking Up, A Vision for Northglenn's Future, a 20 Year Comprehensive Plan. Section 3.2, Land Use, Goal 1 is to "support effective development/redevelopment practices in



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WHERE GREAT THINGS BEGIN

identified Areas of Focus (AOF) considering equity and environmental sustainability as a component of the recommendations.” This parcel is in AOF 2, Marketplace as identified in Section 4.1, Areas of Focus which indicates a recommended Mixed Use Regional land use. According to the draft comprehensive plan, the population of older adults (aged 65 years or older) “increased over the last 10 years” (3.8). This project would provide housing stock for this increasing group of Northglenn residents at an affordably priced rate which achieves Goal 2, Sec. 3.8 of the drafted Comprehensive Plan update, “diversify housing types to accommodate all stages of housing needs” and Goal 3, Sec. 3.8, “improve affordability for current Northglenn residents.”

2. The rezoning is consistent with the purpose of the proposed RM-2 district’s purpose statement *to provide housing at varied densities including attached single-family and multifamily uses. The RM-2 district also may include community, educational, and limited supportive uses. The RM-2 district may serve as a transition between higher intensity commercial and mixed-use districts and lower density residential districts.*

This project would provide senior housing including community space and limited supportive uses and would serve as a transition between nearby single family residential and suggested mixed-use high intensity in the AOF as indicated in the comprehensive plan update, explained above.

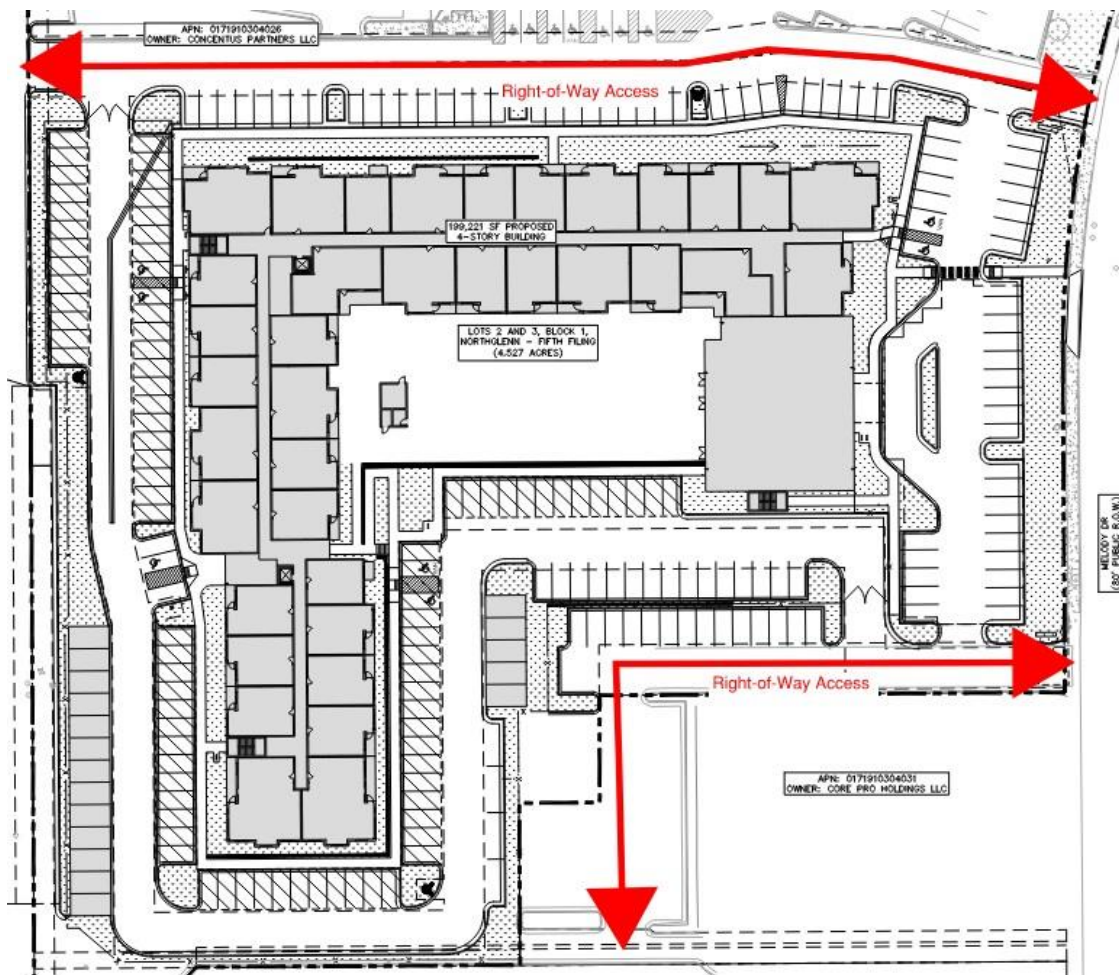
3. The intensity of development in the new zoning district is not expected to create significantly adverse impacts to surrounding properties or the neighborhood as the surrounding area is currently zoned Commercial, Auto-Oriented and is an area of focus for increased redevelopment in the comprehensive plan. The adjacent property to the west of our site is zoned RM-2, which matches the proposed zoning of our site. The single-family residential homes across Huron St. and Kennedy Dr. are outside of the area of focus and will not be directly adjacent to this rezoned parcel. The community input from the ongoing comprehensive plan update indicates that this area is the preferential location for higher intensity multi-family housing and redevelopment.
4. Public facilities and services are available to adequately serve the subject property while maintaining adequate level of service to existing development. Existing public right of way access will be maintained for sites adjacent to the west. Utilities for neighboring



HEADWATERS GROUP

WHERE GREAT THINGS BEGIN

sites are not going to be negatively impacted. Additionally public transportation in the area has capacity for this project as there are several bus stops within walking distance on Huron Street and 106th. The residents have the ability to walk to the Northglenn Marketplace for shopping. The location of the site is ideal for an Independent Living Facility due to the access of nearby commercial uses, such as retail and restaurants.



5. The current zoning no longer aligns with the drafted Comprehensive Plan. The site is located in Focus Area #3, where high-density residential is an allowed use. We believe that the change in zoning meets the intent of the drafted Comprehensive Plan to diversify housing types to accommodate all stages of housing needs.



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WHERE GREAT THINGS BEGIN

In summary, the purpose of this rezoning is to allow for development of an Independent Living Facility. This will be a 4-story building that includes a clubhouse and outdoor courtyard as well as programming including fitness, social, and arts classes for residents. An Independent Living Facility is an allowed use under Group Living of the RM-2 zoning. This use matches the need for housing options for an aging Northglenn population and the goals of the current comprehensive plan and drafted update to the comprehensive plan for increased density and redevelopment in the area, as well as diversity of housing stock.

The Headwaters leadership team has previously owned and operated a professional senior living management company responsible for over 50 senior living communities. Headwaters Group is based in Denver at 288 Clayton Street, Suite 307. I am the Senior Vice President of Development and am passionate about bringing this unique opportunity to Northglenn. My contact information is included below.

Thank you for your consideration of these documents and our rezoning application. We ask that staff recommend approval of the rezoning based on the above criteria.

Jeff Hoffman

SVP Development, Headwaters Group

Jeff.hoffman@headwatersgrp.com

312-617-5736

312-617-5736

EXHIBIT A

Attachment 1

PARCEL DESCRIPTION

THAT PORTION OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING, PER THE PLAT RECORDED AT RECEPTION NO. 807546 IN THE RECORDS OF ADAMS COUNTY, LYING WITHIN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID TRACT C;
THENCE ALONG THE EAST LINE OF SAID TRACT C AND ALONG A NON-TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 10°31'18", A RADIUS OF 605.00 FEET, AN ARC LENGTH OF 111.10 FEET, AND A CHORD BEARING AND DISTANCE OF S17°09'44"W, 110.94 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG THE EAST LINE OF SAID TRACT C THE FOLLOWING TWO (2) COURSES):

1) ALONG A TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 12°15'46", A RADIUS OF 605.00 FEET, AN ARC LENGTH OF 129.49 FEET, AND A CHORD BEARING AND DISTANCE OF S05°46'12"W, 129.24 FEET;

2) S 00°21'43" E, A DISTANCE OF 162.94 FEET;

THENCE DEPARTING SAID EAST LINE S89°38'17"W, A DISTANCE OF 229.94 FEET;

THENCE S00°09'52"E, A DISTANCE OF 52.92 FEET;

THENCE S89°30'43"W, A DISTANCE OF 39.82 FEET;

THENCE S00°21'42"E, A DISTANCE OF 80.00 FEET TO A POINT ON THE EASTERLY SOUTH LINE OF SAID TRACT C;

THENCE ALONG SAID EASTERLY SOUTH LINE THE FOLLOWING TWO (2) COURSES:

1) S89°38'17"W, A DISTANCE OF 160.06 FEET;

2) S41°16'17"W, A DISTANCE OF 120.42 FEET;

THENCE DEPARTING SAID EASTERLY SOUTH LINE N00°21'43"W, A DISTANCE OF 535.41 FEET;

THENCE N89°35'20"E, A DISTANCE OF 332.77 FEET;

THENCE N82°19'53"E, A DISTANCE OF 39.91 FEET;

THENCE S85°47'48"E, A DISTANCE OF 59.77 FEET;

THENCE S77°08'48"E, A DISTANCE OF 94.36 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 197,250 SQ. FT OR 4.528 ACRES, MORE OR LESS.

BEARINGS ARE BASED ON THE NORTH LINE OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING, BEARING S 65°33'05" E, A DISTANCE OF 597.60 FEET, AS MONUMENTED AT THE NORTHWEST END BY A FOUND 1" ILLEGIBLE YELLOW PLASTIC CAP, AND AT THE SOUTHEAST END BY A FOUND HOLE IN CONCRETE WITH BROKEN REBAR.

I, DARREN R. WOLTERSTORFF, BEING A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS EXHIBIT WAS PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, IS ACCURATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

DARREN R. WOLTERSTORFF, PLS 38281
FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC.

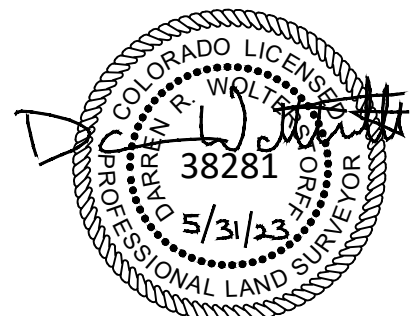
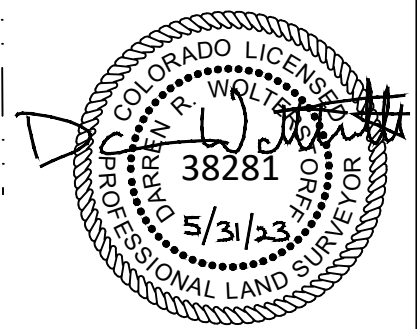
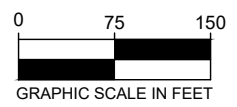
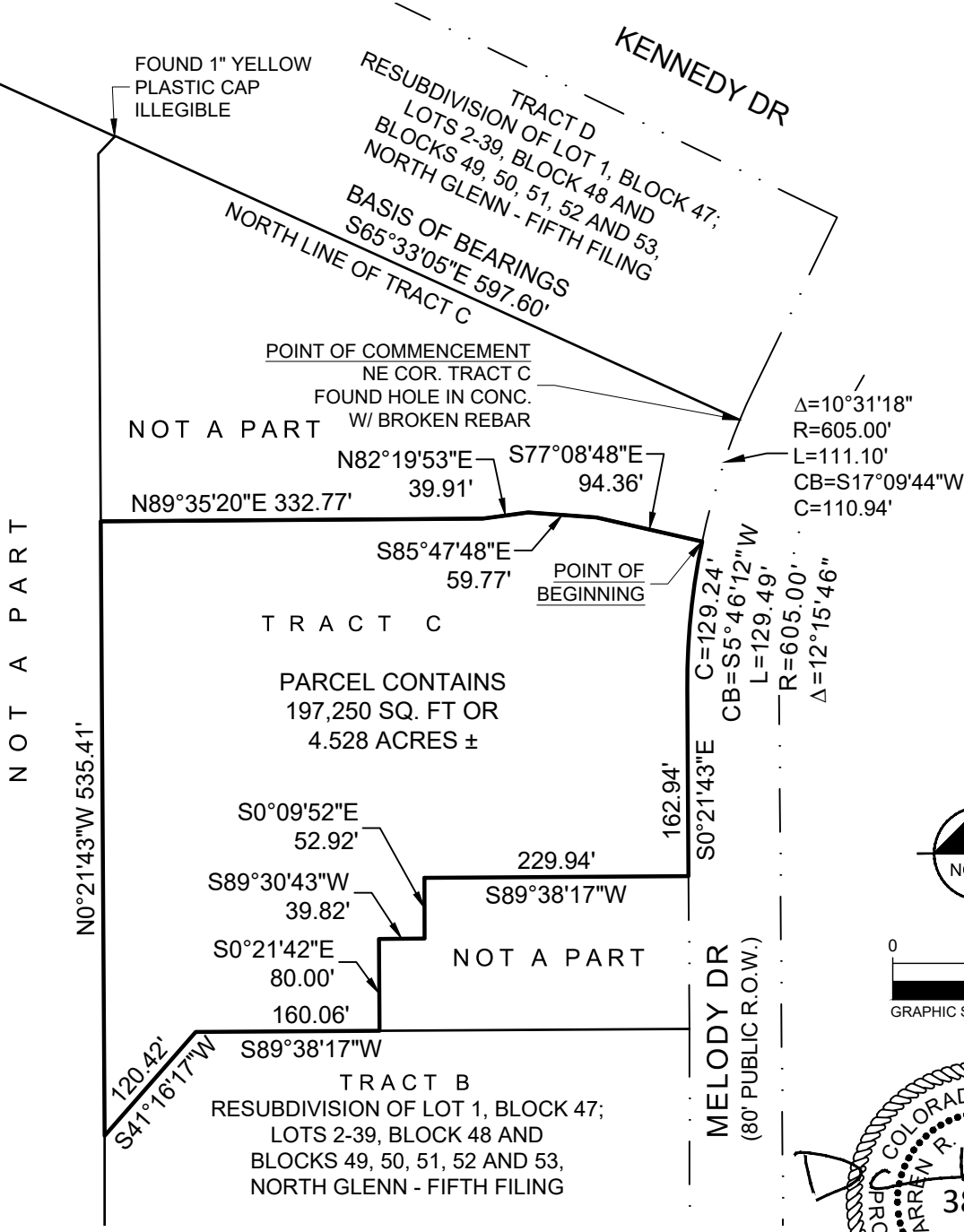


EXHIBIT A

A PORTION OF TRACT C, RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48,
AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING
LYING WITHIN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



NOTES:

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

2. THIS DOCUMENT IS NOT A LAND SURVEY PLAT OR AN IMPROVEMENT SURVEY PLAT AND DOES NOT REPRESENT A MONUMENTED LAND SURVEY. IT IS INTENDED TO DEPICT THE ATTACHED PARCEL DESCRIPTION ONLY.

Kimley»Horn

6200 SOUTH SYRACUSE WAY, #300 GREENWOOD VILLAGE, CO 80111 Tel. No. (303) 228-2300
www.kimley-horn.com

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|-----------|----------|------------|-----------|-------------|-----------|
| 1" = 150' | PTM | DRW | May, 2023 | 196502002 | 2 OF 2 |

HEADWATERS NORTHGLENN ACTIVE ADULT LIVING SUBDIVISION

A RESUBDIVISION OF PART OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING, LOCATED IN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M. CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

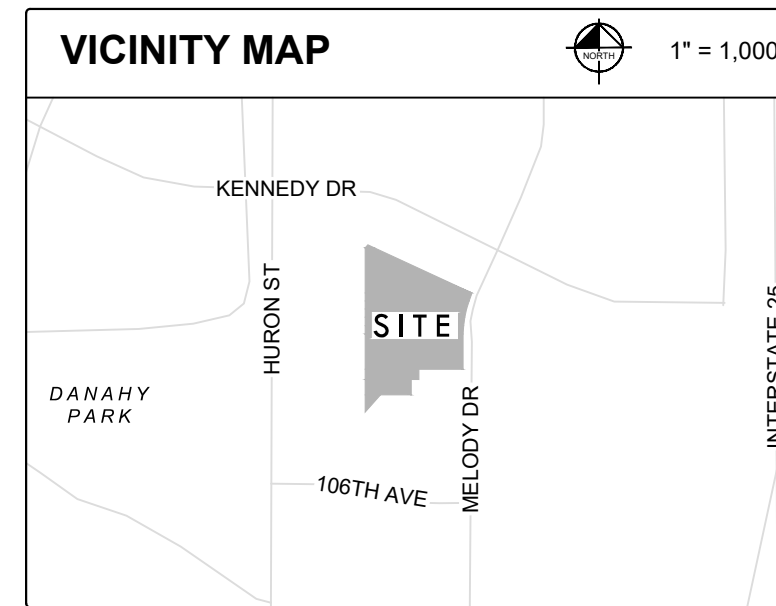
LEGAL DESCRIPTION:

_____, BEING THE OWNER(S) OF THE REAL PROPERTY OF 7.242 ACRES DESCRIBED AS FOLLOWS:

THAT PORTION OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING, PER THE PLAT RECORDED AT RECEPTION NO. 807546 IN THE RECORDS OF ADAMS COUNTY, LYING WITHIN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT C;
 THENCE ALONG THE EAST LINE OF SAID TRACT C THE FOLLOWING TWO (2) COURSES:
 1) ALONG A NON-TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 22°47'04", A RADIUS OF 605.00 FEET, AN ARC LENGTH OF 240.59 FEET; AND A CHORD BEARING AND DISTANCE OF S 11°01'51" W, 239.00 FEET;
 2) S 00°21'43" E, A DISTANCE OF 162.94 FEET;
 THENCE DEPARTING SAID EAST LINE S89°38'17"W, A DISTANCE OF 229.94 FEET;
 THENCE S00°09'52"E, A DISTANCE OF 52.92 FEET;
 THENCE S89°30'43"W, A DISTANCE OF 39.82 FEET;
 THENCE S00°21'42"E, A DISTANCE OF 80.00 FEET TO A POINT ON THE EASTERLY SOUTH LINE OF SAID TRACT C;
 THENCE ALONG SAID EASTERLY SOUTH LINE THE FOLLOWING TWO (2) COURSES:
 1) S89°38'17"W, A DISTANCE OF 160.06 FEET;
 2) S41°16'17"W, A DISTANCE OF 120.42 FEET;
 THENCE DEPARTING SAID EASTERLY SOUTH LINE N00°21'43"W, A DISTANCE OF 855.38 FEET TO A POINT ON THE NORTH LINE OF SAID TRACT C;
 THENCE ALONG THE SAID NORTH LINE THE FOLLOWING TWO (2) COURSES:
 1) N43°02'47"E, A DISTANCE OF 21.50 FEET;
 2) S65°33'05"E, A DISTANCE OF 597.60 FEET TO THE **POINT OF BEGINNING**;

CONTAINING 315,461 SQ. FT OR 7.242 ACRES, MORE OR LESS.



CITY APPROVAL CERTIFICATE:

THIS IS TO HEREBY CERTIFY THAT ON ___ DAY OF _____, 20___, THE CITY OF NORTHGLENN, COLORADO, HAS APPROVED THIS ___ (PRELIMINARY PLAT OR FINAL PLAT)___ FOR THE ___(NAME OF SUBDIVISION)___ IN CONFORMANCE WITH THE ORDINANCES OF THE CITY OF NORTHGLENN.

BY: _____
 DIRECTOR, PLANNING AND DEVELOPMENT

 DIRECTOR, PUBLIC WORKS

 CHAIR, PLANNING COMMISSION

 MAYOR, CITY OF NORTHGLENN

NOTES:

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
3. THIS PROPERTY IS LOCATED WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR COUNTY OF ADAMS, COMMUNITY PANEL NUMBER 08001C0313J, MAP EFFECTIVE DATE DECEMBER 2, 2021. THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN ON THIS SURVEY IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAPS.
4. THE SURVEYED PROPERTY CONTAINS A CALCULATED AREA OF 315,461 SQ. FT. OR 7.242 ACRES, MORE OR LESS.
5. BEARINGS ARE BASED ON THE NORTH LINE OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING, BEARING S 65°33'05" E, A DISTANCE OF 597.52 FEET, AS MONUMENTED AT THE NORTHWEST END BY A FOUND ILLEGIBLE YELLOW PLASTIC CAP, AND AT THE SOUTHEAST END BY A FOUND HOLE IN CONCRETE WITH BROKEN REBAR.
6. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES IN U.S. SURVEY FEET.
7. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
8. TITLE INSURANCE NOTE: THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY KIMLEY-HORN AND ASSOCIATES, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS OF WAY AND TITLE OF RECORDS KIMLEY-HORN AND ASSOCIATES, INC. RELIED UPON TITLE PREPARED BY NCS-1142265-CO AND NCS-1142265A-CO DATED SEPTEMBER 14, 2022 AT 5:00 P.M. AS PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, TO DELINEATE THE AFORESAID INFORMATION.

OWNERSHIP AND DEDICATION CERTIFICATE:

THE UNDERSIGNED CERTIFIES TO AND FOR THE BENEFIT OF THE CITY COUNCIL OF NORTHGLENN CITY, COLORADO, THAT AS OF THE DATE SET FORTH BELOW, WE _____ AND _____, AND _____ BEING THE OWNER(S) OF THE LAND DESCRIBED ABOVE, HAVE GOOD RIGHT AND FULL POWER TO CONVEY, ENCUMBER AND SUBDIVIDE SAME, AND THAT THE PROPERTY IS FREE AND CLEAR OF ALL LIENS, ENCUMBRANCES, EASEMENTS AND RIGHTS-OF-WAY EXCEPT THE EASEMENTS AND RIGHTS-OF-WAY DEPICTED ON THIS PLAT. IN THE EVENT OF A DEFECT IN SAID TITLE WHICH BREACHES THE WARRANTIES IN THIS CERTIFICATE, THE UNDERSIGNED, JOINTLY AND SEVERALLY, AGREE(S) TO REMEDY SUCH DEFECT UPON DEMAND BY NORTHGLENN CITY, WHICH REMEDY SHALL NOT BE DEEMED EXCLUSIVE.

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING THE OWNERS, MORTGAGEES OR LIEN HOLDERS OF THE LAND DESCRIBED ABOVE, HAVE CAUSED THE LAND TO BE LAID OUT AND PLATTED UNDER THE NAME OF HEADWATERS NORTHGLENN ACTIVE ADULT LIVING SUBDIVISION AND DO HEREBY DEDICATE AND GRANT TO THE PUBLIC FOREVER AND IN FEE SIMPLE THE ROADS AND OTHER PUBLIC WAYS AND LANDS SHOWN HEREON, AND DO HEREBY DEDICATE TO NORTHGLENN CITY, AND APPROPRIATE UTILITY COMPANIES AND EMERGENCY ASSISTANCE ENTITIES, THE EASEMENTS AS SHOWN HEREON FOR THE PURPOSES STATED IN COMPLIANCE WITH THE CITY OF NORTHGLENN SUBDIVISION REGULATIONS AND THE LANDOWNERS SHALL BEAR ALL EXPENSE INVOLVED IN PLANNING, DESIGN, AND CONSTRUCTION OF ALL PUBLIC IMPROVEMENTS EXCEPT TO THE EXTENT EXPRESSLY STATED IN ANY CITY-APPROVED AND RECORDED SUBDIVISION IMPROVEMENT AGREEMENT. DEDICATION SHALL BE FINAL UPON ADOPTION BY THE CITY COUNCIL ACCEPTING THE PROPERTY DEDICATED BY THIS PLAT. EXCEPT AS OTHERWISE STATED ON THIS PLAT, THERE SHALL BE NO LIMITATION OR RESTRICTION UPON THE PURPOSE OR PUBLIC USE OF PROPERTY DEDICATED BY THIS PLAT.

IN WITNESS WHEREOF; WE DO HEREUNTO SET OUR HANDS AND SEALS THIS _____ DAY OF _____.

 [PRINTED NAME OF OWNER]
 STATE OF _____)
) SS.
 COUNTY OF _____)

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, _____, BY

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

OWNER/DEVELOPER
 HEADWATER GROUP, LLC
 288 CLAYTON ST, SUITE 307
 DENVER, CO 80206
 CONTACT: JEFF HOFFMAN
 PHONE: 312.617.5736

LANDSCAPE ARCHITECT
 NORRIS DESIGN
 1101 BANNOCK ST
 DENVER, CO 80204
 CONTACT: GREG BANKS, PLA, LEED
 PHONE: 303.892.1166

LAND SURVEYOR
 KIMLEY-HORN AND ASSOCIATES, INC
 4582 SOUTH ULSTER ST, #1500
 DENVER, CO 80237
 CONTACT: DARREN WOLTERSTORFF, PLS
 PHONE: 303.228.2319

ARCHITECT
 SANTULAN ARCHITECTURE
 3457 RINGSBY CT, UNIT 209
 DENVER, CO 80216
 CONTACT: HARSH PARIKH
 PHONE: 303.588.7558

CIVIL ENGINEER
 KIMLEY-HORN AND ASSOCIATES, INC.
 3801 AUTOMATION WAY, SUITE 210
 FORT COLLINS, CO 80525
 CONTACT: EMILY FELTON, P.E.
 PHONE: 303.228.2300

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

DARREN R. WOLTERSTORFF, PLS 38281
 FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC.
 DARREN.WOLTERSTORFF@KIMLEY-HORN.COM

RECORDATION CERTIFICATE:
 STATE OF COLORADO)
) SS.
 COUNTY OF ADAMS)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED OF RECORD AT MY OFFICE AT _____ O'CLOCK ____M.,

THIS _____ DAY OF _____, 20___.

RECEPTION NO. _____, FILE _____, MAP _____.

BY: _____
 CLERK AND RECORDER

| No. | DATE | REVISION DESCRIPTION |
|-----|--------|----------------------|
| 1 | 2/9/23 | REV. |

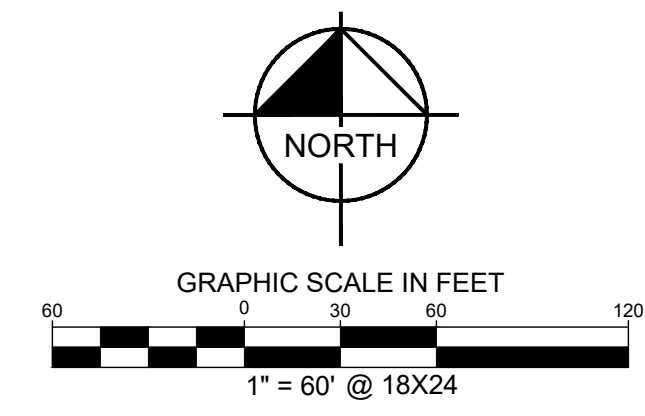
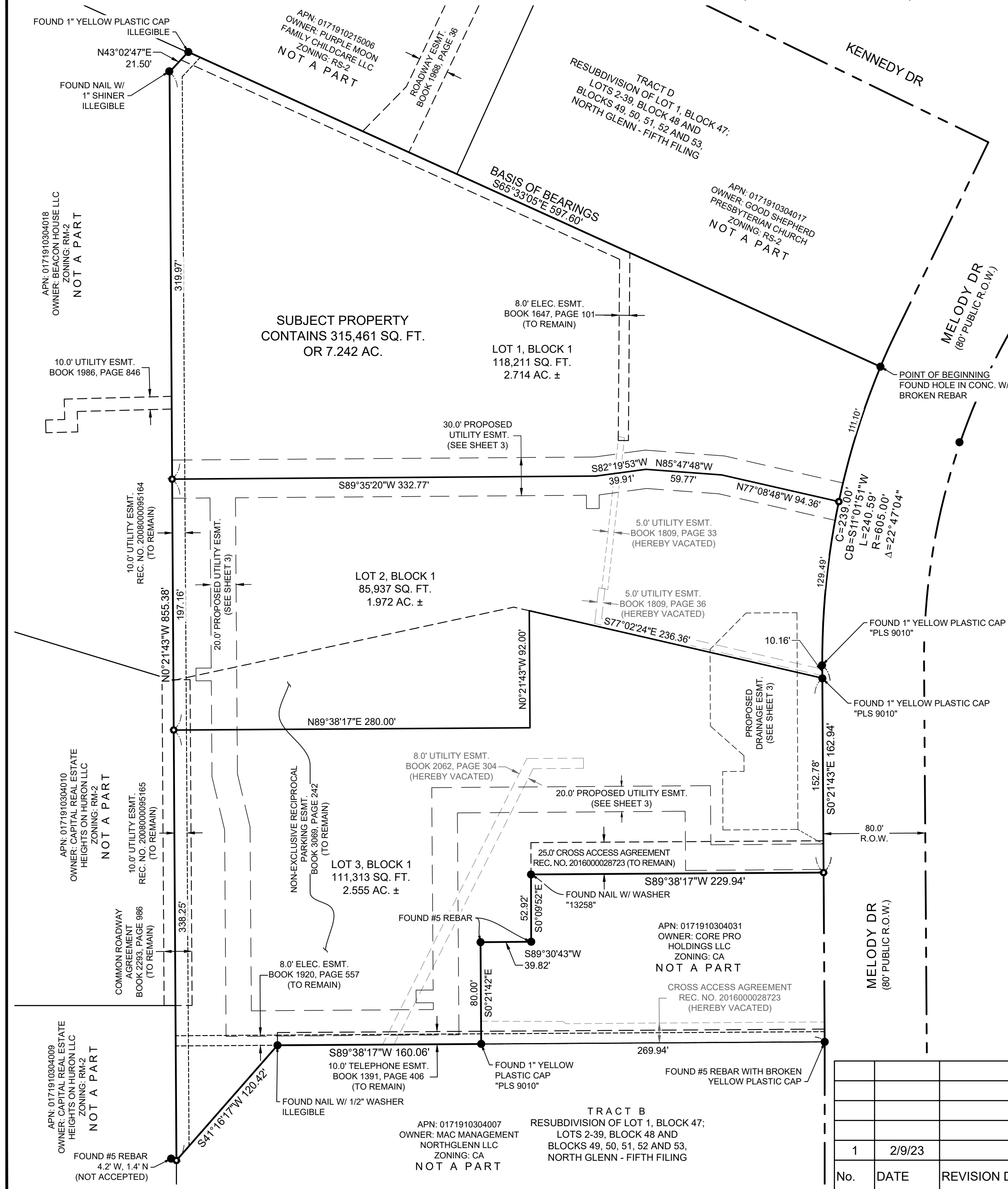
4582 SOUTH ULSTER ST., # 1500
 DENVER, COLORADO 80237

Tel. No. (303) 228-2300
 www.kimley-horn.com

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| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
| N/A | PTM | DRW | Feb. 2023 | 196502002 | 1 OF 5 |

HEADWATERS NORTHGLENN ACTIVE ADULT LIVING SUBDIVISION

A RESUBDIVISION OF PART OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING,
 LOCATED IN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



| LEGEND | |
|--------|--|
| ● | PROPERTY CORNER FOUND AS NOTED |
| ○ | PROPERTY CORNER SET - SET 18" LONG NO. 5 REBAR WITH 1-1/2" ALUM. CAP STAMPED "PLS 38281" |
| APN | ASSESSOR PARCEL NUMBER |

| LINE TYPE LEGEND | |
|------------------|------------------------|
| — | BOUNDARY LINE |
| - - - | LOT LINE |
| ≡≡≡ | EASEMENT LINE AS NOTED |
| - · - · - | RIGHT-OF-WAY LINE |
| — · — · — | ADJOINER LINE |

PRELIMINARY
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| No. | DATE | REVISION DESCRIPTION |
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| 1 | 2/9/23 | REV. |

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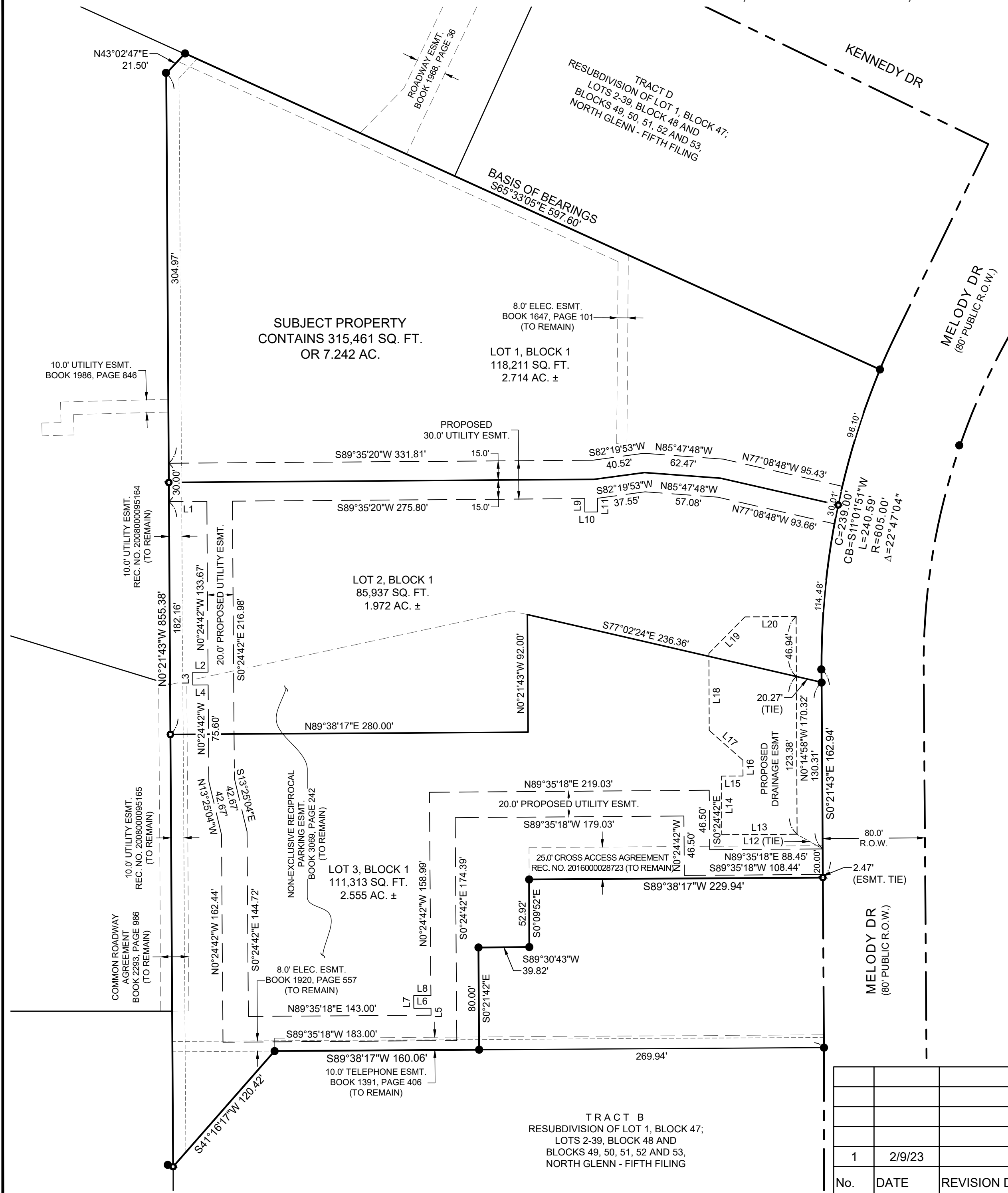
4582 SOUTH ULSTER ST., # 1500
DENVER, COLORADO 80237

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| Scale 1" = 60' | Drawn by PTM | Checked by DRW | Date Feb. 2023 | Project No. 196502002 | Sheet No. 2 OF 5 |
|-------------------|-----------------|-------------------|-------------------|--------------------------|---------------------|

HEADWATERS NORTHGLENN ACTIVE ADULT LIVING SUBDIVISION

A RESUBDIVISION OF PART OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING,
 LOCATED IN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



| NO. | BEARING | LENGTH |
|-----|-------------|--------|
| L1 | S89°35'20"W | 29.68' |
| L2 | N89°35'18"E | 12.00' |
| L3 | N00°24'42"W | 10.00' |
| L4 | S89°35'18"W | 12.00' |
| L5 | N00°24'42"W | 5.40' |
| L6 | S89°35'18"W | 13.46' |
| L7 | N00°24'42"W | 10.00' |
| L8 | N89°35'18"E | 8.46' |
| L9 | N00°24'42"W | 10.49' |
| L10 | S89°35'18"W | 10.00' |

| NO. | BEARING | LENGTH |
|-----|-------------|--------|
| L11 | S00°24'42"E | 10.71' |
| L12 | N60°27'21"W | 23.03' |
| L13 | N89°35'18"E | 58.95' |
| L14 | S00°14'58"E | 45.88' |
| L15 | S89°35'18"W | 16.82' |
| L16 | S00°24'42"E | 12.36' |
| L17 | S48°34'45"E | 35.15' |
| L18 | S00°14'58"E | 60.37' |
| L19 | S44°46'50"W | 40.12' |
| L20 | S89°35'18"W | 40.04' |

| LEGEND | |
|--------|--|
| ● | PROPERTY CORNER FOUND AS NOTED |
| ○ | PROPERTY CORNER SET - SET 18" LONG NO. 5 REBAR WITH 1-1/2" ALUM. CAP STAMPED "PLS 38281" |
| APN | ASSESSOR PARCEL NUMBER |

| LINE TYPE LEGEND | |
|------------------|------------------------|
| —— | BOUNDARY LINE |
| —— | LOT LINE |
| --- | EASEMENT LINE AS NOTED |
| --- | RIGHT-OF-WAY LINE |
| --- | ADJOINER LINE |

PRELIMINARY
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Kimley»Horn

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 Tel. No. (303) 228-2300 www.kimley-horn.com

| No. | DATE | REVISION DESCRIPTION |
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| 1 | 2/9/23 | REV. |

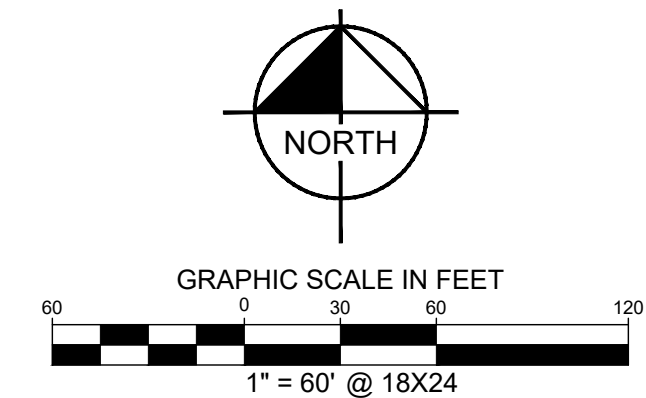
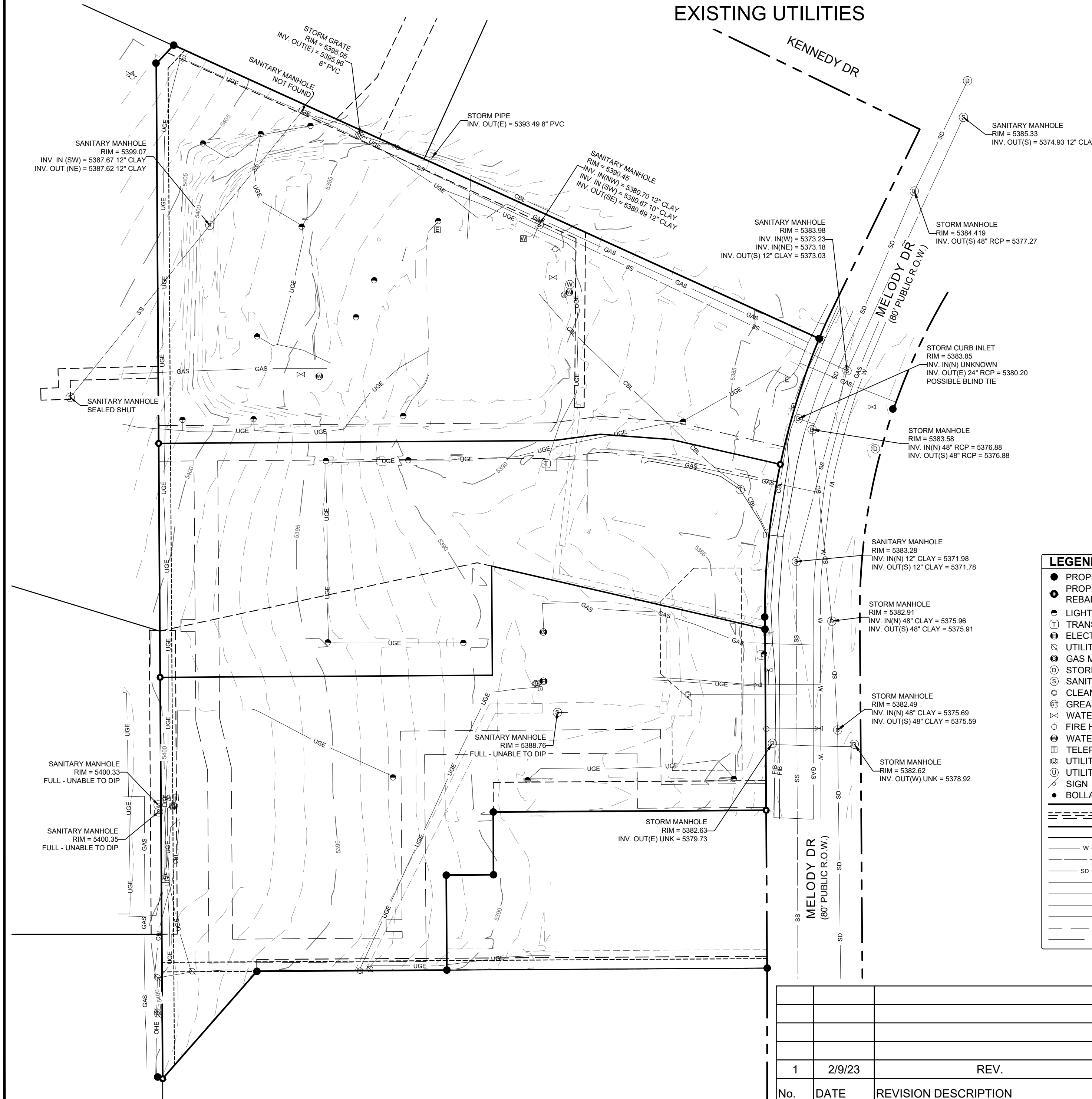
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| 1" = 60' | PTM | DRW | Feb. 2023 | 196502002 | 5 OF 5 |

HEADWATERS NORTHGLENN ACTIVE ADULT LIVING SUBDIVISION

Attachment 1

A RESUBDIVISION OF PART OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING,
 LOCATED IN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

EXISTING UTILITIES



| LEGEND | |
|--------|---|
| ● | PROPERTY CORNER FOUND |
| ● | PROPERTY CORNER SET - SET 18" LONG NO. 5 |
| ● | REBAR WITH 1-1/2" ALUM. CAP STAMPED "PLS 38281" |
| ⊙ | LIGHT POLE |
| ⊕ | TRANSFORMER |
| ⊖ | ELECTRIC METER |
| ⊙ | UTILITY POLE |
| ⊙ | GAS METER |
| ⊙ | STORM MANHOLE |
| ⊙ | SANITARY MANHOLE |
| ⊙ | CLEANOUT |
| ⊙ | GREASE TRAP |
| ⊙ | WATER VALVE |
| ⊙ | FIRE HYDRANT |
| ⊙ | WATER METER |
| ⊙ | TELEPHONE BOX |
| ⊙ | UTILITY VALVE |
| ⊙ | UTILITY MANHOLE |
| ⊙ | SIGN |
| ● | BOLLARD |
| --- | BOUNDARY LINE |
| --- | EASEMENT LINE |
| --- | RIGHT-OF-WAY LINE |
| --- | ADJOINER LINE |
| --- | UNDERGROUND WATER LINE |
| --- | UNDERGROUND SANITARY LINE |
| --- | UNDERGROUND STORM LINE |
| --- | UNDERGROUND GAS LINE |
| --- | UNDERGROUND ELECTRIC LINE |
| --- | UNDERGROUND FIBER LINE |
| --- | UNDERGROUND CABLE TV LINE |
| --- | 1' CONTOUR LINE |
| --- | 5' CONTOUR LINE |

PRELIMINARY
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| No. | DATE | REVISION DESCRIPTION |
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| 1 | 2/9/23 | REV. |

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 DENVER, COLORADO 80237

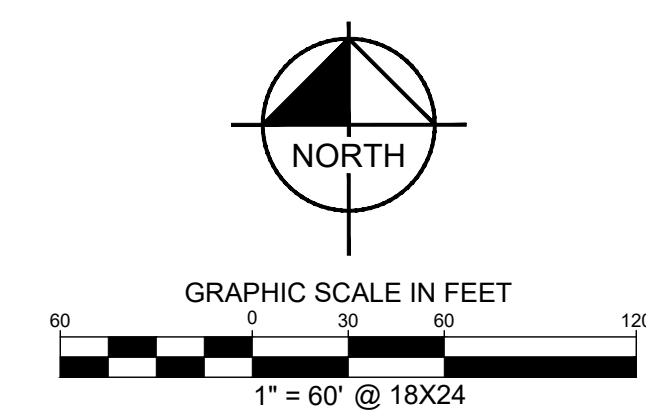
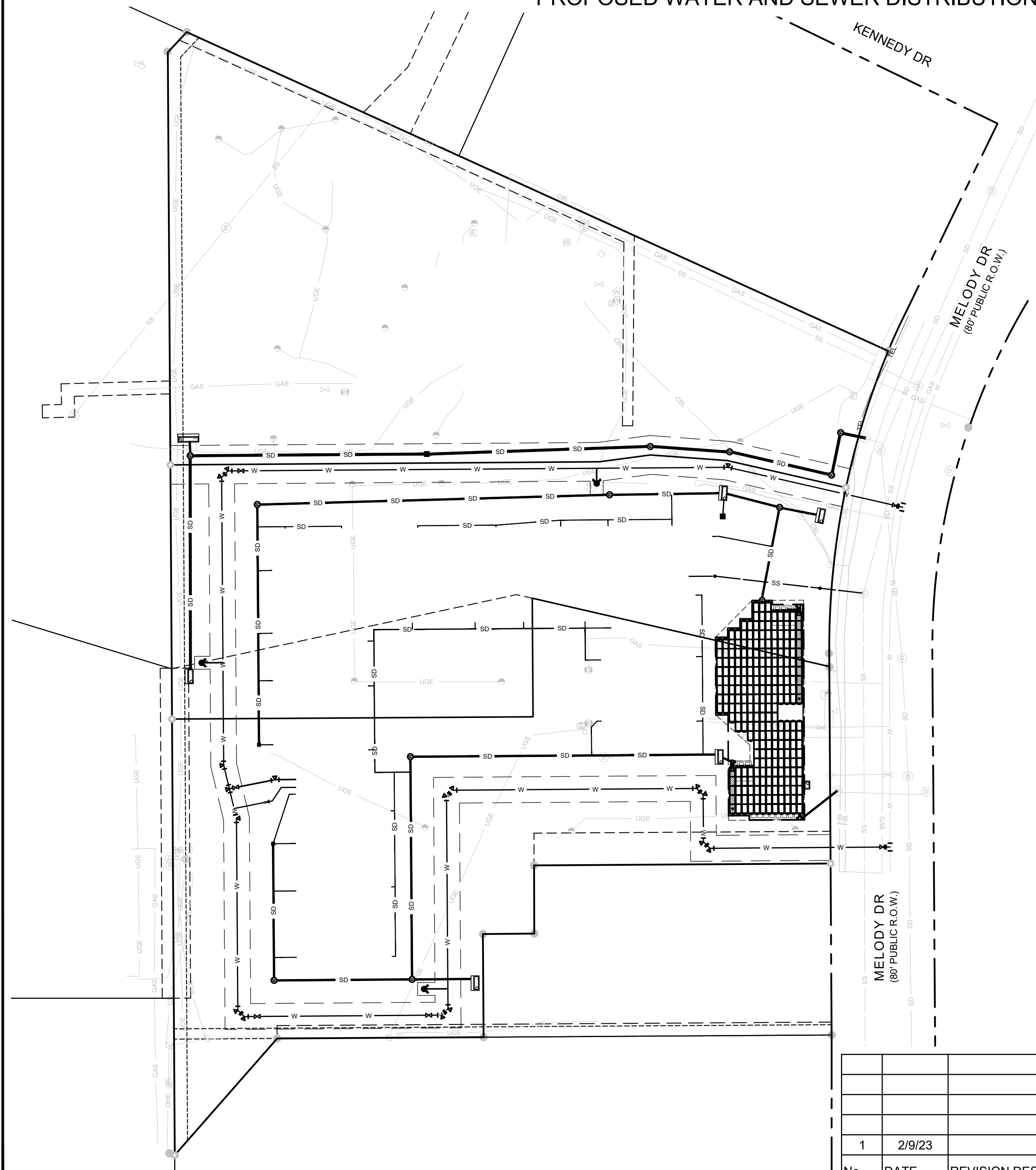
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 www.kimley-horn.com

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| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
| 1" = 60' | PTM | DRW | Feb. 2023 | 196502002 | 4 OF 5 |

HEADWATERS NORTHGLENN ACTIVE ADULT LIVING SUBDIVISION

Attachment 1

A RESUBDIVISION OF PART OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING,
 LOCATED IN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
PROPOSED WATER AND SEWER DISTRIBUTION SYSTEM



| LEGEND | |
|------------------------|--|
| ● | PROPERTY CORNER FOUND |
| ○ | PROPERTY CORNER SET - SET 18" LONG NO. 5 REBAR WITH 1-1/2" ALUM. CAP STAMPED "PLS 38281" |
| ⊕ | EXISTING FEATURES |
| ⊕ | LIGHT POLE |
| ⊕ | TRANSFORMER |
| ⊕ | ELECTRIC METER |
| ⊕ | UTILITY POLE |
| ⊕ | GAS METER |
| ⊕ | STORM MANHOLE |
| ⊕ | SANITARY MANHOLE |
| ⊕ | CLEANOUT |
| ⊕ | GREASE TRAP |
| ⊕ | WATER VALVE |
| ⊕ | FIRE HYDRANT |
| ⊕ | WATER METER |
| ⊕ | TELEPHONE BOX |
| ⊕ | UTILITY VALVE |
| ⊕ | UTILITY MANHOLE |
| ⊕ | SIGN |
| ● | BOLLARD |
| ⊕ | PROPOSED FEATURES |
| ⊕ | FIRE HYDRANT |
| ⊕ | WATER VALVE |
| ⊕ | STORM MANHOLE |
| ⊕ | CURB INLET |
| --- | BOUNDARY LINE |
| --- | EASEMENT LINE |
| --- | RIGHT-OF-WAY LINE |
| --- | ADJOINER LINE |
| EXISTING UTILITY LINES | |
| --- | UNDERGROUND WATER LINE |
| --- | UNDERGROUND SANITARY LINE |
| --- | UNDERGROUND STORM LINE |
| --- | UNDERGROUND GAS LINE |
| --- | UNDERGROUND ELECTRIC LINE |
| --- | UNDERGROUND FIBER LINE |
| --- | UNDERGROUND CABLE TV LINE |
| PROPOSED UTILITY LINES | |
| --- | UNDERGROUND WATER LINE |
| --- | UNDERGROUND SANITARY LINE |
| --- | UNDERGROUND STORM LINE |

PRELIMINARY
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

| No. | DATE | REVISION DESCRIPTION |
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| 1 | 2/9/23 | REV. |

Kimley»Horn

4582 SOUTH ULSTER ST., # 1500
 DENVER, COLORADO 80237

Tel. No. (303) 228-2300
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| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
| 1" = 60' | PTM | DRW | Feb. 2023 | 196502002 | 5 OF 5 |

LEGAL DESCRIPTION PER TITLE COMMITMENT NCS-1142265-CO:

THAT PORTION OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING, ADAMS COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT "C" WHICH POINT IS ALSO THE NORTHEAST CORNER OF TRACT "B" OF SAID SUBDIVISION; THENCE WESTERLY AND PERPENDICULAR TO THE WEST LINE OF MELODY DRIVE AND PERPENDICULAR TO THE EAST LINE OF SAID TRACT "C" A DISTANCE OF 430.00 FEET; THENCE ON AN ANGLE TO THE LEFT OF 48°22'00" A DISTANCE OF 120.42 FEET; THENCE ON AN ANGLE TO THE RIGHT OF 138°22'00" A DISTANCE OF 338.38 FEET; THENCE ON AN ANGLE TO THE RIGHT OF 90°00'00" A DISTANCE OF 280.00 FEET [SEE NOTE BELOW]; THENCE ON AN ANGLE TO THE LEFT OF 90°00'00" A DISTANCE OF 92.00 FEET; THENCE ON AN ANGLE TO THE RIGHT OF 103°19'19" A DISTANCE OF 236.36 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "C"; THENCE ON AN ANGLE TO THE RIGHT OF 76°40'41" AND ON THE EAST LINE OF SAID TRACT "C" A DISTANCE OF 285.91 FEET TO THE POINT OF BEGINNING. LESS AND EXCEPT THAT PORTION DESCRIBED IN PERSONAL REPRESENTATIVE'S DEED RECORDED APRIL 15, 2016 AT RECEPTION NO. 2016000028274 [REC. NO. 2016000028724 - SEE NOTE BELOW] AND SPECIAL WARRANTY DEED RECORDED APRIL 15, 2016 AT RECEPTION NO. 2016000028725 IN THE RECORDS OF THE OFFICE OF THE CLERK AND RECORDER, COUNTY OF ADAMS, STATE OF COLORADO.

[SURVEYOR'S NOTE: THE LEGAL DESCRIPTION IN TITLE COMMITMENT NCS-1142265-CO DOES NOT DESCRIBE A MATHEMATICALLY CLOSED PARCEL. THE DESCRIPTION APPEARS TO BE MISSING THE CALL ADDED ABOVE IN ITALICS WHICH IS FROM EXHIBIT C OF THE DOCUMENT RECORDED IN BOOK 3069, PAGE 242. ADDITIONALLY THERE APPEARS TO BE A SCRIVENER'S ERROR IN THE RECEPTION NUMBER OF THE EXCEPTION PARCEL]

NOTES:

- 1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
3. THE OBSERVED ADDRESS FOR THE SURVEYED PROPERTY IS 10691 AND 10695 MELODY DRIVE, NORTHGLENN, CO 80234.
4. THIS PROPERTY IS LOCATED WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR COUNTY OF ADAMS, COMMUNITY PANEL NUMBER 08001C0313J, MAP EFFECTIVE DATE DECEMBER 2, 2021. THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN ON THIS SURVEY IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAPS.
5. THE SURVEYED PROPERTY CONTAINS A CALCULATED AREA OF 111,313 SQ. FT. OR 2.555 ACRES, MORE OR LESS.
6. BASIS OF ELEVATIONS: ELEVATIONS ARE BASED UPON ADAMS COUNTY BENCHMARK "95.0211" A 3-1/4" ALUMINUM DISK AT THE SOUTHEAST CORNER OF THE INTERSECTION OF COLORADO BLVD. AND RIVERDALE RD. (ELEVATION = 5096.57 NAVD88)
7. NO ZONING REPORT WAS PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY.
8. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON VISIBLE SURFACE EVIDENCE AND SURFACE MARKINGS PLACED BY A UTILITY COMPANY OR UTILITY LOCATING SERVICE. FOR UNDERGROUND ALIGNMENTS, KIMLEY-HORN RELIED UPON THE EXPERTISE OF THE LOCATING TECHNICIAN TO PROPERLY AND ACCURATELY PLACE SURFACE MARKINGS FOR ALL BURIED UTILITIES. CONSEQUENTLY, KIMLEY-HORN CAN MAKE NO WARRANTY, EXPRESSED OR IMPLIED, THAT ALL BURIED UTILITIES ARE SHOWN OR THAT THOSE BURIED UTILITIES SHOWN WERE ACCURATELY MARKED. PRIOR TO ANY CONSTRUCTION YOU MUST CALL THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987. CALL AT LEAST 2 BUSINESS DAYS IN ADVANCE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES BEFORE YOU DIG, GRADE OR EXCAVATE. THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT OR PAVING. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY UTILITY AND/OR DRAINAGE SERVICE. VERIFY INFO PRIOR TO ANY NEW DESIGN, DEVELOPMENT OR CONSTRUCTION.
9. NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WAS OBSERVED AT THE TIME OF SURVEY.
10. THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES THAT THE SURVEYOR OF RECORD IS AWARE OF.
11. BEARINGS ARE BASED ON THE EASTERLY SOUTH LINE OF TRACT C, RESUBDIVISION OF LOT 1, BLOCK 47; LOTS 2-39, BLOCK 48 AND BLOCKS 49, 50, 51, 52, AND 53, NORTH GLENN-FIFTH FILING, BEARING S 89°38'17" W, A DISTANCE OF 430.00 FEET, AS MONUMENTED AT THE EAST END BY A FOUND #5 REBAR WITH BROKEN YELLOW CAP, AND AT THE WEST END BY A FOUND NAIL WITH ILLEGIBLE 1/2" WASHER.
12. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES IN U.S. SURVEY FEET.
13. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT TRACT: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AGREEMENTS, LEASE AGREEMENTS AND OWNERSHIP TITLE EVIDENCE.
14. ANY DECLARATION MADE HEREON OR HEREIN IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
15. THIS SURVEY DOES NOT PROVIDE A DETERMINATION OR OPINION CONCERNING THE LOCATION OF EXISTING WETLANDS, FAULT LINES, TOXIC OR HAZARDOUS WASTE AREAS, SUBSIDENCE, SUBSURFACE AND ENVIRONMENTAL CONDITIONS OR GEOLOGICAL ISSUES. NO STATEMENT IS MADE CONCERNING THE SUITABILITY OF THE SUBJECT TRACT FOR ANY INTENDED USE, PURPOSE OR DEVELOPMENT.
16. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
17. POTENTIAL AREAS OF CONCERN:
(1) UNDERGROUND ELECTRIC LINE APPEARS TO LIE OUTSIDE OF EASEMENT.
(2) UNDERGROUND ELECTRIC LINE, OVERHEAD UTILITY LINE APPEAR TO BE OUTSIDE OF EASEMENT.

NOTES ADDRESSING SCHEDULE B EXCEPTIONS:

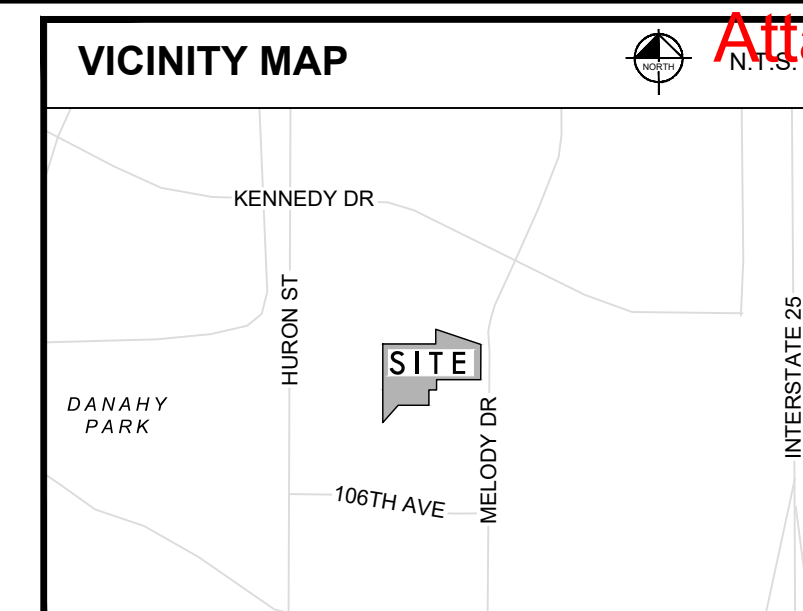
THIS ALTA/NSPS LAND TITLE SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY KIMLEY-HORN AND ASSOCIATES, INC. TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, KIMLEY-HORN AND ASSOCIATES, INC. RELIED UPON TITLE COMMITMENT FILE NO. NCS-1142265-CO, EFFECTIVE DATE SEPTEMBER 14, 2022 AT 5:00 P.M. PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

EXCEPT AS OTHERWISE EXPRESSLY NOTED IN NOTES BELOW, KIMLEY-HORN AND ASSOCIATES, INC. DID NOT EXAMINE OR ADDRESS THE EFFECTS, FEES OR ASSESSMENTS DUE, TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, RESERVATIONS AND/OR RESTRICTIONS CONTAINED IN THE DOCUMENTS REFERRED TO IN ANY ITEMS SHOWN IN THE TITLE COMMITMENT, EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND STATED PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.

- INDICATES THE EXCEPTION NUMBER WITHIN SCHEDULE B OF THE ABOVE TITLE REPORT.

EXCEPTION NOS. 1-8 ARE STANDARD EXCEPTIONS. (CONTAIN NO PLOTTABLE INFORMATION)

- 9. ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE NORTH GLENN METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED NOVEMBER 15, 1960 IN BOOK 878 AT PAGE 240. (AFFECTS - BLANKET IN NATURE)
10. EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF RESUBDIVISION OF LOT 1, BLOCK 47; LOTS 2-39 BLOCK 48 AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN-FIFTH FILING, RECORDED APRIL 1, 1967 RECEPTION NO. 807546. (AFFECTS - BLANKET IN NATURE)
11. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO EASEMENT RECORDED NOVEMBER 27, 1970 IN BOOK 1647 AT PAGE 101. (DOES NOT AFFECT SURVEYED PROPERTY)
12. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO UTILITY EASEMENT RECORDED JULY 25, 1972 IN BOOK 1809 AT PAGE 33. (DOES NOT AFFECT SURVEYED PROPERTY)
13. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO UTILITY EASEMENT RECORDED JULY 25, 1972 IN BOOK 1809 AT PAGE 36. (DOES NOT AFFECT SURVEYED PROPERTY - LIES OUTSIDE OF PROPERTY AS SHOWN HEREON)
14. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO EASEMENT RECORDED DECEMBER 19, 1972 IN BOOK 1835 AT PAGE 859. (AFFECTS SURVEYED PROPERTY - DOCUMENT DOES NOT DESCRIBE A PLOTTABLE EASEMENT)
15. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE UTILITY EASEMENT RECORDED MARCH 27, 1974 IN BOOK 1920 AT PAGE 557. (AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)
16. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE GRANT OF EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF A ROAD RECORDED DECEMBER 12, 1974 IN BOOK 1968 AT PAGE 36. (DOES NOT AFFECT SURVEYED PROPERTY)
17. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE UTILITY EASEMENT RECORDED APRIL 9, 1975 IN BOOK 1986 AT PAGE 846. (DOES NOT AFFECT SURVEYED PROPERTY)
18. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE UTILITY EASEMENT RECORDED MAY 7, 1976 IN BOOK 2062 AT PAGE 304. (AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)
19. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE EASEMENT RECORDED DECEMBER 13, 1976 IN BOOK 2109 AT PAGE 466. (AFFECTS SURVEYED PROPERTY - DOCUMENT DOES NOT DESCRIBE A PLOTTABLE EASEMENT)
20. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE EASEMENT AGREEMENT RECORDED NOVEMBER 17, 1978 IN BOOK 2293 AT PAGE 986. (AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)
21. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE AGREEMENT RECORDED NOVEMBER 4, 1985 IN BOOK 3069 AT PAGE 242. (AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)
22. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE LEASE EVIDENCED BY MEMORANDUM OF PCS SITE AGREEMENT RECORDED AUGUST 8, 1996 IN BOOK 4812 AT PAGE 903 AND RE-RECORDED SEPTEMBER 25, 1996 IN BOOK 4845 AT PAGE 164 AND FIRST AMENDMENT TO PCS SITE AGREEMENT RECORDED FEBRUARY 11, 2010 AT RECEPTION NO. 201000009414. (AFFECTS SURVEYED PROPERTY - DOCUMENT DOES NOT DESCRIBE A PLOTTABLE EASEMENT)
23. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE LEASE EVIDENCED BY MEMORANDUM OF LEASE RECORDED MAY 12, 2004 AT RECEPTION NO. 20040512000348410. (AFFECTS SURVEYED PROPERTY - DOCUMENT DOES NOT DESCRIBE A PLOTTABLE EASEMENT)
24. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO EASEMENT RECORDED DECEMBER 8, 2008 AT RECEPTION NO. 2008000095164. (DOES NOT AFFECT SURVEYED PROPERTY)
25. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS, RESERVATIONS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO EASEMENT RECORDED DECEMBER 8, 2008 AT RECEPTION NO. 2008000095165. (AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)
26. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE CROSS ACCESS AGREEMENT RECORDED APRIL 15, 2016 AT RECEPTION NO. 2016000028723. (AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)
27. ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT, 1930 (7 U.S.C. §§499A, ET SEQ.) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. §§181 ET SEQ.) OR UNDER SIMILAR STATE LAWS. (NOT A SURVEY MATTER)



PREPARED FOR: HEADWATERS GROUP, LLC 288 CLAYTON ST., SUITE 307 DENVER, CO 80206

SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC. 4582 SOUTH ULSTER STREET, SUITE 1500 DENVER, COLORADO 80237 PHONE: 303-228-2300 CONTACT: DARREN R. WOLTERSTORFF, PLS

SURVEYORS CERTIFICATION:

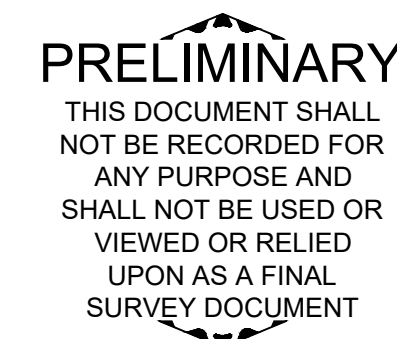
TO: HEADWATER GROUP, LLC, A COLORADO LIMITED LIABILITY COMPANY; FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 8, 11(b), 13, 16, 17, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 23, 2022.

DATE OF PLAT OR MAP: _____, 2022

PURSUANT TO COLORADO STATE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE UNDERSIGNED FURTHER CERTIFIES THAT THIS MAP OR PLAT WAS PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, IS ACCURATE TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED

DARREN R. WOLTERSTORFF, PLS 38281 FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC. DARREN.WOLTERSTORFF@KIMLEY-HORN.COM



ALTA/NSPS LAND TITLE SURVEY A PORTION OF TRACT C, RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING LOCATED IN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M. CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



4582 SOUTH ULSTER ST., # 1500 DENVER, COLORADO 80237 Tel. No. (303) 228-2300 www.kimley-horn.com

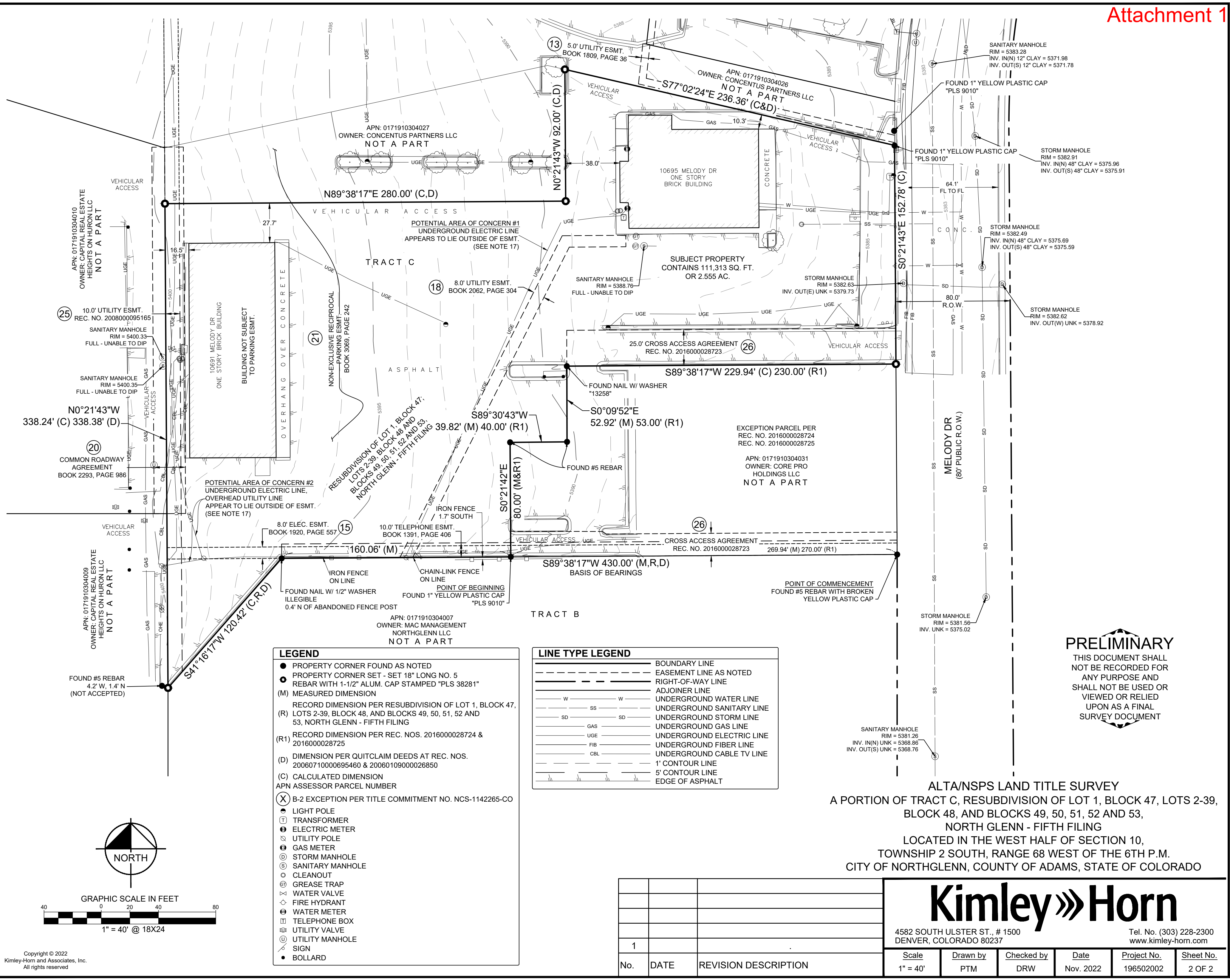
Table with 5 columns: Scale, Drawn by, Checked by, Date, Project No., Sheet No. Values: N/A, PTM, DRW, Nov. 2022, 196502002, 1 OF 2

Table with 3 columns: No., DATE, REVISION DESCRIPTION. Row 1: 1, , .

DEPOSITING CERTIFICATE:

DEPOSITED THIS ___ DAY OF ___ 20 ___ A.D. AT ___ O'CLOCK __M., IN BOOK ___ OF LAND SURVEY PLATS AT PAGE ___, DEPOSIT NO. ___, RECORDS OF ___ COUNTY, COLORADO.

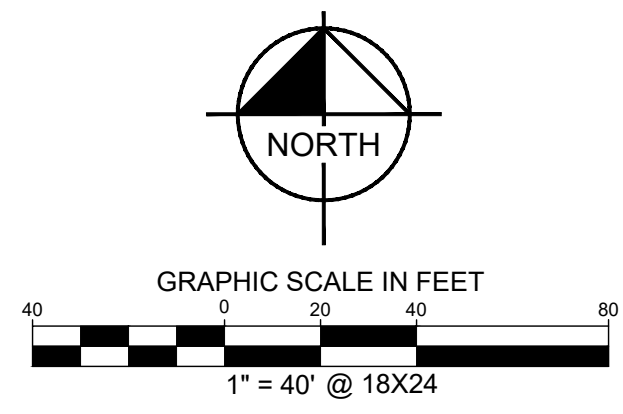
SIGNED: _____ TITLE: _____ BY: _____



- LEGEND**
- PROPERTY CORNER FOUND AS NOTED
 - PROPERTY CORNER SET - SET 18" LONG NO. 5 REBAR WITH 1-1/2" ALUM. CAP STAMPED "PLS 38281"
 - (M) MEASURED DIMENSION
 - RECORD DIMENSION PER RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING
 - (R1) RECORD DIMENSION PER REC. NOS. 2016000028724 & 2016000028725
 - (D) DIMENSION PER QUITCLAIM DEEDS AT REC. NOS. 20060710000695460 & 20060109000026850
 - (C) CALCULATED DIMENSION
 - APN ASSESSOR PARCEL NUMBER
 - (X) B-2 EXCEPTION PER TITLE COMMITMENT NO. NCS-1142265-CO
 - LIGHT POLE
 - (T) TRANSFORMER
 - ⊕ ELECTRIC METER
 - ⊕ UTILITY POLE
 - ⊕ GAS METER
 - ⊕ STORM MANHOLE
 - ⊕ SANITARY MANHOLE
 - ⊕ CLEANOUT
 - ⊕ GREASE TRAP
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ WATER METER
 - ⊕ TELEPHONE BOX
 - ⊕ UTILITY VALVE
 - ⊕ UTILITY MANHOLE
 - ⊕ SIGN
 - BOLLARD

LINE TYPE LEGEND

| | |
|-----|---------------------------|
| —— | BOUNDARY LINE |
| --- | EASEMENT LINE AS NOTED |
| --- | RIGHT-OF-WAY LINE |
| --- | ADJOINER LINE |
| W | UNDERGROUND WATER LINE |
| SS | UNDERGROUND SANITARY LINE |
| SD | UNDERGROUND STORM LINE |
| GAS | UNDERGROUND GAS LINE |
| UGE | UNDERGROUND ELECTRIC LINE |
| FIB | UNDERGROUND FIBER LINE |
| CBL | UNDERGROUND CABLE TV LINE |
| --- | 1' CONTOUR LINE |
| --- | 5' CONTOUR LINE |
| --- | EDGE OF ASPHALT |



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PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

ALTA/NSPS LAND TITLE SURVEY
A PORTION OF TRACT C, RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING
LOCATED IN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

Kimley»Horn

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| No. | DATE | REVISION DESCRIPTION |
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| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
| 1" = 40' | PTM | DRW | Nov. 2022 | 196502002 | 2 OF 2 |

LEGAL DESCRIPTION PER TITLE COMMITMENT NO. NCS-1142265A-CO:

A PORTION OF PARCEL I-A:

THAT PORTION OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT "C"; THENCE SOUTHERLY, ON THE EAST LINE OF SAID TRACT "C" AND ON A CURVE TO THE LEFT, WITH A RADIUS OF 605.00 FEET, A CENTRAL ANGLE OF 09°28'13", AN ARC DISTANCE OF 100.00 FEET; THENCE NORTH-WESTERLY ON A RADIAL LINE FROM SAID CURVE A DISTANCE OF 180.00 FEET; THENCE ON AN ANGLE TO THE LEFT OF 96°39'26", A DISTANCE OF 120.00 FEET; THENCE ON AN ANGLE TO THE LEFT OF 83°20'07", A DISTANCE OF 177.95 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "C"; THENCE SOUTHERLY ON THE EAST LINE OF SAID TRACT "C" AND ON A CURVE TO THE LEFT WITH A RADIUS OF 605.00 FEET, A CENTRAL ANGLE OF 01°57'00", AN ARC DISTANCE OF 20.59 FEET TO A POINT OF TANGENT; THENCE SOUTHERLY ON SAID TANGENT A DISTANCE OF 10.16 FEET; THENCE ON AN ANGLE TO THE RIGHT OF 103°19'19", A DISTANCE OF 236.36 FEET; THENCE ON AN ANGLE TO THE LEFT OF 103°19'19", A DISTANCE OF 92.00 FEET; THENCE ON AN ANGLE TO THE RIGHT OF 90°00'00", A DISTANCE OF 280.00 FEET; THENCE ON AN ANGLE TO THE RIGHT OF 90°00'00", A DISTANCE OF 517.14 FEET; THENCE ON AN ANGLE TO THE RIGHT OF 43°24'30", A DISTANCE OF 21.49 FEET; THENCE ON AN ANGLE TO THE RIGHT OF 71°24'08", A DISTANCE OF 597.60 FEET TO THE **POINT OF BEGINNING**, COUNTY OF ADAMS, STATE OF COLORADO.

PARCEL I-B:

THE BENEFICIAL EASEMENT FOR A ROADWAY CREATED BY GRANT OF EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF ROAD, RECORDED DECEMBER 12, 1974, IN BOOK 1968, AT PAGE 36, COUNTY OF ADAMS, STATE OF COLORADO.

PARCEL I-C:

THE BENEFICIAL EASEMENT FOR PARKING CREATED BY AGREEMENT RECORDED NOVEMBER 4, 1985, IN BOOK 3069 AT PAGE 242, COUNTY OF ADAMS, STATE OF COLORADO.

PARCEL II:

THAT PORTION OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF TRACT "C", ON THE WESTERLY LINE OF MELODY DRIVE (ALSO BEING THE NORTHEAST CORNER OF TRACT "B"); THENCE NORTHERLY, ON THE EASTERLY LINE OF TRACT "C", A DISTANCE OF 296.07 FEET TO A THE POINT OF CURVE; THENCE CONTINUING NORTHERLY ALONG THE EASTERLY LINE OF TRACT "C", ON A CURVE TO THE RIGHT WITH A RADIUS OF 605.00 FEET, A CENTRAL ANGLE OF 13°18'52", AN ARC DISTANCE OF 20.59 FEET TO THE **TRUE POINT OF BEGINNING**; THENCE CONTINUING NORTHERLY ON THE EASTERLY LINE OF TRACT "A" ON SAID CURVE AN ARC DISTANCE OF 120 FEET; THENCE WESTERLY ON A RADIAL LINE FROM SAID CURVE A DISTANCE OF 180.00 FEET; THENCE SOUTHERLY ON AN ANGLE TO THE LEFT OF 96°39'26", A DISTANCE OF 120 FEET; THENCE EASTERLY ON ANGLE TO THE LEFT OF 83°20'34", A DISTANCE OF 180.00 FEET TO THE **TRUE POINT OF BEGINNING**, COUNTY OF ADAMS, STATE OF COLORADO.

NOTES:

- ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- THE OBSERVED ADDRESS FOR THE SURVEYED PROPERTY IS 10699 AND 10701 MELODY DRIVE, NORTHGLENN, CO 80234.
- THIS PROPERTY IS LOCATED WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR COUNTY OF ADAMS, COMMUNITY PANEL NUMBER 08001C0313J, MAP EFFECTIVE DATE DECEMBER 2, 2021. THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN ON THIS SURVEY IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAPS.
- THE SURVEYED PROPERTY CONTAINS A CALCULATED AREA OF 204,149 SQ. FT. OR 4.687 ACRES, MORE OR LESS.
- BASIS OF ELEVATIONS: ELEVATIONS ARE BASED UPON ADAMS COUNTY BENCHMARK "95.0211" A 3-1/4" ALUMINUM DISK AT THE SOUTHEAST CORNER OF THE INTERSECTION OF COLORADO BLVD. AND RIVERDALE RD. (ELEVATION = 5096.57 NAVD 88)
- NO ZONING REPORT WAS PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON VISIBLE SURFACE EVIDENCE AND SURFACE MARKINGS PLACED BY A UTILITY COMPANY OR UTILITY LOCATING SERVICE. FOR UNDERGROUND ALIGNMENTS, KIMLEY-HORN RELIED UPON THE EXPERTISE OF THE LOCATING TECHNICIAN TO PROPERLY AND ACCURATELY PLACE SURFACE MARKINGS FOR ALL BURIED UTILITIES. CONSEQUENTLY, KIMLEY-HORN CAN MAKE NO WARRANTY, EXPRESSED OR IMPLIED, THAT ALL BURIED UTILITIES ARE SHOWN OR THAT THOSE BURIED UTILITIES SHOWN WERE ACCURATELY MARKED. PRIOR TO ANY CONSTRUCTION YOU MUST CALL THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987. CALL AT LEAST 2 BUSINESS DAYS IN ADVANCE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES BEFORE YOU DIG, GRADE OR EXCAVATE. THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT OR PAVING. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY UTILITY AND/OR DRAINAGE SERVICE. VERIFY INFO PRIOR TO ANY NEW DESIGN, DEVELOPMENT OR CONSTRUCTION.
- NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WAS OBSERVED AT THE TIME OF SURVEY.
- THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES THAT THE SURVEYOR OF RECORD IS AWARE OF.
- BEARINGS ARE BASED ON THE NORTH LINE OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING, BEARING S 65°33'05" E, A DISTANCE OF 597.52 FEET, AS MONUMENTED AT THE NORTHWEST END BY A FOUND ILLEGIBLE YELLOW PLASTIC CAP, AND AT THE SOUTHEAST END BY A FOUND HOLE IN CONCRETE WITH BROKEN REBAR.
- ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES IN U.S. SURVEY FEET.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT TRACT: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AGREEMENTS, LEASE AGREEMENTS AND OWNERSHIP TITLE EVIDENCE.
- ANY DECLARATION MADE HEREON OR HEREIN IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- THIS SURVEY DOES NOT PROVIDE A DETERMINATION OR OPINION CONCERNING THE LOCATION OF EXISTING WETLANDS, FAULT LINES, TOXIC OR HAZARDOUS WASTE AREAS, SUBSIDENCE, SUBSURFACE AND ENVIRONMENTAL CONDITIONS OR GEOLOGICAL ISSUES. NO STATEMENT IS MADE CONCERNING THE SUITABILITY OF THE SUBJECT TRACT FOR ANY INTENDED USE, PURPOSE OR DEVELOPMENT.
- THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- POTENTIAL AREAS OF CONCERN:**
 - PARKING AREA APPEARS TO BE USED BY ADJOINER PROPERTY WITHOUT AN APPARENT EASEMENT.
 - SANITARY LINE CROSSES SUBJECT PROPERTY WITHOUT AN APPARENT EASEMENT.
 - STORM PIPE DRAINS OUTSIDE OF SUBJECT PROPERTY.

NOTES ADDRESSING SCHEDULE B EXCEPTIONS:

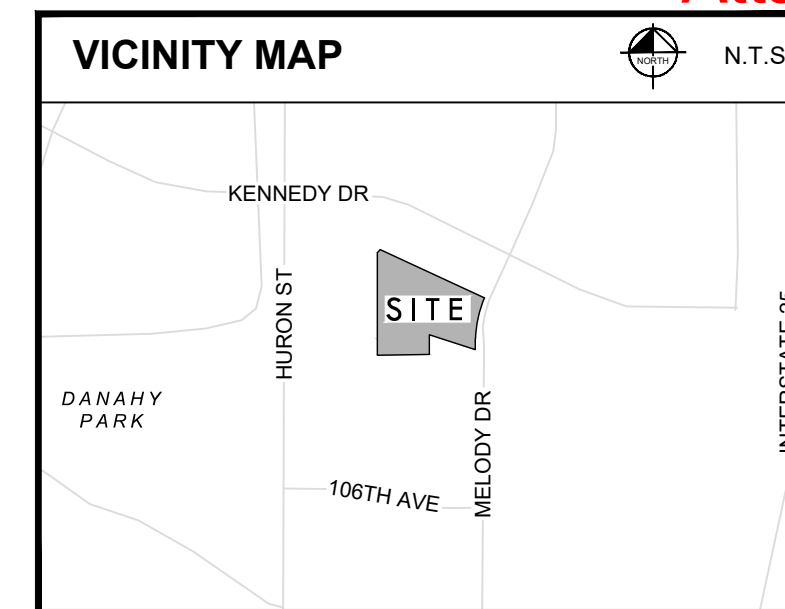
THIS ALTA/NSPS LAND TITLE SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY KIMLEY-HORN AND ASSOCIATES, INC. TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, KIMLEY-HORN AND ASSOCIATES, INC. RELIED UPON TITLE COMMITMENT FILE NO. NCS-1142265-CO, EFFECTIVE DATE SEPTEMBER 14, 2022 AT 5:00 P.M. AND TITLE COMMITMENT FILE NO. NCS-1142265A-CO, EFFECTIVE DATE SEPTEMBER 14, 2022 AT 5:00 P.M., BOTH PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

EXCEPT AS OTHERWISE EXPRESSLY NOTED IN NOTES BELOW, KIMLEY-HORN AND ASSOCIATES, INC. DID NOT EXAMINE OR ADDRESS THE EFFECTS, FEES OR ASSESSMENTS DUE, TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, RESERVATIONS AND/OR RESTRICTIONS CONTAINED IN THE DOCUMENTS REFERRED TO IN ANY ITEMS SHOWN IN THE TITLE COMMITMENT. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND STATED PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.

- INDICATES THE EXCEPTION NUMBER WITHIN SCHEDULE B OF THE ABOVE TITLE REPORT.

EXCEPTION NOS. 1-8 ARE STANDARD EXCEPTIONS. (CONTAIN NO PLOTTABLE INFORMATION)

- ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE NORTH GLENN METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED NOVEMBER 15, 1960 IN BOOK 878 AT PAGE 240. **(AFFECTS - BLANKET IN NATURE)**
- EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39 BLOCK 48 AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN-FIFTH FILING, RECORDED APRIL 1, 1967 RECEPTION NO. 807546. **(AFFECTS - BLANKET IN NATURE)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO EASEMENT RECORDED NOVEMBER 27, 1970 IN BOOK 1647 AT PAGE 101. **(AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO UTILITY EASEMENT RECORDED JULY 25, 1972 IN BOOK 1809 AT PAGE 33. **(AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO UTILITY EASEMENT RECORDED JULY 25, 1972 IN BOOK 1809 AT PAGE 36. **(AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO EASEMENT RECORDED DECEMBER 19, 1972 IN BOOK 1835 AT PAGE 859. **(AFFECTS SURVEYED PROPERTY - DOCUMENT DOES NOT DESCRIBE A PLOTTABLE EASEMENT)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE UTILITY EASEMENT RECORDED MARCH 27, 1974 IN BOOK 1920 AT PAGE 557. **(LIES OUTSIDE OF SUBJECT PROPERTY)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE GRANT OF EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF A ROAD RECORDED DECEMBER 12, 1974 IN BOOK 1968 AT PAGE 36. **(THIS DOCUMENT IS PARCEL I-B IN THE LEGAL DESCRIPTION, EASEMENT LIES OUTSIDE OF SUBJECT PROPERTY AS SHOWN HEREON)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE UTILITY EASEMENT RECORDED APRIL 9, 1975 IN BOOK 1986 AT PAGE 846. **(LIES OUTSIDE OF SUBJECT PROPERTY AS SHOWN HEREON)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE UTILITY EASEMENT RECORDED MAY 7, 1976 IN BOOK 2062 AT PAGE 304. **(LIES OUTSIDE OF SUBJECT PROPERTY AS SHOWN HEREON)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE EASEMENT RECORDED DECEMBER 13, 1976 IN BOOK 2109 AT PAGE 466. **(AFFECTS SURVEYED PROPERTY - DOCUMENT DOES NOT DESCRIBE A PLOTTABLE EASEMENT)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE EASEMENT AGREEMENT RECORDED NOVEMBER 17, 1978 IN BOOK 2293 AT PAGE 986. **(AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE AGREEMENT RECORDED NOVEMBER 4, 1985 IN BOOK 3069 AT PAGE 242. **(THIS DOCUMENT IS PARCEL I-C IN THE LEGAL DESCRIPTION. AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE LEASE EVIDENCED BY MEMORANDUM OF PCS SITE AGREEMENT RECORDED AUGUST 8, 1996 IN BOOK 4812 AT PAGE 903 AND RE-RECORDED SEPTEMBER 25, 1996 IN BOOK 4845 AT PAGE 164 AND FIRST AMENDMENT TO PCS SITE AGREEMENT RECORDED FEBRUARY 11, 2010 AT RECEPTION NO. 20100009414. **(AFFECTS SURVEYED PROPERTY - DOCUMENT DOES NOT DESCRIBE A PLOTTABLE EASEMENT)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE LEASE EVIDENCED BY MEMORANDUM OF LEASE RECORDED MAY 12, 2004 AT RECEPTION NO. 20040512000348410. **(AFFECTS SURVEYED PROPERTY - DOCUMENT DOES NOT DESCRIBE A PLOTTABLE EASEMENT)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO EASEMENT RECORDED DECEMBER 8, 2008 AT RECEPTION NO. 2008000095164. **(AFFECTS SURVEYED PROPERTY AS SHOWN HEREON)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS, RESERVATIONS AND AGREEMENTS AS SET FORTH IN THE PUBLIC SERVICE COMPANY OF COLORADO EASEMENT RECORDED DECEMBER 8, 2008 AT RECEPTION NO. 2008000095165. **(LIES OUTSIDE OF SUBJECT PROPERTY AS SHOWN HEREON)**
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE CROSS ACCESS AGREEMENT RECORDED APRIL 15, 2016 AT RECEPTION NO. 2016000028723. **(LIES OUTSIDE OF SUBJECT PROPERTY)**
- ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT, 1930 (7 U.S.C. §§499A, ET SEQ.) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. §§181 ET SEQ.) OR UNDER SIMILAR STATE LAWS. **(NOT A SURVEY MATTER)**



DEPOSITING CERTIFICATE:

DEPOSITED THIS ____ DAY OF ____ 20__ A.D. AT ____ O'CLOCK __M., IN BOOK ____ OF LAND SURVEY PLATS AT PAGE ____, DEPOSIT NO. ____, RECORDS OF ____ COUNTY, COLORADO.

SIGNED: _____

TITLE: _____

BY: _____

SURVEYORS CERTIFICATION:

TO: HEADWATER GROUP, LLC;
FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 8, 11(b), 13, 16, 17, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 23, 2022.

DATE OF PLAT OR MAP: _____, 2022

PURSUANT TO COLORADO STATE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE UNDERSIGNED FURTHER CERTIFIES THAT THIS MAP OR PLAT WAS PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, IS ACCURATE TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED

DARREN R. WOLTERSTORFF, PLS 38281
FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC.
DARREN.WOLTERSTORFF@KIMLEY-HORN.COM

PREPARED FOR:
HEADWATERS GROUP, LLC
288 CLAYTON ST., SUITE 307
DENVER, CO 80206

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500 DENVER,
COLORADO 80237
PHONE: 303-228-2300
CONTACT: DARREN R. WOLTERSTORFF, PLS

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

ALTA/NSPS LAND TITLE SURVEY
A PORTION OF TRACT C, RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN - FIFTH FILING
LOCATED IN THE WEST HALF OF SECTION 10,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF NORTHGLENN, COUNTY OF ADAMS,
STATE OF COLORADO

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| | | | | | | | | |
| | | | | | | | 4582 SOUTH ULSTER ST., # 1500 DENVER, COLORADO 80237 | |
| | | | Tel. No. (303) 228-2300 www.kimley-horn.com | | | | | |
| | | | <u>Scale</u> | <u>Drawn by</u> | <u>Checked by</u> | <u>Date</u> | <u>Project No.</u> | <u>Sheet No.</u> |
| | | | N/A | PTM | DRW | Nov. 2022 | 196502002 | 1 OF 2 |
| No. | DATE | REVISION DESCRIPTION | | | | | | |

HEADWATERS INDEPENDENT LIVING FACILITY MAJOR SITE PLAN

10691 MELODY DRIVE
LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68
WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



PROJECT:
HEADWATERS INDEPENDENT LIVING FACILITY
10691 MELODY DR
NORTHGLENN, CO
PREPARED FOR:
HG AA NORTHGLENN, LLC
288 CLAYTON STREET, SUITE 307
DENVER, CO 80206
DESIGN MANAGER:
JEFF HOFFMAN
T: (312) 617-5739

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
3801 AUTOMATION WAY, SUITE 210
FORT COLLINS, CO 80525
T: (303) 228-2300

SANTULAN
ARCHITECTURE
SANTULAN ARCHITECTURE
3457 RINGSBY COURT, UNIT 209
DENVER, CO 80216
T: (303) 825-2595

NORRIS DESIGN
Planning | Landscape Architecture | Branding
NORRIS DESIGN
LANDSCAPE ARCHITECT
1101 BANNOCK STREET
DENVER, CO 80204
T: (303) 892-1166

DESIGNED BY: RJP
DRAWN BY: ANP
CHECKED BY: EPF
DATE: 02/10/2023

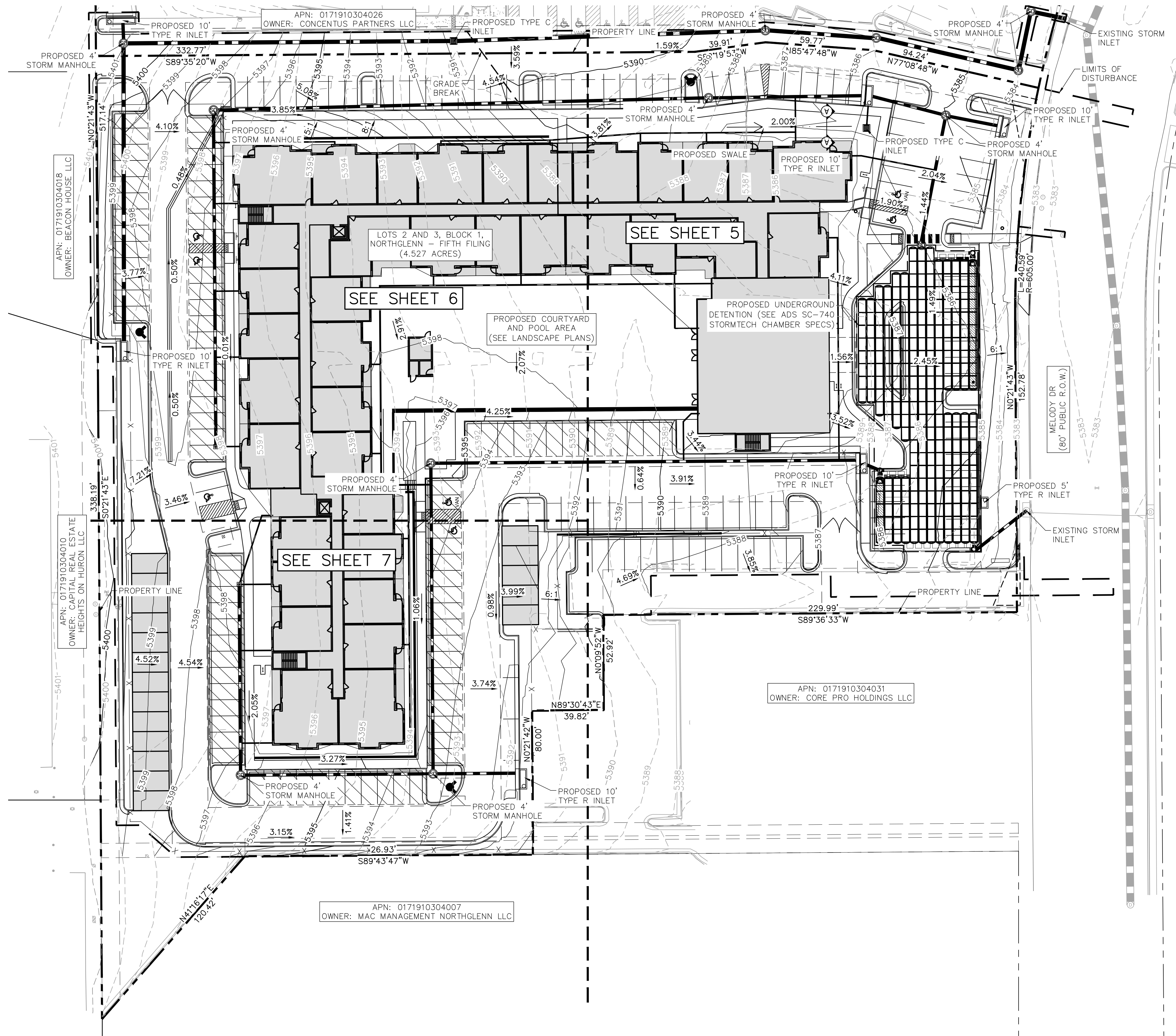
PROFESSIONAL SEALS
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Kimley»Horn
Kimley-Horn and Associates, Inc.

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KH PROJECT NO.: 196563001

SHEET TITLE
OVERALL GRADING AND DRAINAGE PLAN

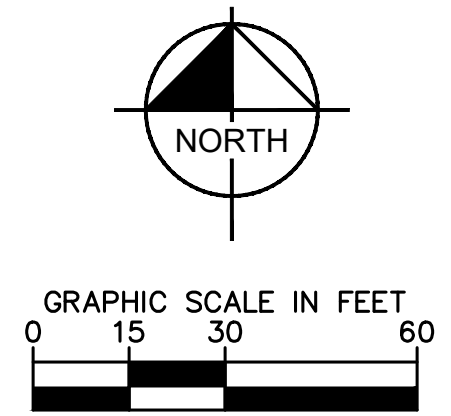
SHEET NUMBER
4 OF 8



- LEGEND**
- PROPERTY LINE
 - - - EXISTING EASEMENT LINE
 - - - LIMITS OF DISTURBANCE
 - - - PROPOSED SWALE
 - - - GRADE BREAK
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - - - EXISTING MAJOR CONTOURS
 - - - EXISTING MINOR CONTOURS
 - PROPOSED MAJOR CONTOURS
 - PROPOSED MINOR CONTOURS
 - ⊙ EXISTING 4' STORM MANHOLE
 - ⊙ PROPOSED 4' STORM MANHOLE
 - ⊙ PROPOSED 5' TYPE R INLET
 - ⊙ PROPOSED 10' TYPE R INLET
 - PROPOSED TYPE C INLET

- GRADING PLAN NOTES**
1. ALL GRADE ELEVATIONS ARE CURB FLOWLINE ELEVATIONS UNLESS INDICATED OTHERWISE.
 2. ADD 0.5' TO FLOWLINE GRADE ELEVATIONS FOR TOP OF CURB ELEVATIONS, UNLESS OTHERWISE INDICATED.
 3. ALL SLOPES ACROSS ADA PARKING SPACES SHALL BE 2% MAX. IN ALL DIRECTIONS.
 4. CROSS SLOPES ON SIDEWALK SHALL BE 2% MAX.
 5. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTIONS.
 6. ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 7. ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 8. MAINTAIN A MINIMUM OF 2.00% SLOPE IN BITUMINOUS PAVEMENT AREAS, 1.00% SLOPE IN CONCRETE PAVEMENT AREAS.

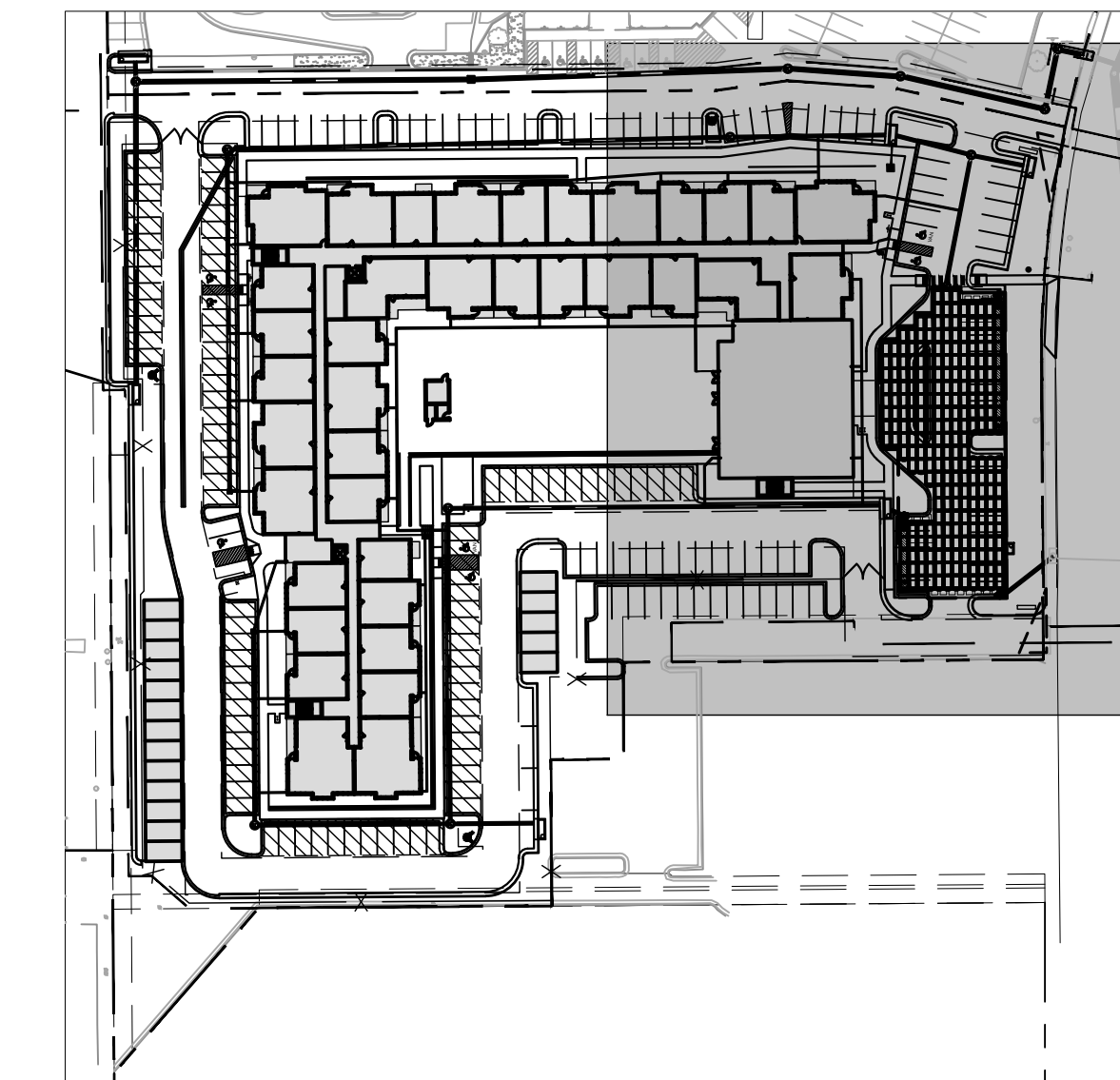
- ABBREVIATIONS**
- FFE FINISHED FLOOR ELEVATION
 - FG FINISHED GRADE
 - EG EXISTING GRADE
 - SW SIDEWALK
 - FL FLOWLINE
 - ME MATCH EXISTING
 - HP HIGH POINT
 - LP LOW POINT
 - TR TOP OF RAMP
 - BR BOTTOM OF RAMP
 - TW TOP OF WALL
 - BW BOTTOM OF WALL



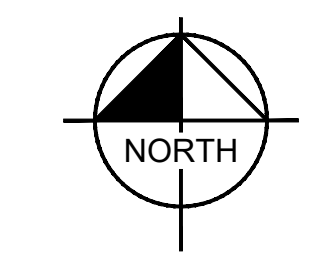
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THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

HEADWATERS INDEPENDENT LIVING FACILITY MAJOR SITE PLAN

10691 MELODY DRIVE
LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68
WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



KEYMAP
1" = 100'



PROJECT:
HEADWATERS INDEPENDENT LIVING FACILITY
10691 MELODY DR
NORTHGLENN, CO
PREPARED FOR:
HG AA NORTHGLENN, LLC
288 CLAYTON STREET, SUITE 307
DENVER, CO 80206
DESIGN MANAGER:
JEFF HOFFMAN
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Kimley»Horn

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ARCHITECTURE

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NORRIS DESIGN

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LANDSCAPE ARCHITECT
1101 BANNOCK STREET
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DESIGNED BY: RJP
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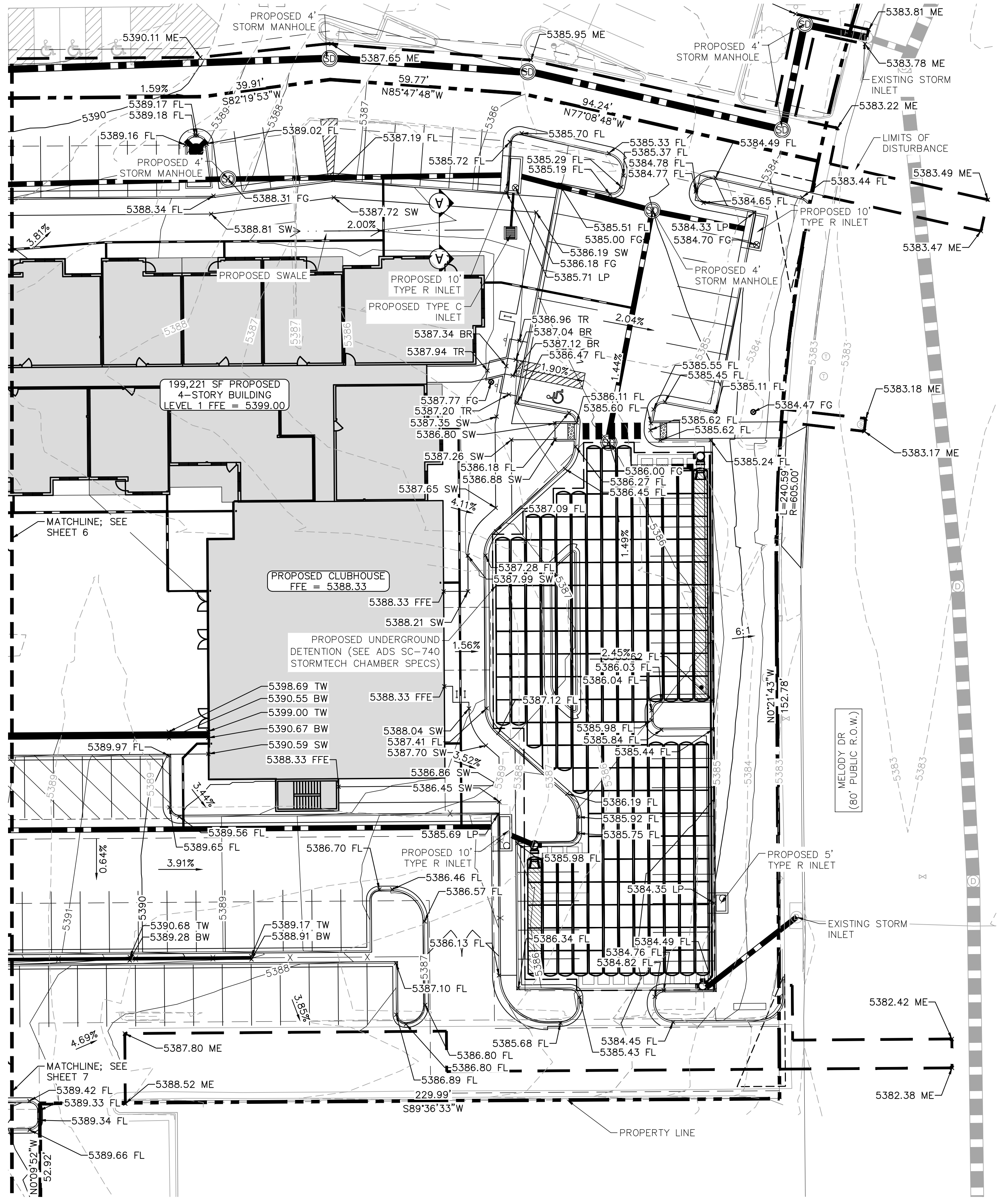
PROFESSIONAL SEALS
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Kimley»Horn
Kimley-Horn and Associates, Inc.

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KH PROJECT NO.: 196563001

SHEET TITLE
DETAILED GRADING AND DRAINAGE PLAN

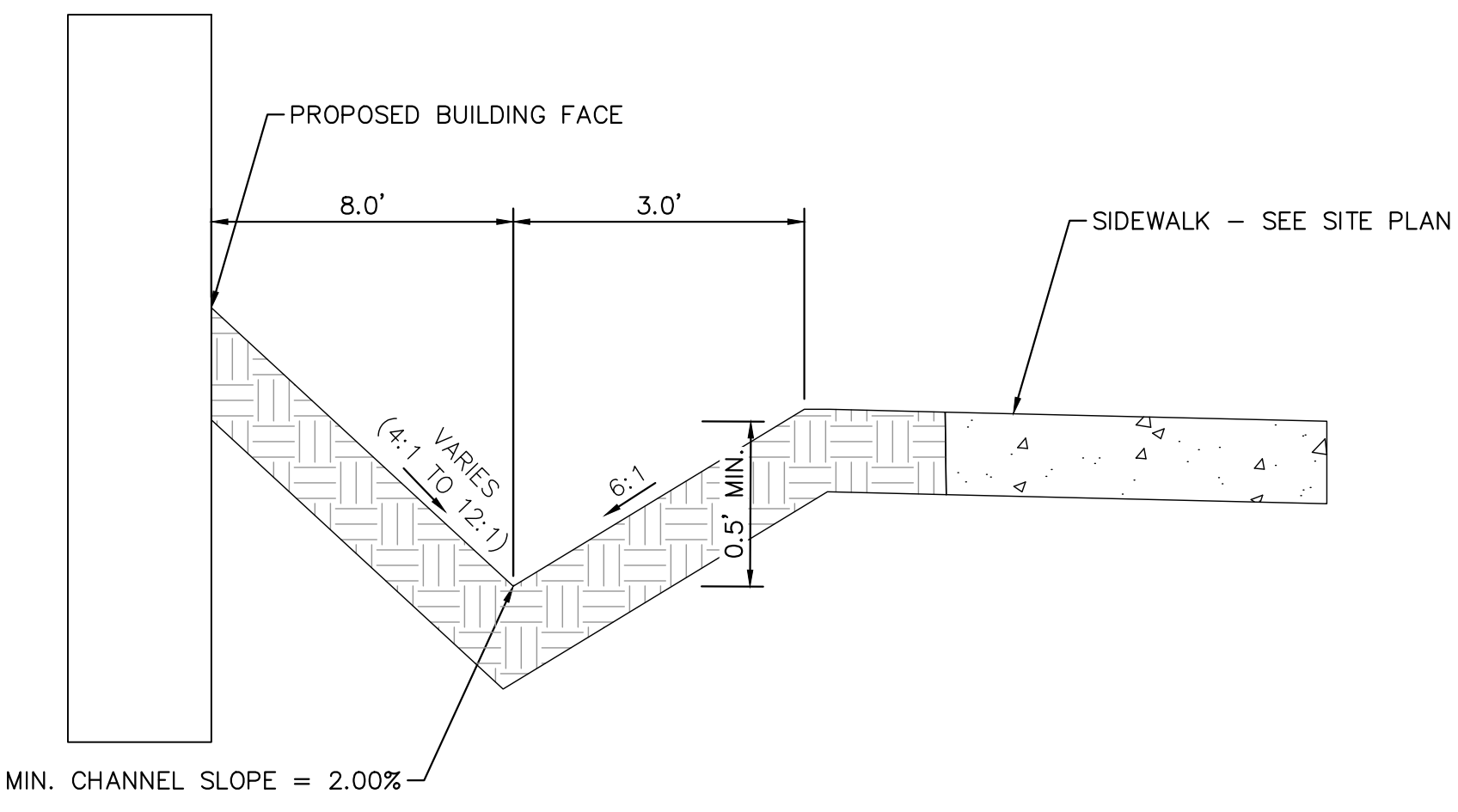
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5 OF 8



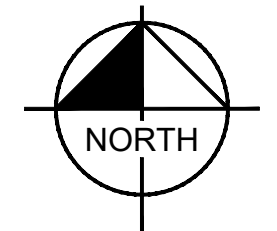
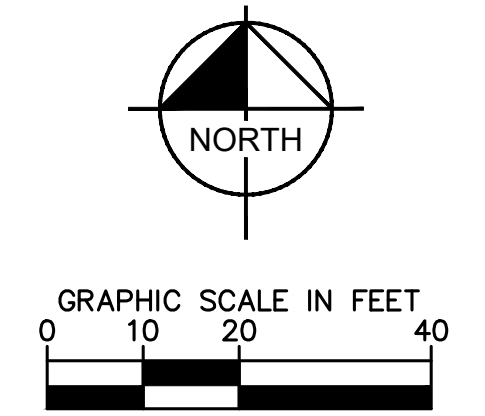
- LEGEND**
- PROPERTY LINE
 - EXISTING EASEMENT LINE
 - LIMITS OF DISTURBANCE
 - PROPOSED SWALE
 - GRADE BREAK
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING MAJOR CONTOURS
 - EXISTING MINOR CONTOURS
 - PROPOSED MAJOR CONTOURS
 - PROPOSED MINOR CONTOURS
 - EXISTING 4' STORM MANHOLE
 - ⊕ PROPOSED 4' STORM MANHOLE
 - PROPOSED 5' TYPE R INLET
 - PROPOSED 10' TYPE R INLET
 - PROPOSED TYPE C INLET

- GRADING PLAN NOTES**
- ALL GRADE ELEVATIONS ARE CURB FLOWLINE ELEVATIONS UNLESS INDICATED OTHERWISE.
 - ADD 0.5' TO FLOWLINE GRADE ELEVATIONS FOR TOP OF CURB ELEVATIONS, UNLESS OTHERWISE INDICATED.
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 - CROSS SLOPES ON SIDEWALK SHALL BE 2% MAX.
 - REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTIONS.
 - ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 - ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 - MAINTAIN A MINIMUM OF 2.00% SLOPE IN BITUMINOUS PAVEMENT AREAS (TYP.), 1.00% SLOPE IN CONCRETE PAVEMENT AREAS.

- ABBREVIATIONS**
- FFE FINISHED FLOOR ELEVATION
 - FG FINISHED GRADE
 - EG EXISTING GRADE
 - SW SIDEWALK
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 - BR BOTTOM OF RAMP
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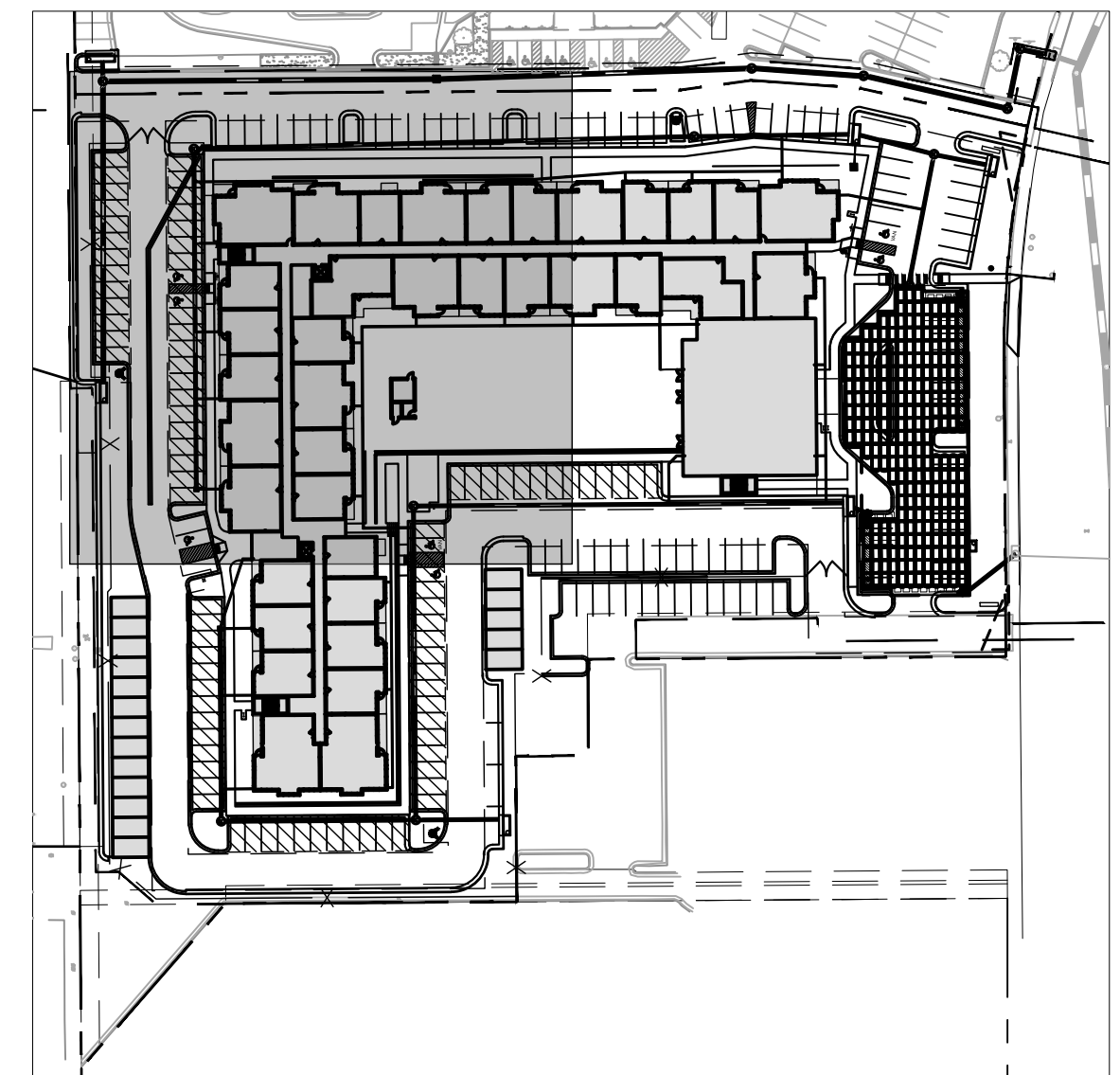
GRASS SWALE CROSS SECTION A



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THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED, REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

HEADWATERS INDEPENDENT LIVING FACILITY MAJOR SITE PLAN

10691 MELODY DRIVE
LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68
WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLEN, COUNTY OF ADAMS, STATE OF COLORADO



PROJECT:
HEADWATERS INDEPENDENT
LIVING FACILITY
10691 MELODY DR
NORTHGLEN, CO
PREPARED FOR:
HG AA NORTHGLEN, LLC
288 CLAYTON STREET, SUITE 307
DENVER, CO 80206
DESIGN MANAGER:
JEFF HOFFMAN
T: (312) 617-5739

Kimley»Horn

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NORRIS DESIGN

Planning | Landscape Architecture | Branding

NORRIS DESIGN
LANDSCAPE ARCHITECT
1101 BANNOCK STREET
DENVER, CO 80204
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DESIGNED BY: RJP
DRAWN BY: ANP
CHECKED BY: EPF
DATE: 02/10/2023

PROFESSIONAL SEALS

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CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

No. Description Date

KH PROJECT NO.: 196563001

SHEET TITLE
**DETAILED
GRADING AND
DRAINAGE PLAN**

SHEET NUMBER
6 OF 8

LEGEND

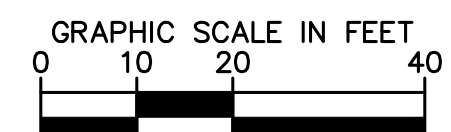
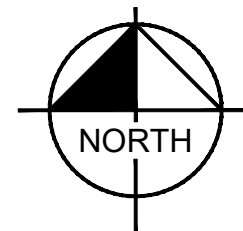
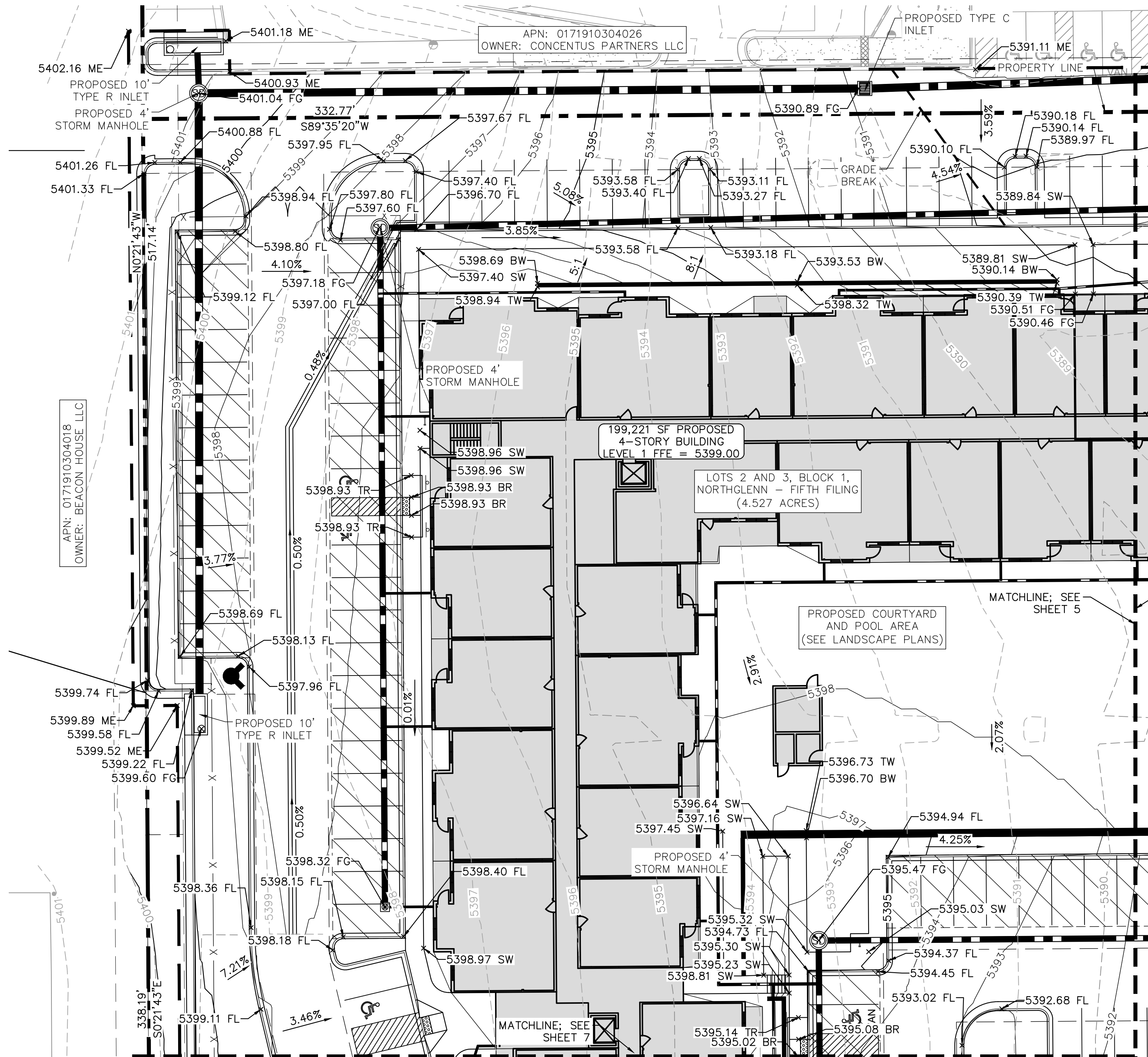
- PROPERTY LINE
- EXISTING EASEMENT LINE
- LIMITS OF DISTURBANCE
- PROPOSED SWALE
- GRADE BREAK
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- EXISTING 4' STORM MANHOLE
- PROPOSED 4' STORM MANHOLE
- PROPOSED 5' TYPE R INLET
- PROPOSED 10' TYPE R INLET
- PROPOSED TYPE C INLET

GRADING PLAN NOTES

- ALL GRADE ELEVATIONS ARE CURB FLOWLINE ELEVATIONS UNLESS INDICATED OTHERWISE.
- ADD 0.5' TO FLOWLINE GRADE ELEVATIONS FOR TOP OF CURB ELEVATIONS, UNLESS OTHERWISE INDICATED.
- ALL SLOPES ACROSS ADA PARKING SPACES SHALL BE 2% MAX. IN ALL DIRECTIONS.
- CROSS SLOPES ON SIDEWALK SHALL BE 2% MAX.
- REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTIONS,
- ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- MAINTAIN A MINIMUM OF 2.00% SLOPE IN BITUMINOUS PAVEMENT AREAS (TYP.), 1.00% SLOPE IN CONCRETE PAVEMENT AREAS.

ABBREVIATIONS

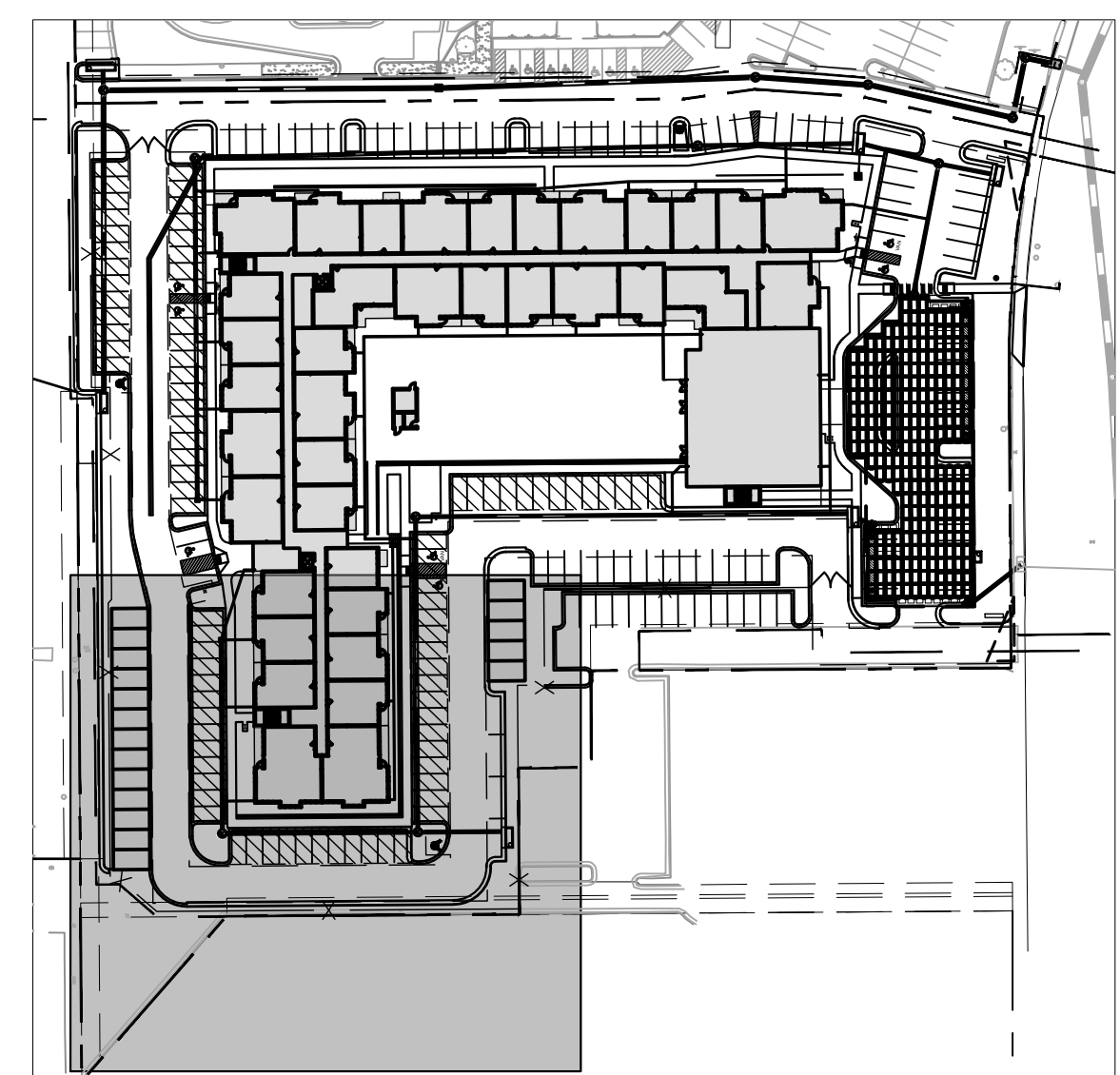
- FFE FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- EG EXISTING GRADE
- SW SIDEWALK
- FL FLOWLINE
- ME MATCH EXISTING
- HP HIGH POINT
- LP LOW POINT
- TR TOP OF RAMP
- BR BOTTOM OF RAMP
- TW TOP OF WALL
- BW BOTTOM OF WALL



Know what's below.
Call before you dig.

HEADWATERS INDEPENDENT LIVING FACILITY MAJOR SITE PLAN

10691 MELODY DRIVE
LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68
WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLEN, COUNTY OF ADAMS, STATE OF COLORADO



PROJECT:
HEADWATERS INDEPENDENT LIVING FACILITY
10691 MELODY DR
NORTHGLEN, CO
PREPARED FOR:
HG AA NORTHGLEN, LLC
288 CLAYTON STREET, SUITE 307
DENVER, CO 80206
DESIGN MANAGER:
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LANDSCAPE ARCHITECT
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DESIGNED BY: RJP
DRAWN BY: ANP
CHECKED BY: EPF
DATE: 02/10/2023

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KH PROJECT NO.: 196563001

SHEET TITLE
DETAILED GRADING AND DRAINAGE PLAN

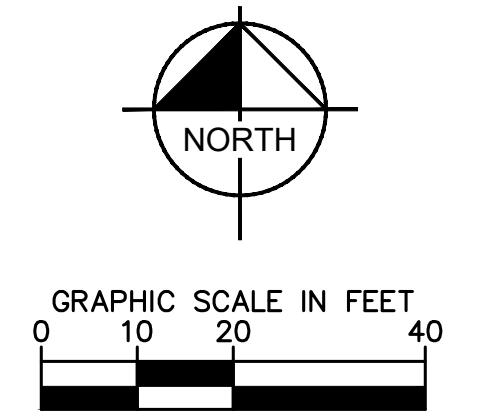
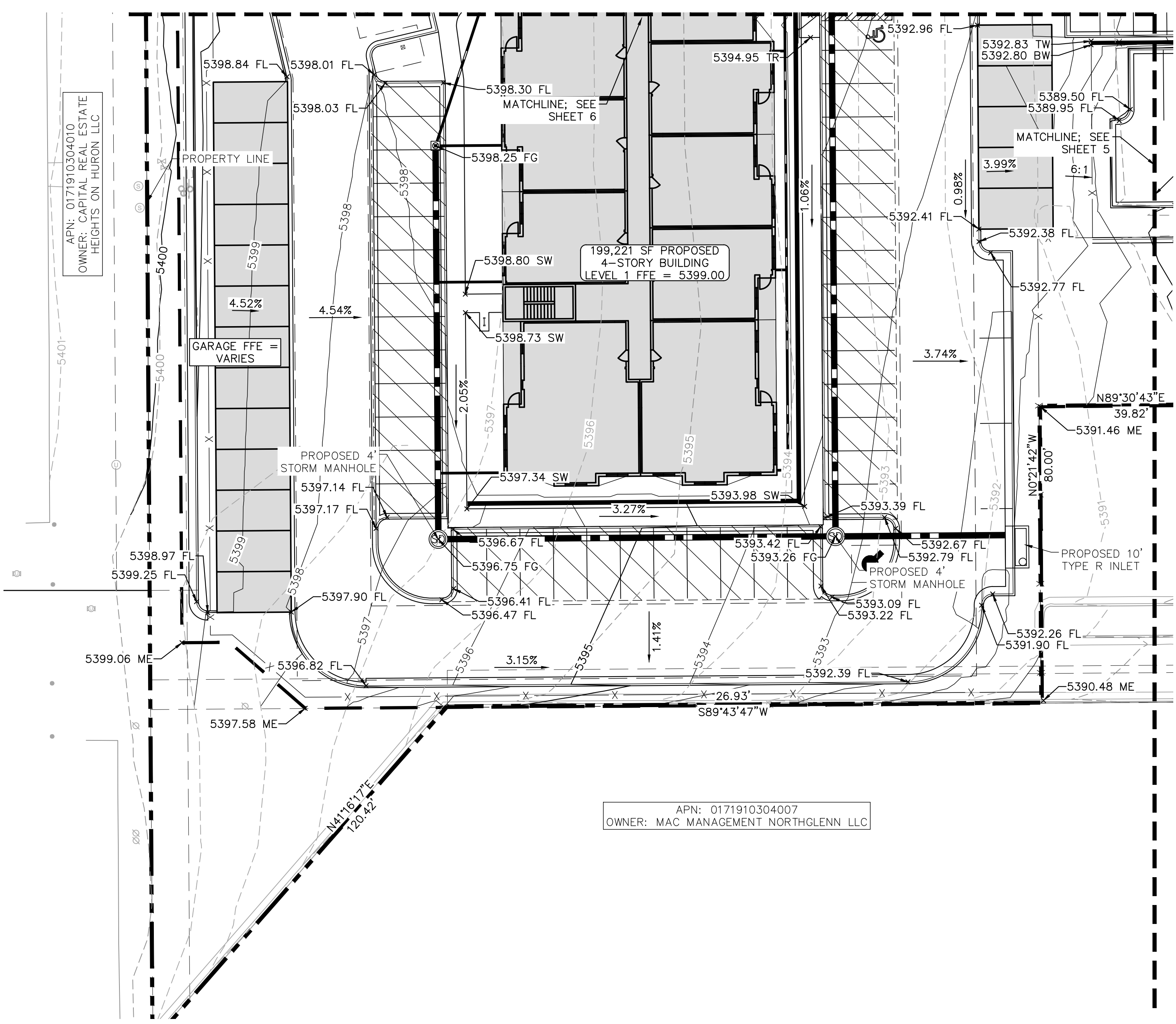
SHEET NUMBER
7 OF 8

- LEGEND**
- PROPERTY LINE
 - EXISTING EASEMENT LINE
 - LIMITS OF DISTURBANCE
 - PROPOSED SWALE
 - GRADE BREAK
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING MAJOR CONTOURS
 - EXISTING MINOR CONTOURS
 - PROPOSED MAJOR CONTOURS
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 - EXISTING 4' STORM MANHOLE
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 - PROPOSED 10' TYPE R INLET
 - PROPOSED TYPE C INLET

- GRADING PLAN NOTES**
- ALL GRADE ELEVATIONS ARE CURB FLOWLINE ELEVATIONS UNLESS INDICATED OTHERWISE.
 - ADD 0.5' TO FLOWLINE GRADE ELEVATIONS FOR TOP OF CURB ELEVATIONS, UNLESS OTHERWISE INDICATED.
 - ALL SLOPES ACROSS ADA PARKING SPACES SHALL BE 2% MAX. IN ALL DIRECTIONS.
 - CROSS SLOPES ON SIDEWALK SHALL BE 2% MAX.
 - REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTIONS.
 - ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 - ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 - MAINTAIN A MINIMUM OF 2.00% SLOPE IN BITUMINOUS PAVEMENT AREAS (TYP.), 1.00% SLOPE IN CONCRETE PAVEMENT AREAS.

ABBREVIATIONS

| | |
|-----|--------------------------|
| FFE | FINISHED FLOOR ELEVATION |
| FG | FINISHED GRADE |
| EG | EXISTING GRADE |
| SW | SIDEWALK |
| FL | FLOWLINE |
| ME | MATCH EXISTING |
| HP | HIGH POINT |
| LP | LOW POINT |
| TR | TOP OF RAMP |
| BR | BOTTOM OF RAMP |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |



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PROJECT:
HEADWATERS INDEPENDENT LIVING FACILITY
10691 MELODY DR
NORTHGLEN, CO
PREPARED FOR:
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288 CLAYTON STREET, SUITE 307
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PROFESSIONAL SEALS



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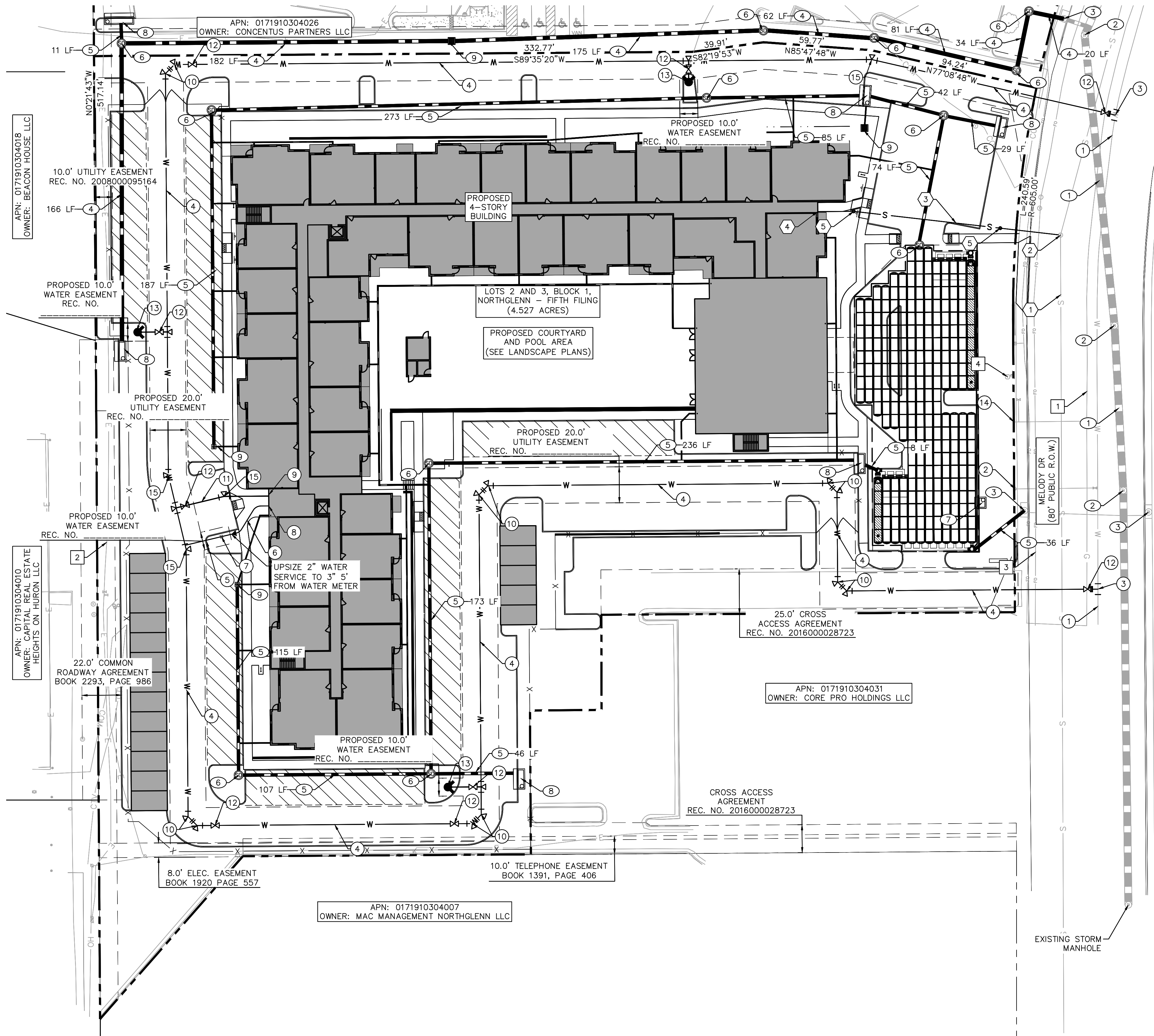
KH PROJECT NO.: 196563001

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
8 OF 8

HEADWATERS INDEPENDENT LIVING FACILITY MAJOR SITE PLAN

10691 MELODY DRIVE
LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68
WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLEN, COUNTY OF ADAMS, STATE OF COLORADO



LEGEND

| | |
|---------|------------------------------|
| --- | PROPERTY LINE |
| - - - - | PROPOSED LOT LINE |
| --- | EXISTING EASEMENT LINE |
| —W— | EXISTING WATER MAIN |
| —S— | EXISTING SANITARY SEWER MAIN |
| —FO— | EXISTING FIBER OPTIC LINE |
| —G— | EXISTING GAS LINE |
| —E— | EXISTING POWER LINE |
| — | EXISTING STORM MAIN |
| —W— | PROPOSED WATER LINE |
| —S— | PROPOSED SANITARY SEWER LINE |
| —F— | PROPOSED FIRE LINE |
| — | PROPOSED STORM SEWER |

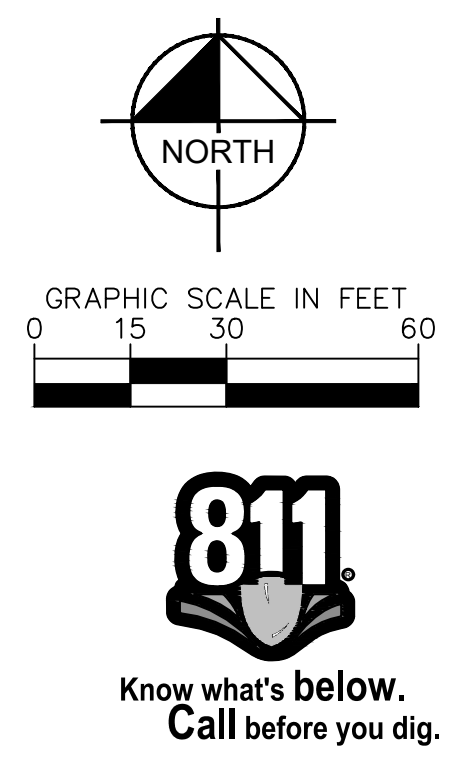
- WATER NOTES**
- 1 EX. 8" PVC WATER MAIN
 - 2 EX. FIRE HYDRANT TO REMAIN
 - 3 PROP. WATER LINE P.O.C TO EX. MAIN (8"x8" TAPPING SLEEVE W/ 8" TAPPING VALVE)
 - 4 PROP. 8" PVC WATER MAIN
 - 5 PROP. 2" TYPE K COPPER WATER LINE
 - 6 PROP. 3" TYPE K COPPER WATER LINE
 - 7 PROP. 2" DOMESTIC WATER METER (24" ALUMINUM MANHOLE RING AND COVER W/ CAM LOCK)
 - 8 DOMESTIC WATER SERVICE BUILDING P.O.C. (METER AND BACKFLOW PREVENTION LOCATED INSIDE BUILDING)
 - 9 FIRE SERVICE BUILDING P.O.C.
 - 10 45° BEND
 - 11 PROP. 6" DIP FIRE LINE
 - 12 PROP. GATE VALVE
 - 13 PROP. HYDRANT ASSEMBLY (8"x6" TEE, 6" LATERAL, AND 6" GATE VALVE)
 - 14 WATER LINE TO BE ABANDONED AT PROPERTY LINE
 - 15 11.25° BEND

- SANITARY SEWER NOTES**
- 1 EX. 12" CLAY SANITARY SEWER MAIN
 - 2 PROP. SANITARY SEWER SERVICE P.O.C AT MANHOLE
 - 3 PROP. 8" PVC SANITARY SEWER SERVICE
 - 4 SANITARY SEWER BUILDING P.O.C.
 - 5 PROP. CLEANOUT

- STORM SEWER NOTES**
- 1 EX. 48" CLAY STORM SEWER LINE
 - 2 EX. STORM MANHOLE
 - 3 EX. STORM INLET
 - 4 PROP. 24" PVC STORM SEWER LINE
 - 5 PROP. 18" PVC STORM SEWER LINE
 - 6 PROP. STORM MANHOLE
 - 7 PROP. 5' TYPE R CURB INLET
 - 8 PROP. 10' TYPE R CURB INLET
 - 9 PROP. CLEANOUT
 - 9 PROP. TYPE C INLET
- DRY UTILITY NOTES**
- 1 EX. NATURAL GAS MAIN
 - 2 EX. UNDERGROUND ELECTRIC LINE
 - 3 EX. FIBER OPTIC LINE
 - 4 EX. TRANSFORMER

UTILITY PLAN NOTES

1. ITEMS SHOWN INTERNAL TO THE BUILDING FOR REFERENCE ONLY. REFER TO APPROPRIATE ARCHITECTURAL OR BUILDING PLANS FOR INFORMATION.
2. DIMENSIONS ARE SHOWN FLOWLINE TO FLOWLINE UNLESS OTHERWISE NOTED.
3. ALL EXISTING UTILITIES TO REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
4. ALL DRY UTILITIES ARE SHOWN FOR REFERENCE ONLY. EXACT LOCATION AND CONNECTION TO EXISTING UTILITIES TO BE DETERMINED BY UTILITY PROVIDER.



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HEADWATERS ACTIVE ADULT LIVING MAJOR SITE PLAN

10691 MELODY DRIVE
LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68
WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



HEADWATERS
GROUP

PROJECT:
HEADWATERS ACTIVE
ADULT LIVING
10691 MELODY DR
NORTHGLENN, CO

PREPARED FOR:
HG AA NORTHGLENN, LLC
288 CLAYTON STREET, SUITE 307
DENVER, CO 80206

DESIGN MANAGER:
JEFF HOFFMAN
T: (312) 617-5739

Kimley»Horn

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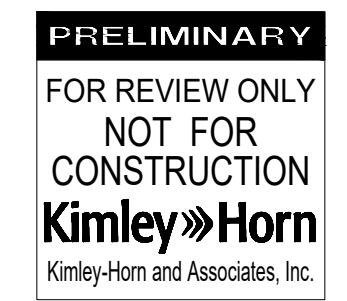
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NORRIS DESIGN
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NORRIS DESIGN
LANDSCAPE ARCHITECT
1101 BANNOCK STREET
DENVER, CO 80204
T: (303) 892-1166

PROFESSIONAL SEALS



| No. | Description | Date |
|-----|------------------------|-----------|
| 1 | SITE PLAN SUBMITTAL 01 | 2.10.2023 |

KH PROJECT NO.: 196563001

SHEET TITLE

LANDSCAPE
NOTES

SHEET NUMBER

09 OF 22



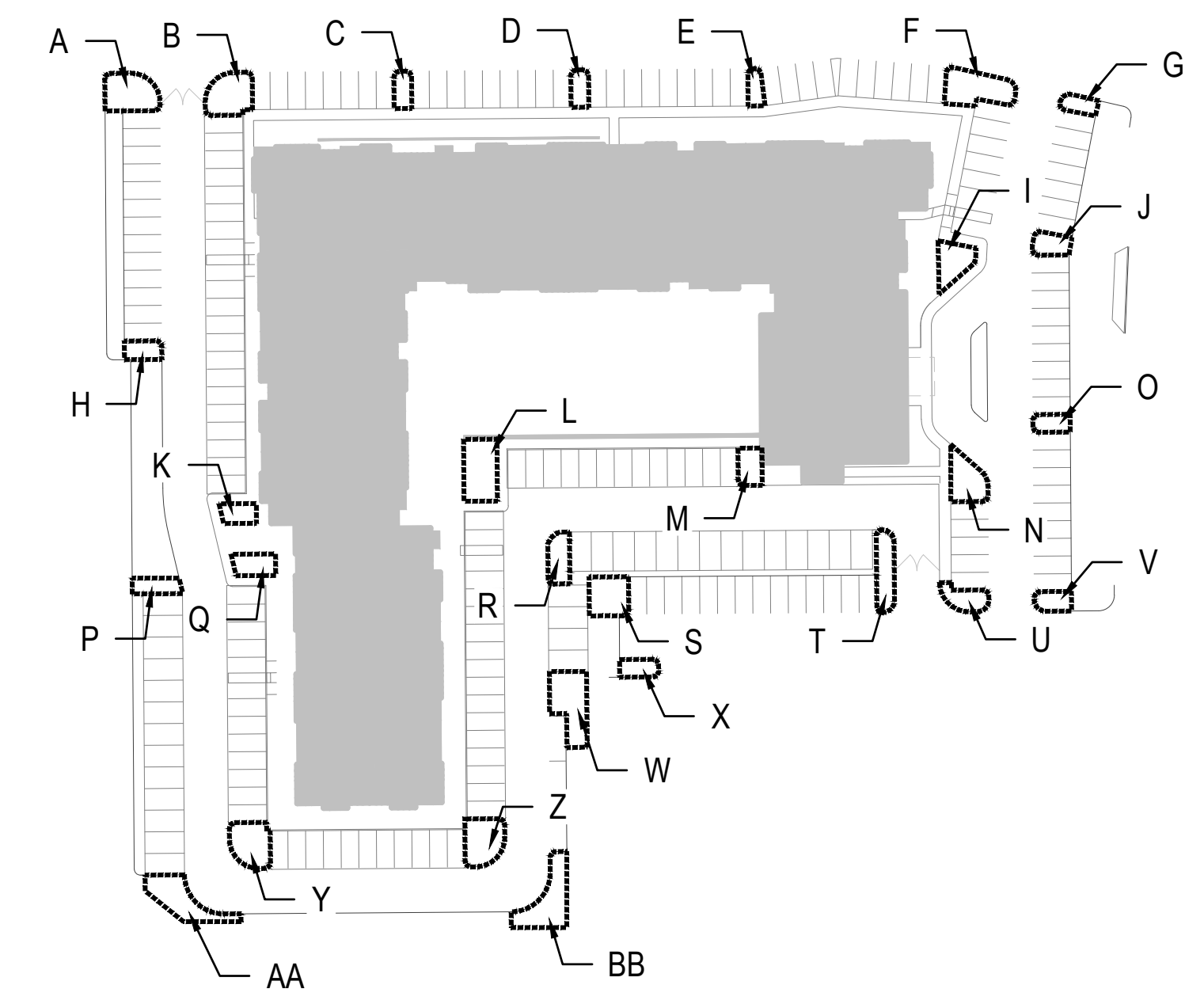
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GENERAL NOTES

- THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS.
- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- REVISIONS TO THESE DOCUMENTS, REVIEW AND CONSIDERATIONS OF SUBSTITUTIONS, OWNER DIRECTED CHANGES, AND/OR RFI RESPONSES WHICH REQUIRE PROVIDING ADDITIONAL DETAIL AFTER APPROVAL OF THE PERMIT SET MAY REQUIRE APPROVAL OF AN ADDITIONAL SERVICES REQUEST BY THE CLIENT.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
- NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
- OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE

- CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.
- ALL TREES ADJACENT AND/OR EXTENDING OVER FIRE DEPARTMENT ACCESS ROADWAYS ARE TO BE LIMBED TO 13'-6" MIN. HEIGHT TO ENSURE AN UNOBSTRUCTED VERTICAL CLEARANCE ACROSS THE ENTIRE 20' WIDTH PURSUANT TO IFC SECTION 503.2.1.
- ALL FIRE HYDRANTS HAVE A 3'-0" MIN. WORKSPACE AROUND THE HYDRANT PURSUANT TO IFC SECTION 507.5.5.

PARKING AREA LANDSCAPING



*NOTES:
* PROVIDED TREE/SHRUB COUNT INSUFFICIENT DUE TO EASEMENT CONFLICT
** PROVIDED TREE/SHRUB COUNT INSUFFICIENT DUE TO PEDESTRIAN ACCESS

STREET TREE REQUIREMENT

| STREET | LINEAR FEET | REQUIRED TREES (1 PER 40 LF) | PROVIDED TREES |
|--------------|-------------|------------------------------|----------------|
| MELODY DRIVE | 257 LF | 7 | 8 |

LANDSCAPE REQUIREMENT

| PERVIOUS SURFACE AREA | REQUIRED TREES (1 PER 500 SF) | PROVIDED TREES | REQUIRED SHRUBS/GRASSES (10 PER 500 SF) | PROVIDED SHRUBS/GRASSES | PROVIDED PERENNIALS |
|-----------------------|-------------------------------|----------------|---|-------------------------|---------------------|
| 33,178 | 67 | 91 | 664 | 777 | 445 |

- NOTES:
1. ALL GRASSES COUNTED TOWARDS REQUIREMENT ARE 18" MIN. WIDE AT MATURITY, #1 (1 GALLON) PERENNIALS NOT COUNTED TOWARDS SHRUB TOTAL.

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HEADWATERS ACTIVE ADULT LIVING MAJOR SITE PLAN

10691 MELODY DRIVE
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WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



HEADWATERS
GROUP

PROJECT:
HEADWATERS ACTIVE
ADULT LIVING
10691 MELODY DR
NORTHGLENN, CO
PREPARED FOR:
HG AA NORTHGLENN, LLC
288 CLAYTON STREET, SUITE 307
DENVER, CO 80206
DESIGN MANAGER:
JEFF HOFFMAN
T: (312) 617-5739

PLANT SCHEDULE

| DECIDUOUS TREES | QTY | BOTANICAL NAME | COMMON NAME | ROOT | SIZE |
|--------------------|-----|--|----------------------------------|-------|-----------|
| CA SP | 5 | CATALPA SPECIOSA | NORTHERN CATALPA | B & B | 6' HEIGHT |
| CE OC | 5 | CELTIS OCCIDENTALIS | COMMON HACKBERRY | B & B | 2" CAL |
| GL SH | 11 | GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM | SHADEMASTER LOCUST | B & B | 2" CAL |
| GY DI | 7 | GYMNOCLADUS DIOICA 'ESPRESSO' | KENTUCKY COFFEETREE | B & B | 2" CAL |
| QU MU | 7 | QUERCUS MUEHLENBERGII | CHINKAPIN OAK | B & B | 2" CAL |
| TI RE | 11 | TILIA AMERICANA 'REDMOND' | REDMOND AMERICAN LINDEN | B & B | 2" CAL |
| EVERGREEN TREES | QTY | BOTANICAL NAME | COMMON NAME | ROOT | SIZE |
| PI PO | 3 | PINUS PONDEROSA | PONDEROSA PINE | B & B | 6' HT. |
| ORNAMENTAL TREES | QTY | BOTANICAL NAME | COMMON NAME | ROOT | SIZE |
| AC FL | 3 | ACER GINNALA 'FLAME' | FLAME AMUR MAPLE | B & B | 1.5" CAL |
| MA SS | 16 | MALUS X 'SPRING SNOW' | SPRING SNOW CRAB APPLE | B & B | 1.5" CAL |
| PR AM | 23 | PRUNUS AMERICANA | AMERICAN PLUM | B & B | 1.5" CAL |
| DECIDUOUS SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | ROOT | SIZE |
| BE BU | 28 | BERBERIS THUNBERGII 'BAILTWO' TM | BURGUNDY CAROUSEL BARBERRY | CONT. | #5 |
| CY SP | 9 | CYTISUS PURGANS 'SPANISH GOLD' | SPANISH GOLD BROOM | CONT. | #5 |
| LI CH | 37 | LIGUSTRUM VULGARE 'CHEYENNE' | CHEYENNE PRIVET | CONT. | #5 |
| PE AT | 111 | PEROVSKIA ATRIPLICIFOLIA | RUSSIAN SAGE | CONT. | #5 |
| PH CH | 54 | PHILADELPHUS LEWISII 'CHEYENNE' | LEWIS MOCK ORANGE | CONT. | #5 |
| RI GR | 3 | RIBES ALPINUM 'GREEN MOUND' | GREEN MOUND ALPINE CURRANT | CONT. | #5 |
| RI AU | 61 | RIBES AUREUM | GOLDEN CURRANT | CONT. | #5 |
| RO DK | 72 | ROSA X 'RADTKOPINK' | PINK DOUBLE KNOCK OUT® ROSE | CONT. | #5 |
| SP LI | 48 | SPIRAEA X BUMALDA 'MONHUB' | LIMEMOUND® SPIREA | CONT. | #5 |
| SY MK | 34 | SYRINGA PATULA 'MISS KIM' | MISS KIM LILAC | CONT. | #5 |
| VI AL | 2 | VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY' | ALLEGHANY VIBURNUM | CONT. | #5 |
| EVERGREEN SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | ROOT | SIZE |
| AR PA | 3 | ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO' | PANCHITO MANZANITA | CONT. | #5 |
| HE PA | 56 | HESPERALOE PARVIFLORA | RED YUCCA | CONT. | #5 |
| JU BU | 36 | JUNIPERUS SABINA 'BUFFALO' | BUFFALO JUNIPER | CONT. | #5 |
| JU CC | 3 | JUNIPERUS SABINA 'CALGARY CARPET' TM | CALGARY CARPET JUNIPER | CONT. | #5 |
| JU SC | 12 | JUNIPERUS SABINA 'SCANDIA' | SCANDIA JUNIPER | CONT. | #5 |
| ORNAMENTAL GRASSES | QTY | BOTANICAL NAME | COMMON NAME | ROOT | SIZE |
| BO BA | 93 | BOUTELOUA GRACILIS 'BLONDE AMBITION' | BLOND AMBITION BLUE GRAMA GRASS | CONT. | #1 |
| CA BR | 38 | CALAMAGROSTIS BRACHYTRICHA | KOREAN FEATHER REED GRASS | CONT. | #1 |
| CA KF | 95 | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | KARL FOERSTER FEATHER REED GRASS | CONT. | #1 |
| HE SE | 84 | HELICTOTRICHON SEMPERVIRENS | BLUE OAT GRASS | CONT. | #1 |
| MI AD | 18 | MISCANTHUS SINENSIS 'ADAGIO' | COMPACT MAIDEN GRASS | CONT. | #1 |
| NA TE | 15 | NASSELLA TENUISSIMA | MEXICAN FEATHER GRASS | CONT. | #1 |
| PA SH | 146 | PANICUM VIRGATUM 'SHENANDOAH' | SHENANDOAH SWITCH GRASS | CONT. | #1 |
| PE HA | 135 | PENNISETUM ALOPECUROIDES 'HAMELN' | HAMELN FOUNTAIN GRASS | CONT. | #1 |
| PERENNIALS | QTY | BOTANICAL NAME | COMMON NAME | ROOT | SIZE |
| AS MO | 30 | ASTER X FRIKARTII 'MONCH' | MONCH FRIKART'S ASTER | CONT. | #1 |
| CO MO | 86 | COREOPSIS X 'MOONBEAM' | MOONBEAM TICKSEED | CONT. | #1 |
| EC PU | 55 | ECHINACEA PURPUREA | CONEFLOWER | CONT. | #1 |
| GA OD | 46 | GALIUM ODORATUM | SWEET WOODRUFF | CONT. | #1 |
| HE YP | 20 | HEUCHERA X 'BLACKBERRY CRISP' | BLACKBERRY CRISP CORAL BELLS | CONT. | #1 |
| HO RY | 76 | HOSTA X 'ROYAL STANDARD' | ROYAL STANDARD HOSTA | CONT. | #1 |
| RU AM | 64 | RUDBECKIA AMPLEXICAULIS | BLACK-EYED SUSAN | CONT. | #1 |
| SA MA | 63 | SALVIA X SYLVESTRIS 'MAY NIGHT' | MAY NIGHT SAGE | CONT. | #1 |
| VI BV | 5 | VINCA MINOR 'BOWLES' | BOWLES COMMON PERIWINKLE | CONT. | #1 |

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KH PROJECT NO.: 196563001

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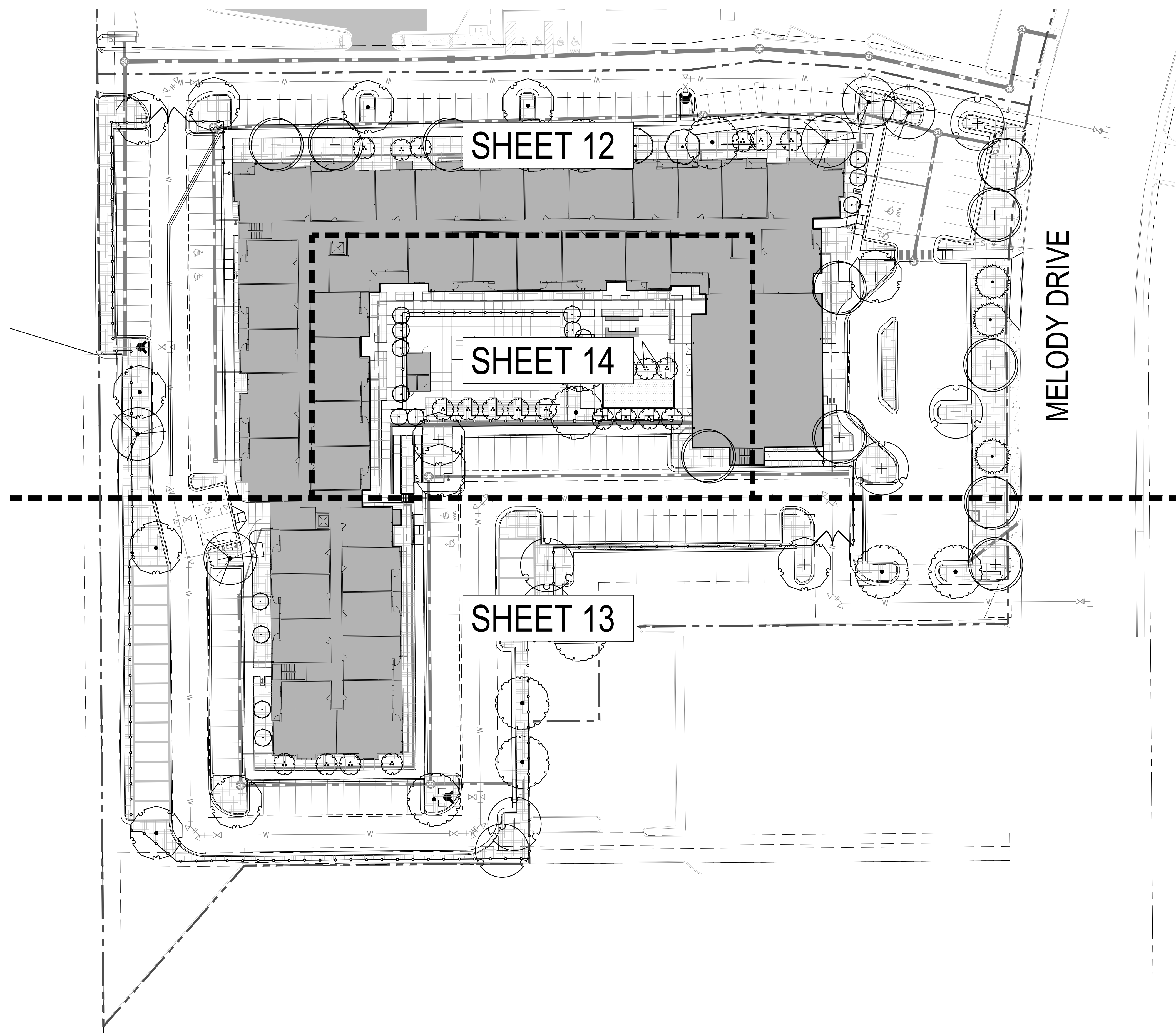
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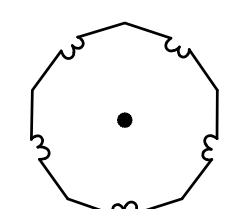
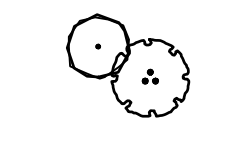




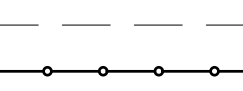
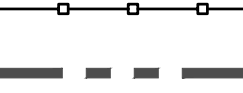



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10691 MELODY DRIVE
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WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLEN, COUNTY OF ADAMS, STATE OF COLORADO



LEGEND

-  CANOPY TREE
-  ORNAMENTAL TREE
-  DECIDUOUS SHRUBS
-  EVERGREEN SHRUBS
-  ORNAMENTAL GRASSES
-  SYNTHETIC TURF LAWN
-  SHRUB BED
-  EASEMENT LINE
-  POOL/PERIMETER FENCE
-  42" FENCE/GUARD RAIL
-  PROPERTY LINE



HEADWATERS GROUP

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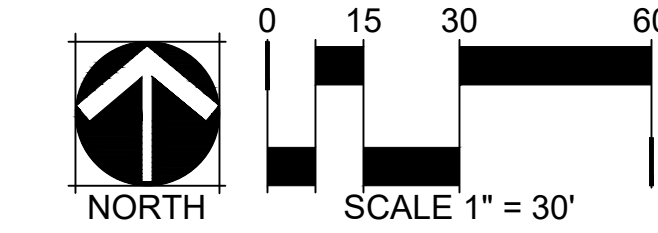
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OVERALL LANDSCAPE PLAN

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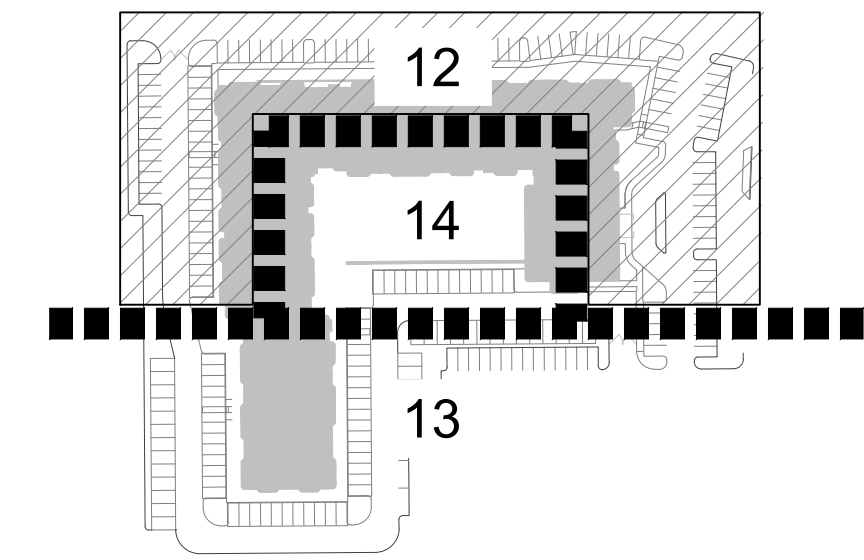


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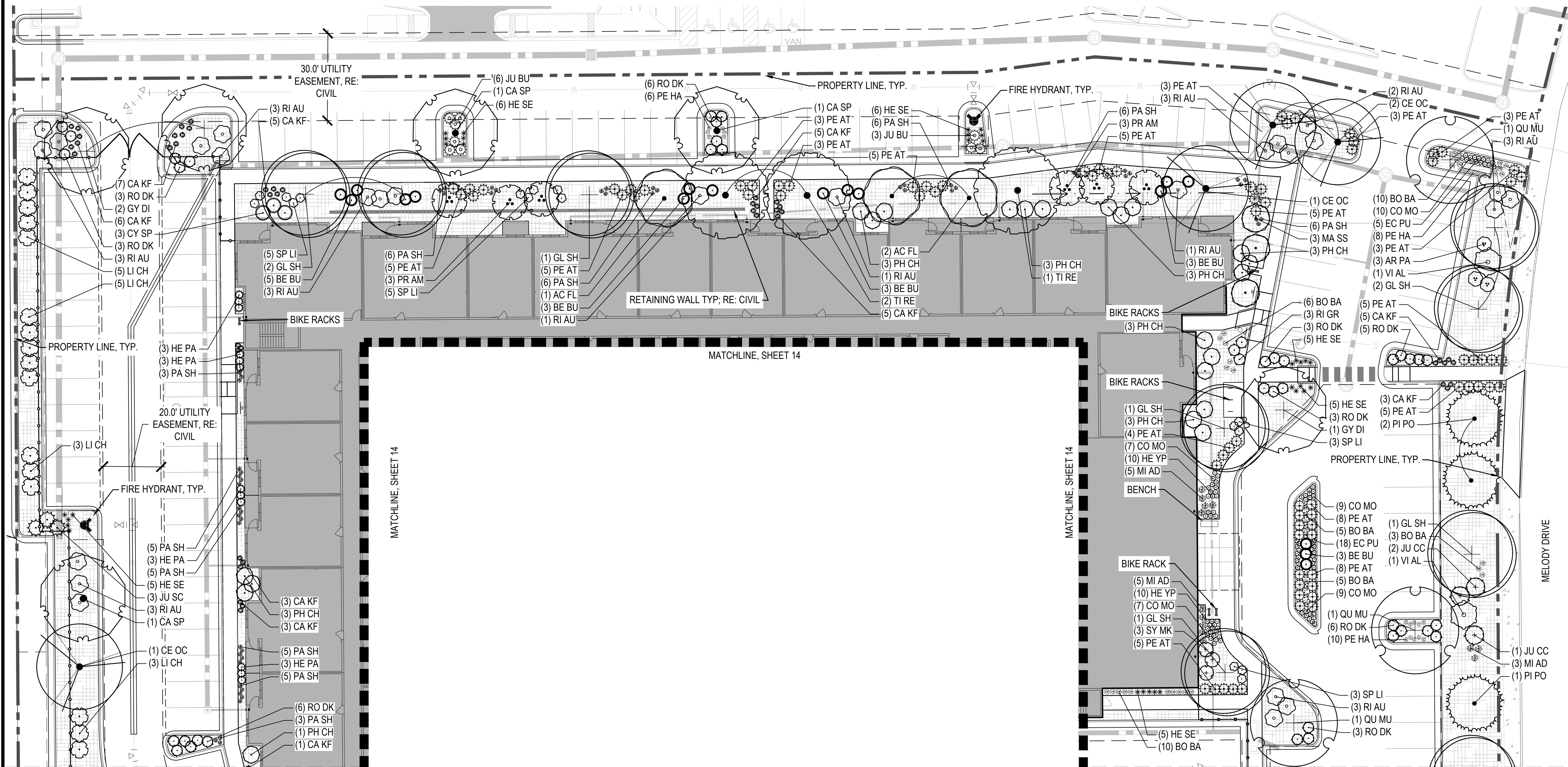
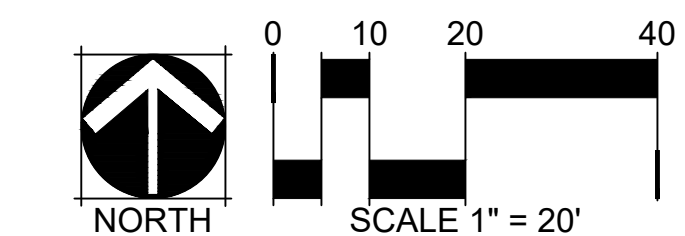
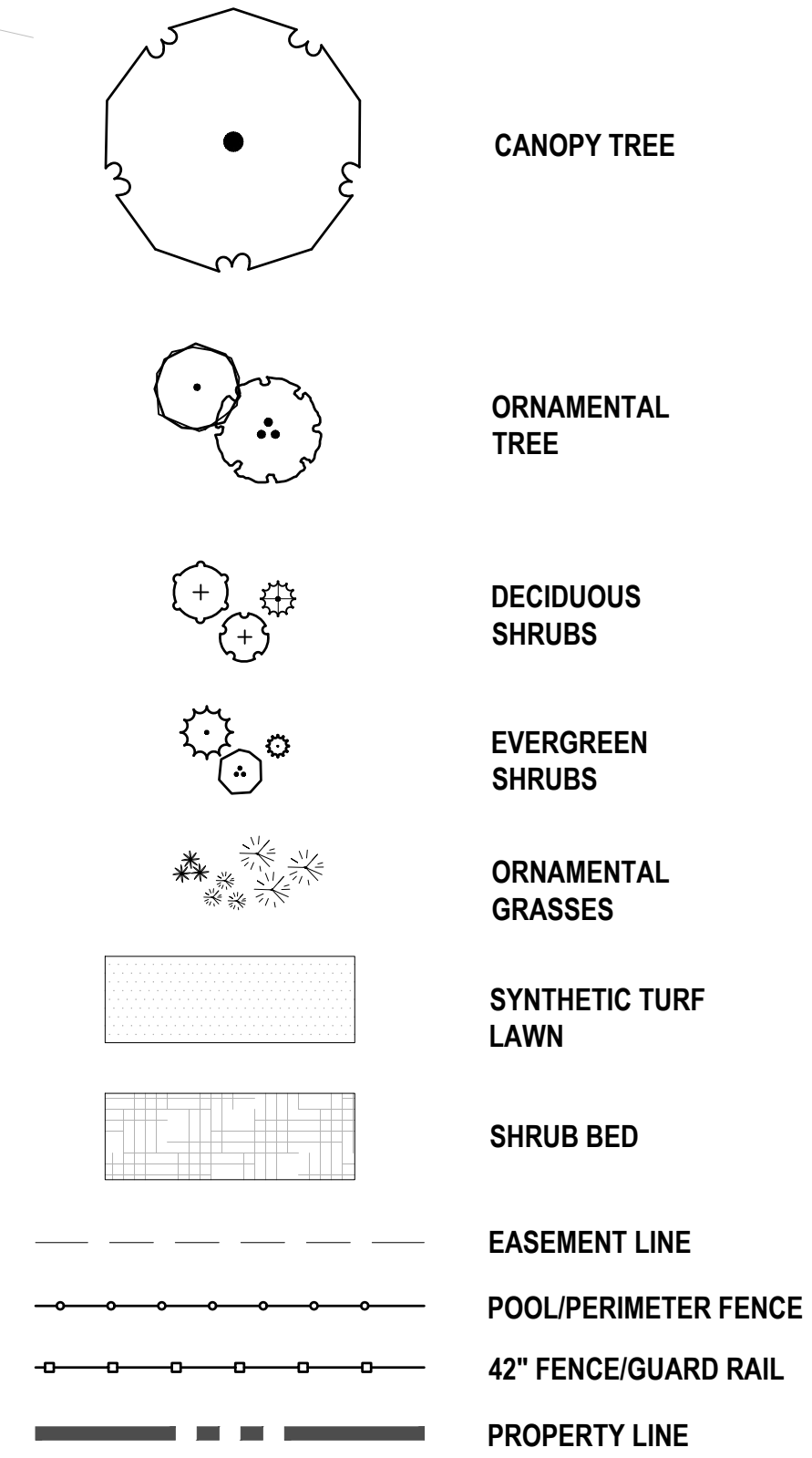
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CITY OF NORTHGLEN, COUNTY OF ADAMS, STATE OF COLORADO

KEY MAP



LEGEND



PLANT SCHEDULE SHEET 1

| DECIDUOUS TREES | COMMON NAME | EVERGREEN SHRUBS | COMMON NAME |
|------------------|-----------------------------|--------------------|----------------------------------|
| CA SP | NORTHERN CATALPA | AR PA | PANCHITO MANZANITA |
| CE OC | COMMON HACKBERRY | HE PA | RED YUCCA |
| GL SH | SHADEMASTER LOCUST | JU BU | BUFFALO JUNIPER |
| GY DI | KENTUCKY COFFEETREE | JU CC | CALGARY CARPET JUNIPER |
| QU MU | CHINKAPIN OAK | JU SC | SCANDIA JUNIPER |
| TI RE | REDMOND AMERICAN LINDEN | | |
| EVERGREEN TREES | COMMON NAME | ORNAMENTAL GRASSES | COMMON NAME |
| PI PO | PONDEROSA PINE | BO BA | BLOND AMBITION BLUE GRAMA GRASS |
| | | CA KF | KARL FOERSTER FEATHER REED GRASS |
| | | HE SE | BLUE OAT GRASS |
| | | MI AD | COMPACT MAIDEN GRASS |
| | | PA SH | SHENANDOAH SWITCH GRASS |
| | | PE HA | HAMELN FOUNTAIN GRASS |
| ORNAMENTAL TREES | COMMON NAME | PERENNIALS | COMMON NAME |
| AC FL | FLAME AMUR MAPLE | CO MO | MOONBEAM TICKSEED |
| MA SS | SPRING SNOW CRAB APPLE | EC PU | CONEFLOWER |
| PR AM | AMERICAN PLUM | HE YP | BLACKBERRY CRISP CORAL BELLS |
| DECIDUOUS SHRUBS | COMMON NAME | | |
| BE BU | BURGUNDY CAROUSEL BARBERRY | | |
| CY SP | SPANISH GOLD BROOM | | |
| LI CH | CHEYENNE PRIVET | | |
| PE AT | RUSSIAN SAGE | | |
| PH CH | LEWIS MOCK ORANGE | | |
| RI GR | GREEN MOUND ALPINE CURRANT | | |
| RI AU | GOLDEN CURRANT | | |
| RO DK | PINK DOUBLE KNOCK OUT® ROSE | | |
| SP LI | LIMEMOUND® SPIREA | | |
| SY MK | MISS KIM LILAC | | |
| VI AL | ALLEGHANY VIBURNUM | | |

NOTE: PEDESTRIAN SIGHT TRIANGLES - NO ITEMS THAT AREA WIDER THAN 18 INCHES MAY BE TALLER THAN 30" INCHES WITHIN THIS TRIANGLE.

CORNER SIGHT TRIANGLE - MUST BE FREE OF ALL ITEMS OVER 30" INCHES HEIGHT EXPECT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.

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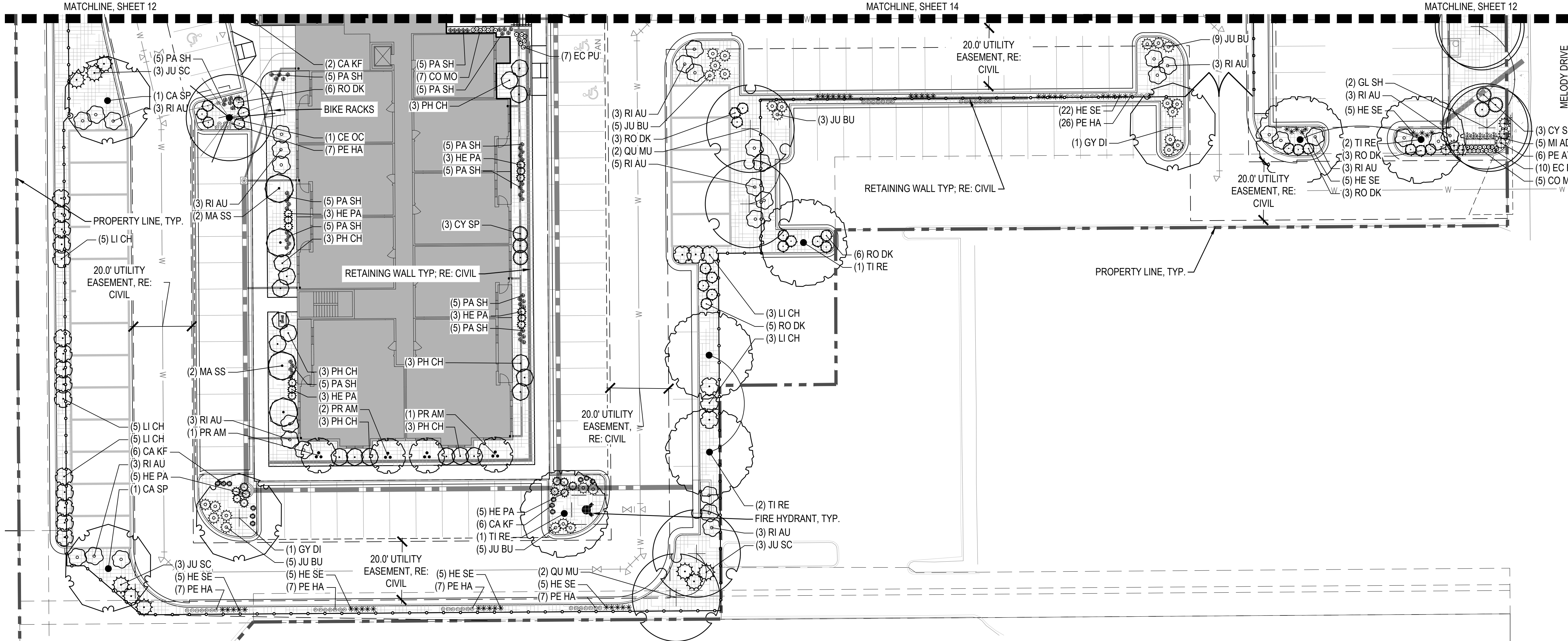
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LANDSCAPE PLAN

SHEET NUMBER
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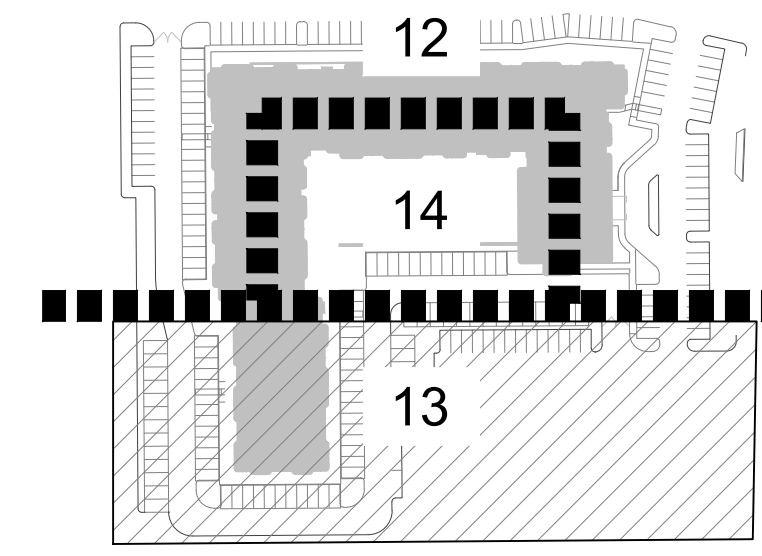


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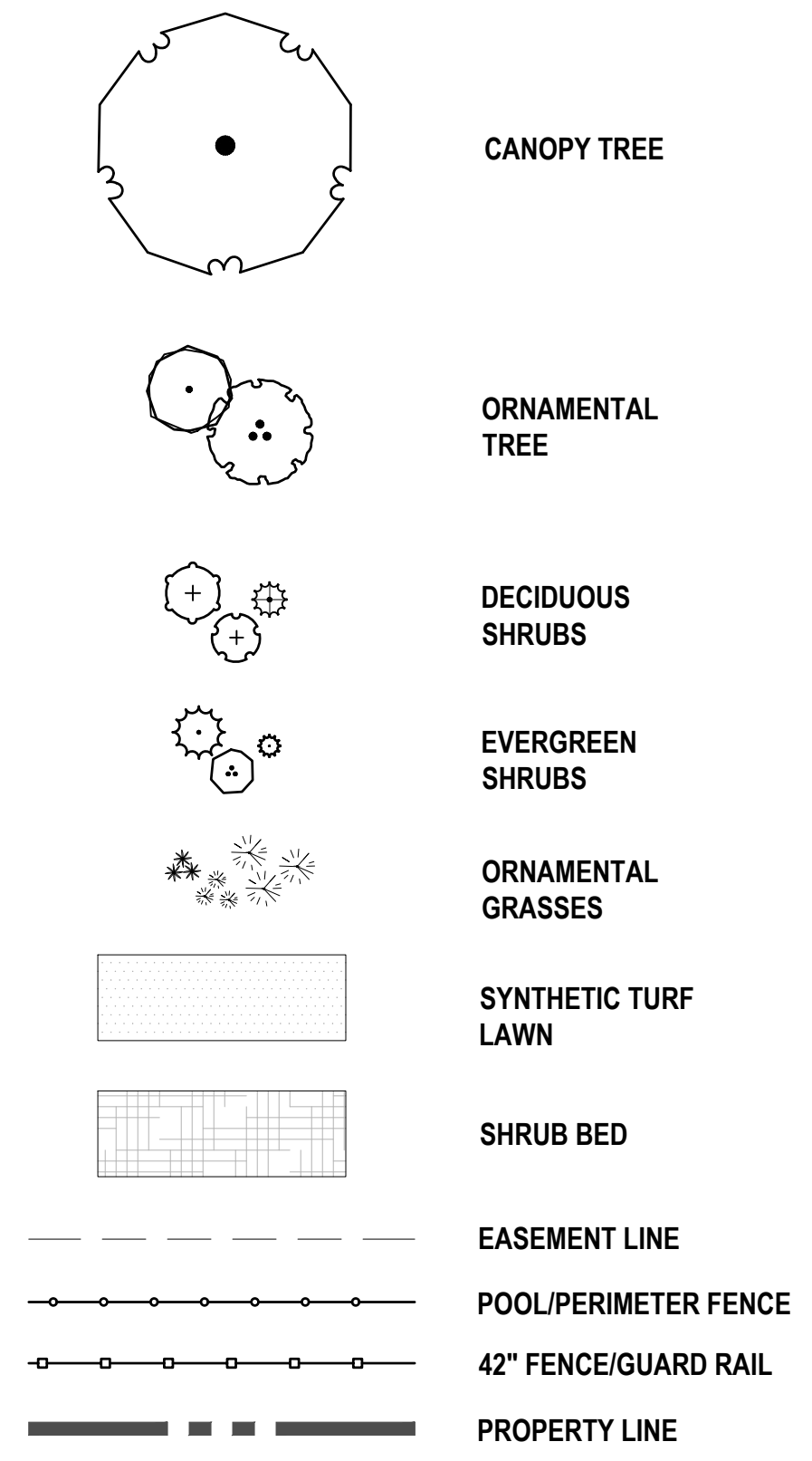
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KEY MAP

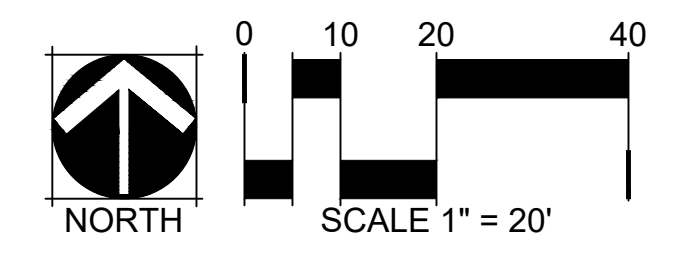


LEGEND



PLANT SCHEDULE SHEET 2

| COMMON NAME | COMMON NAME |
|---------------------------|----------------------------------|
| DECIDUOUS TREES | COMMON NAME |
| CA SP | NORTHERN CATALPA |
| CE OC | COMMON HACKBERRY |
| GL SH | SHADEMASTER LOCUST |
| GY DI | KENTUCKY COFFEETREE |
| QU MU | CHINKAPIN OAK |
| TI RE | REDMOND AMERICAN LINDEN |
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| CY SP | SPANISH GOLD BROOM |
| LI CH | CHEYENNE PRIVET |
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| RI AU | GOLDEN CURRANT |
| RO DK | PINK DOUBLE KNOCK OUT® ROSE |
| EVERGREEN SHRUBS | COMMON NAME |
| HE PA | RED YUCCA |
| JU BU | BUFFALO JUNIPER |
| JU SC | SCANDIA JUNIPER |
| ORNAMENTAL GRASSES | COMMON NAME |
| CA KF | KARL FOERSTER FEATHER REED GRASS |
| HE SE | BLUE OAT GRASS |
| MI AD | COMPACT MAIDEN GRASS |
| PA SH | SHENANDOAH SWITCH GRASS |
| PE HA | HAMELN FOUNTAIN GRASS |
| PERENNIALS | COMMON NAME |
| CO MO | MOONBEAM TICKSEED |
| EC PU | CONEFLOWER |



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SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

13 OF 22

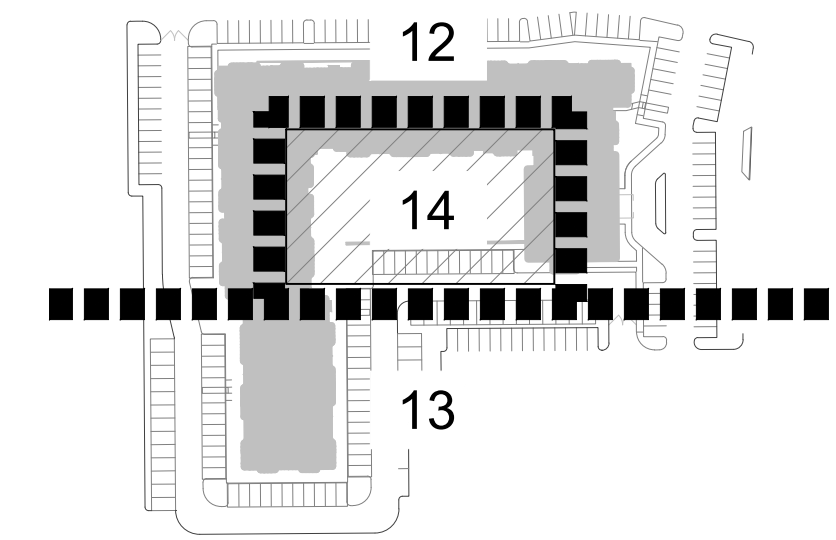


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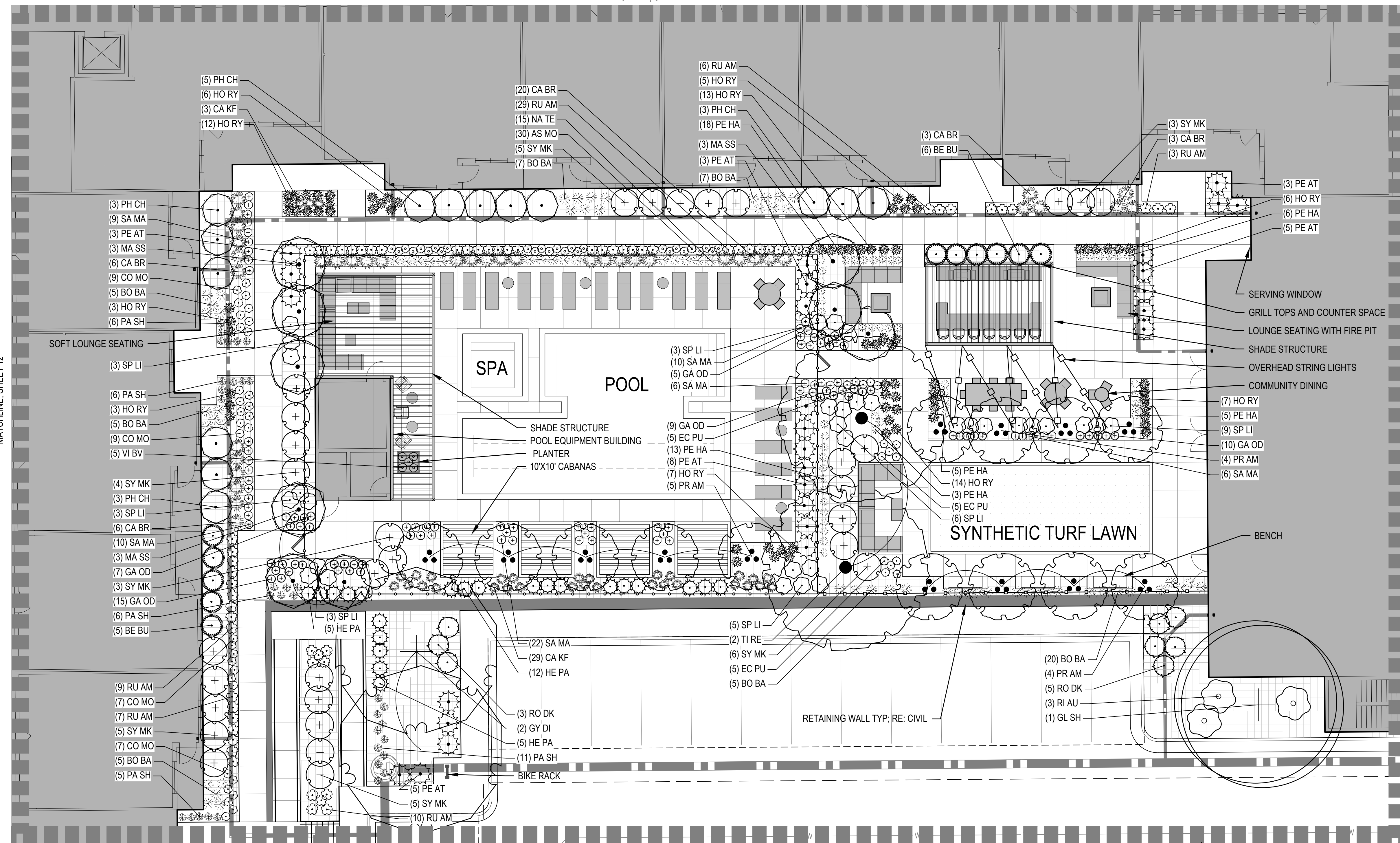
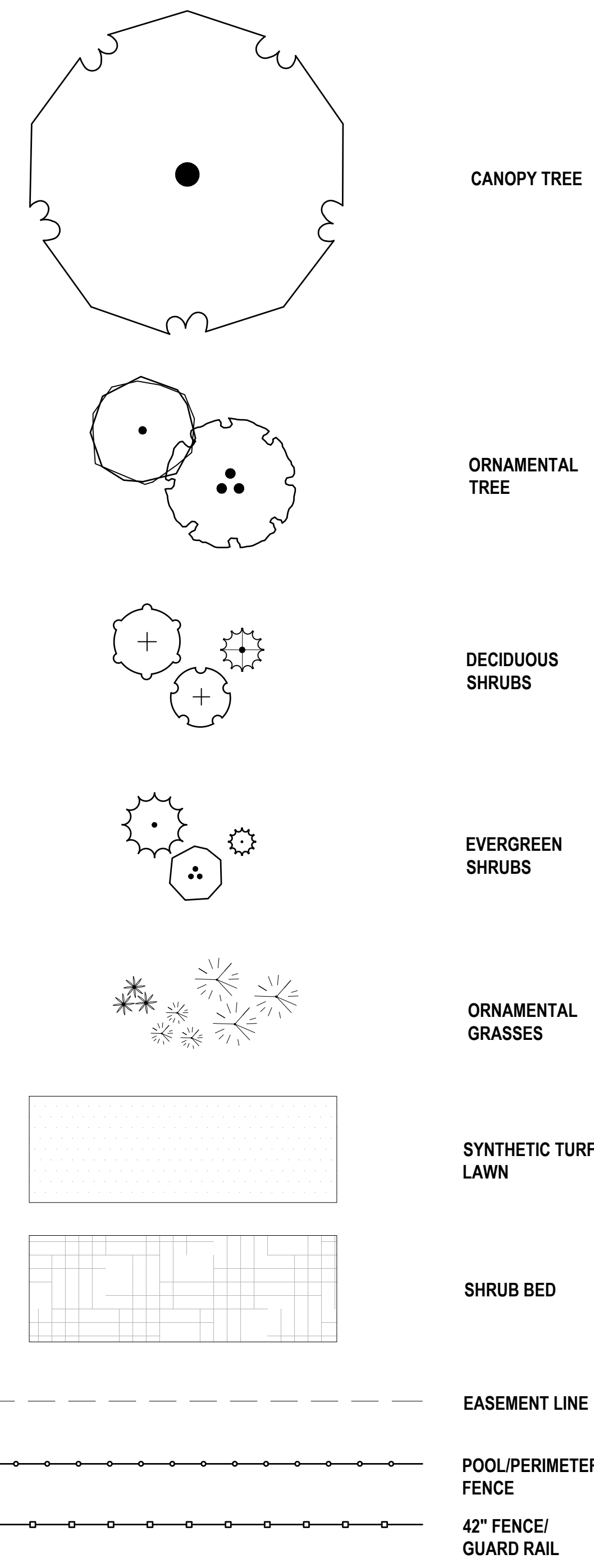
HEADWATERS ACTIVE ADULT LIVING MAJOR SITE PLAN

10691 MELODY DRIVE
LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68
WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

KEY MAP



LEGEND

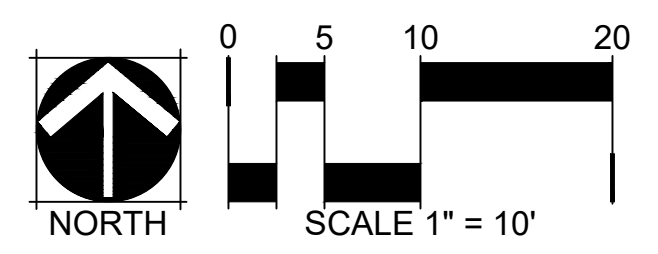


PLANT SCHEDULE COURTYARD ENLARGEMENT

| DECIDUOUS TREES | COMMON NAME | ORNAMENTAL GRASSES | COMMON NAME |
|------------------|-----------------------------|--------------------|----------------------------------|
| GL SH | SHADEMASTER LOCUST | BO BA | BLOND AMBITION BLUE GRAMA GRASS |
| GY DI | KENTUCKY COFFEETREE | CA BR | KOREAN FEATHER REED GRASS |
| TI RE | REDMOND AMERICAN LINDEN | CA KF | KARL FOERSTER FEATHER REED GRASS |
| | | NA TE | MEXICAN FEATHER GRASS |
| | | PA SH | SHENANDOAH SWITCH GRASS |
| | | PE HA | HAMELN FOUNTAIN GRASS |
| ORNAMENTAL TREES | COMMON NAME | PERENNIALS | COMMON NAME |
| MA SS | SPRING SNOW CRAB APPLE | AS MO | MONCH FRIKART'S ASTER |
| PR AM | AMERICAN PLUM | CO MO | MOONBEAM TICKSEED |
| | | EC PU | CONEFLOWER |
| | | GA OD | SWEET WOODRUFF |
| | | HO RY | ROYAL STANDARD HOSTA |
| | | RU AM | BLACK-EYED SUSAN |
| | | SA MA | MAY NIGHT SAGE |
| | | VI BV | BOWLES COMMON PERIWINKLE |
| DECIDUOUS SHRUBS | COMMON NAME | | |
| BE BU | BURGUNDY CAROUSEL BARBERRY | | |
| PE AT | RUSSIAN SAGE | | |
| PH CH | LEWIS MOCK ORANGE | | |
| RI AU | GOLDEN CURRANT | | |
| RO DK | PINK DOUBLE KNOCK OUT® ROSE | | |
| SP LI | LIMEMOUND® SPIREA | | |
| SY MK | MISS KIM LILAC | | |
| EVERGREEN SHRUBS | COMMON NAME | | |
| HE PA | RED YUCCA | | |

NOTE: PEDESTRIAN SIGHT TRIANGLES - NO ITEMS THAT AREA WIDER THAN 18 INCHES MAY BE TALLER THAN 30" INCHES WITHIN THIS TRIANGLE.

CORNER SIGHT TRIANGLE - MUST BE FREE OF ALL ITEMS OVER 30" INCHES HEIGHT EXPECT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.



HEADWATERS GROUP
PROJECT: HEADWATERS ACTIVE ADULT LIVING
10691 MELODY DR NORTHGLENN, CO
PREPARED FOR: HG AA NORTHGLENN, LLC
288 CLAYTON STREET, SUITE 307 DENVER, CO 80206
DESIGN MANAGER: JEFF HOFFMAN
T: (312) 617-5739

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| No. | Description | Date |
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| 1 | SITE PLAN SUBMITTAL 01 | 2.10.2023 |

KH PROJECT NO.: 196563001

SHEET TITLE
COURTYARD ENLARGEMENT

SHEET NUMBER
14 OF 22



HEADWATERS ACTIVE ADULT LIVING MAJOR SITE PLAN

10691 MELODY DRIVE
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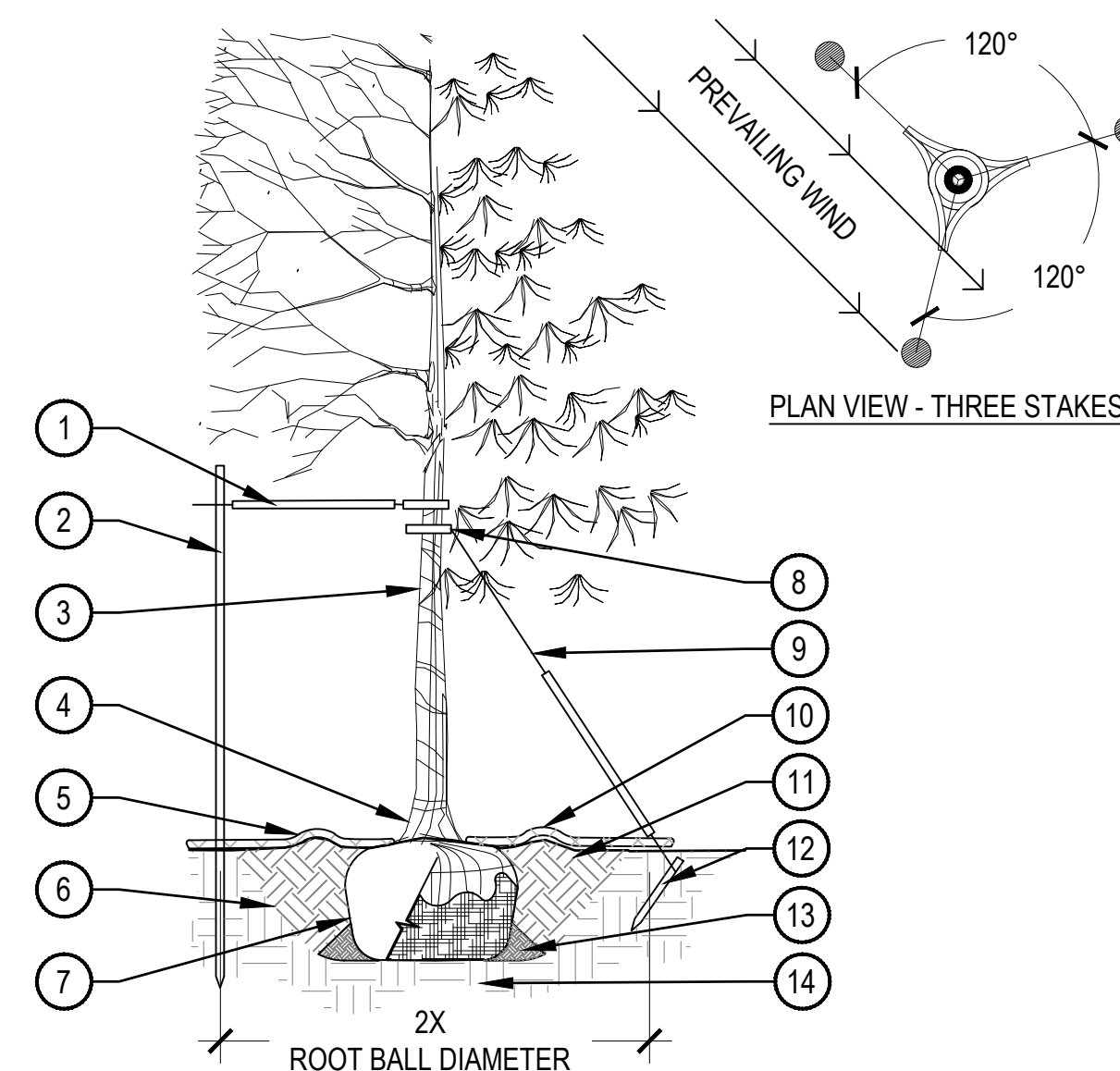
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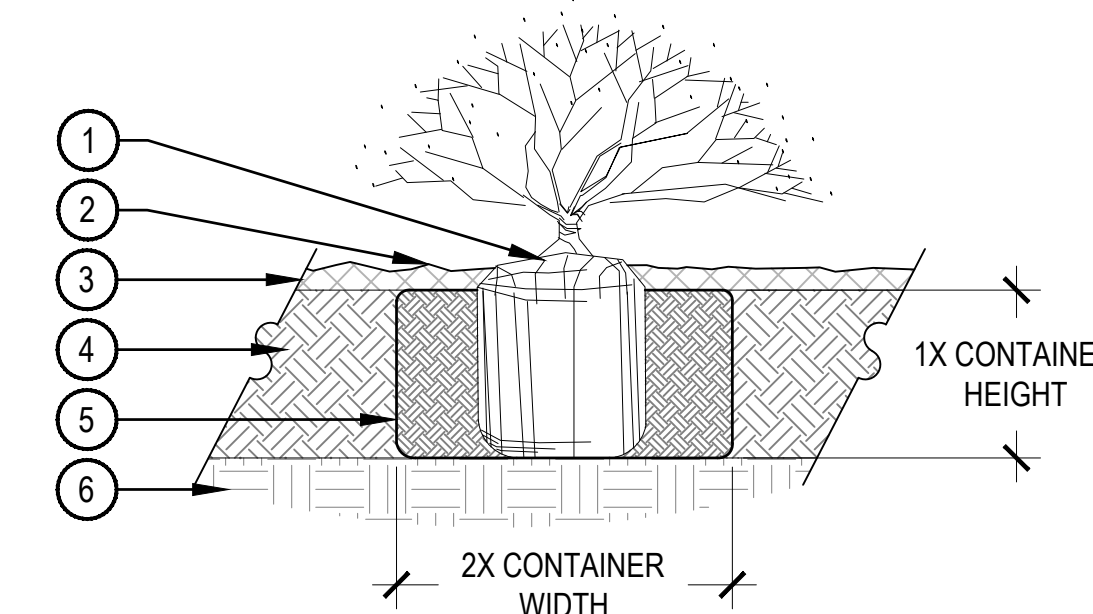
DETAILS

SHEET NUMBER

15 OF 22



- 1 PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
- 2 6'-0" UNTREATED WOOD POST, MINIMUM 1.5" DIAMETER, ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL
- 3 TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30, DECIDUOUS ONLY, WRAP FROM BASE OF TRUNK TO BOTTOM LIMB
- 4 PLANT TREE SO THAT TOP MOST MAJOR ROOT IS 1"-2" ABOVE FINISHED GRADE
- 5 2'-0" RADIUS MULCH RING, CENTERED ON TRUNK, 3" DEPTH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
- 6 1:1 SLOPE ON SIDES OF PLANTING HOLE
- 7 ROPES AT TOP OF ROOTBALL SHALL BE CUT, REMOVE TOP 1/3 OF BURLAP, NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
- 8 GROMMETED NYLON STRAPS
- 9 GALVANIZED WIRE, MINIMUM 12 GAUGE CABLE, TWIST WIRE ONLY TO KEEP FROM SLIPPING
- 10 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
- 11 BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20%, BY VOLUME, ORGANIC MATERIAL, WATER THOROUGHLY WHEN BACKFILLING
- 12 2'-0" STEEL T-POST, ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL
- 13 PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
- 14 PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT



- NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
 4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
 5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

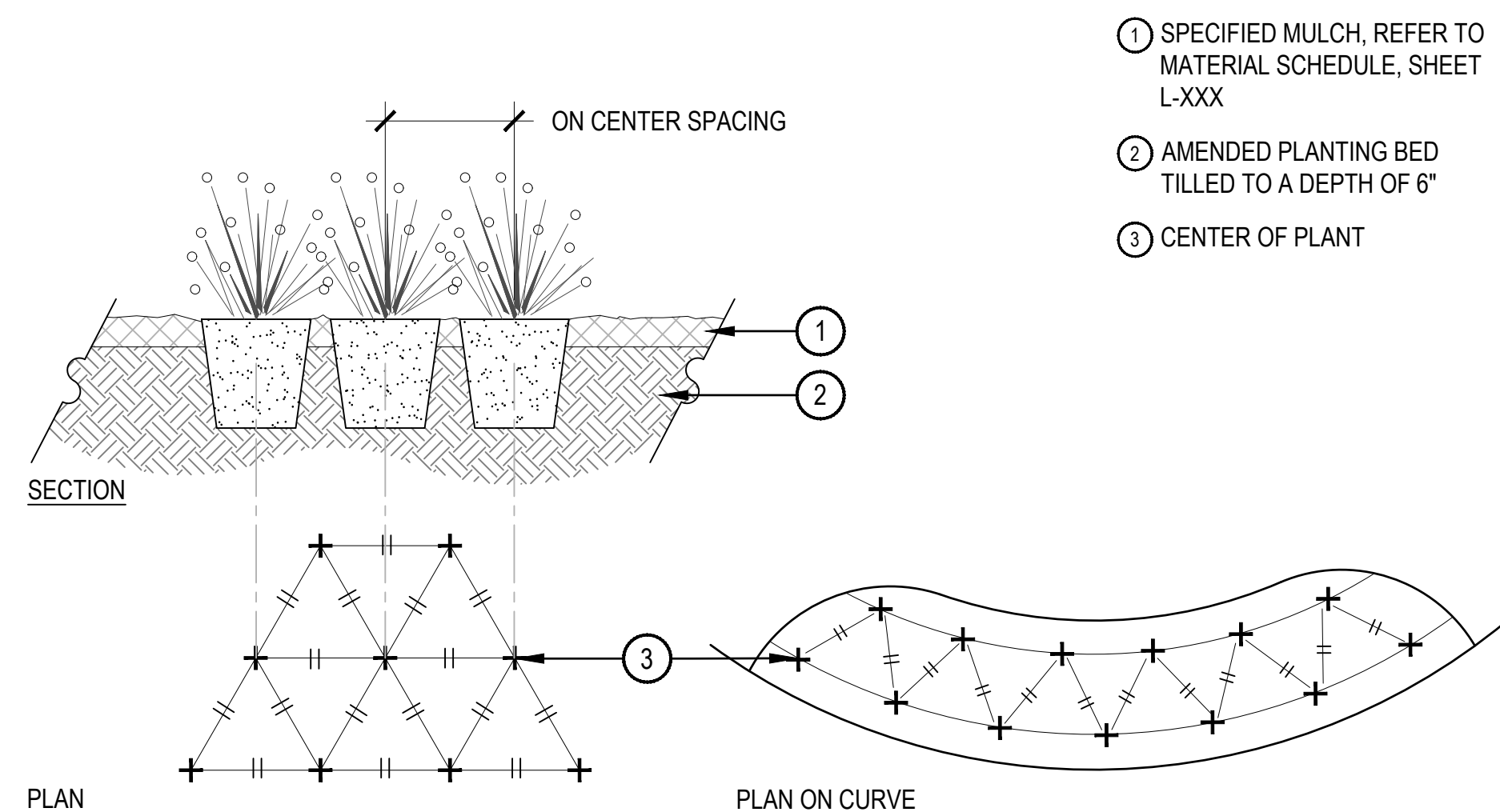
- PRUNING NOTES:
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:
1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - a. 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).
 - b. 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
 - c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
 2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

1 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"

2 SHRUB PLANTING

SCALE: 1 1/2" = 1'-0"



- NOTES:
1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.

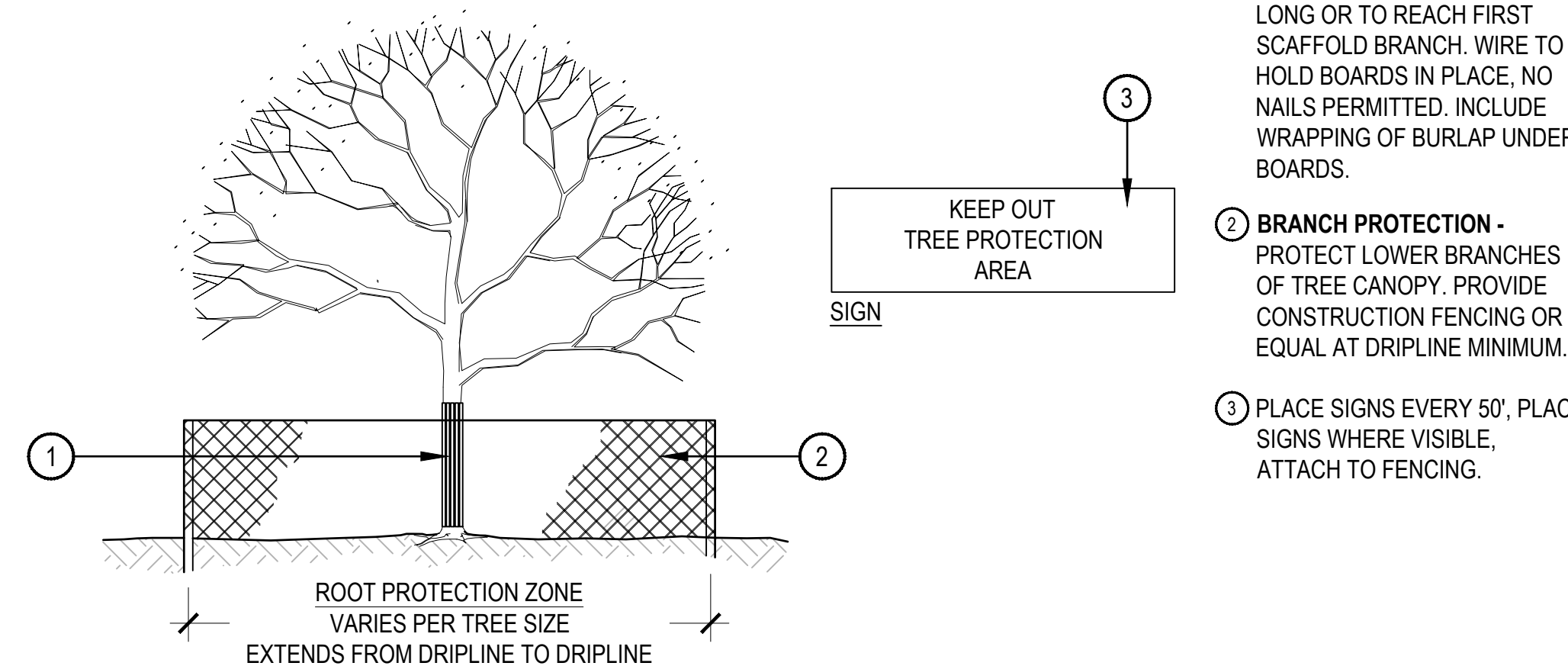
3 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

- NOTES:
1. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
 2. TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
 3. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
 4. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
 5. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
 6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. ROOTS SHALL BE CUT NO MORE THAN 1/3 OF THE RADIUS FROM DRIPLINE TO TRUNK. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, DURING DORMANCY PERIOD. ROOT STIMULATOR SHALL BE APPLIED TO CUT ROOTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
 7. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, DURING DORMANCY PERIOD. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
 8. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.

4 TREE PROTECTION

SCALE: 1/8" = 1'-0"



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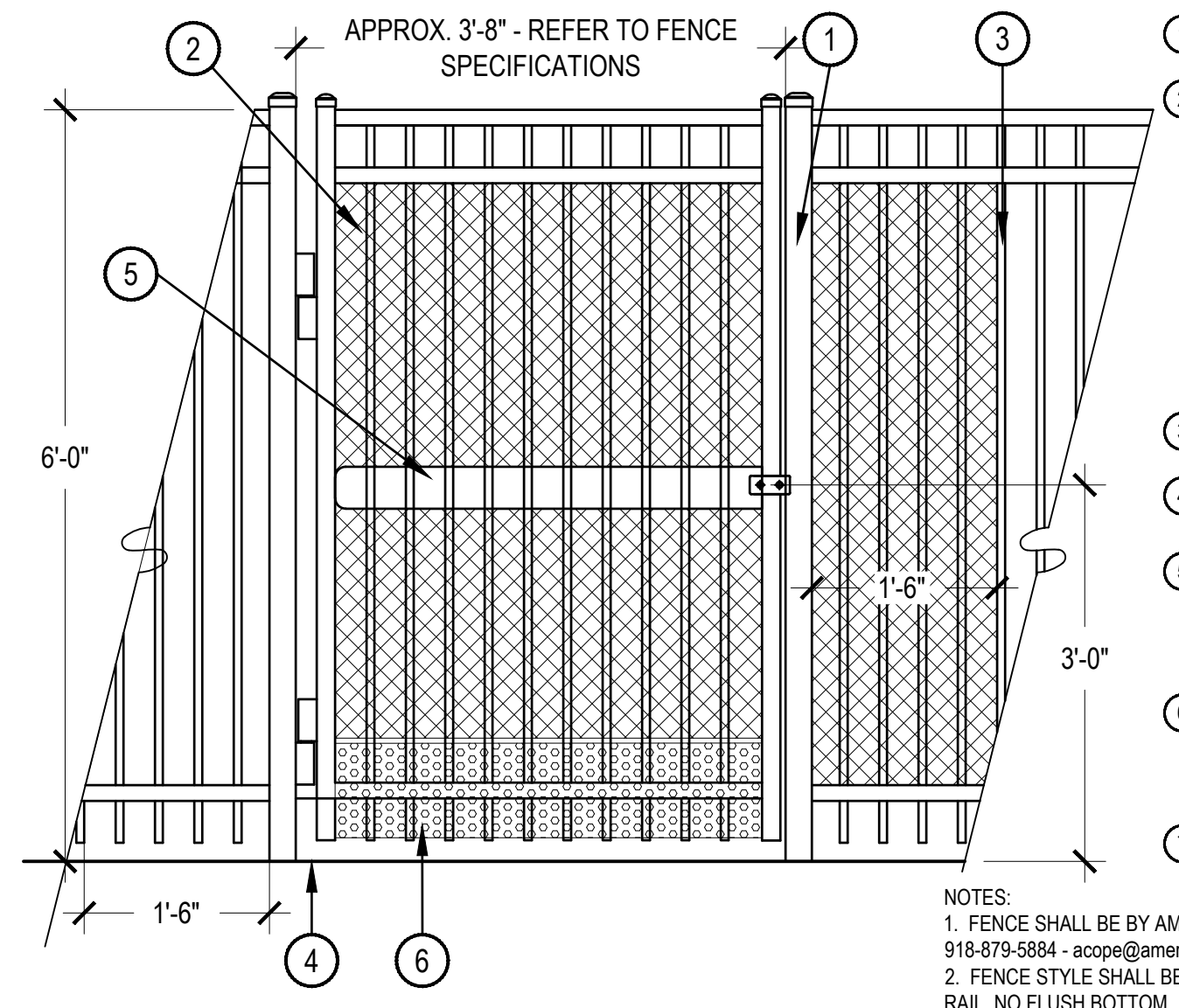
KH PROJECT NO.: 196563001

SHEET TITLE

DETAILS

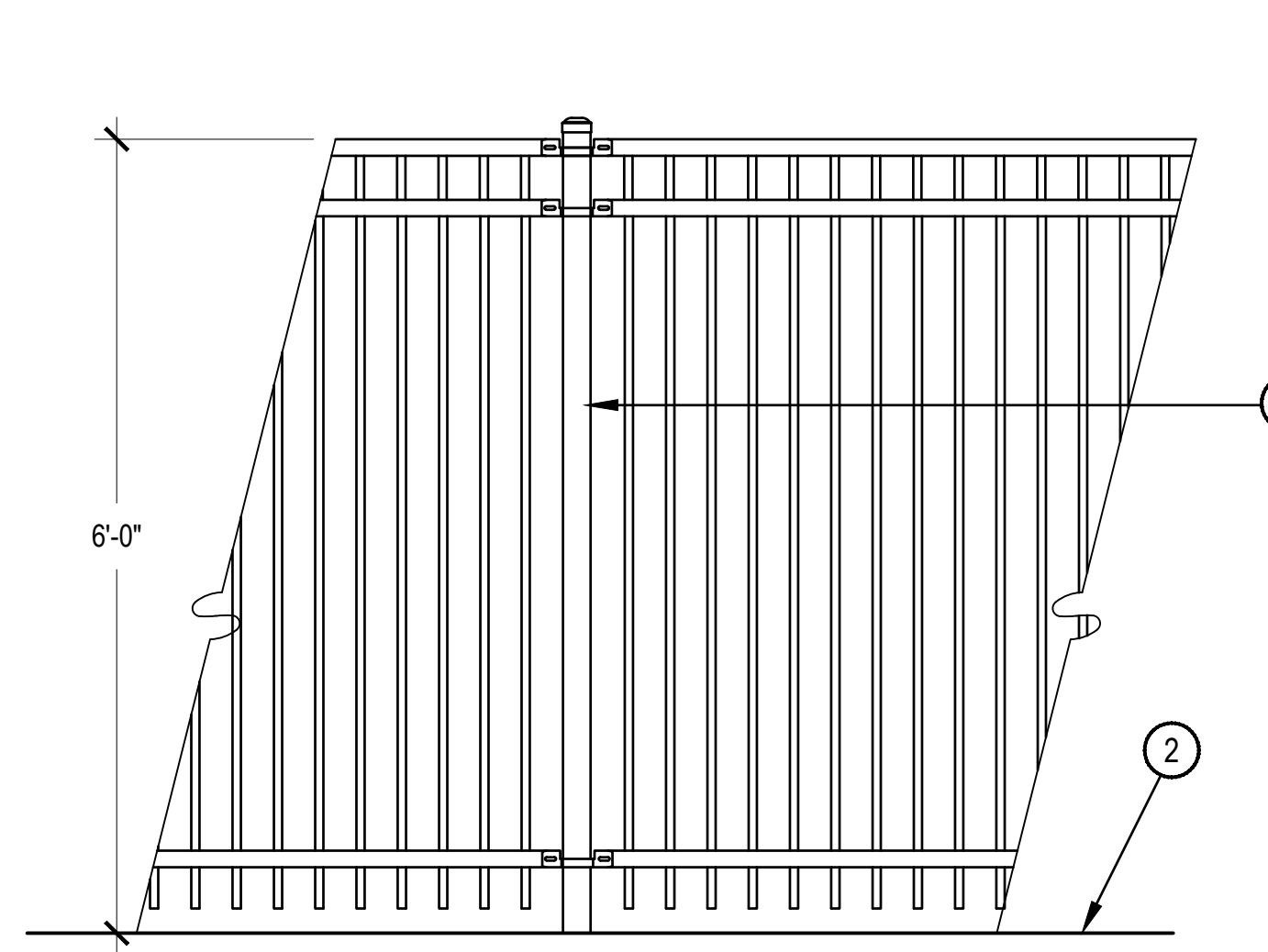
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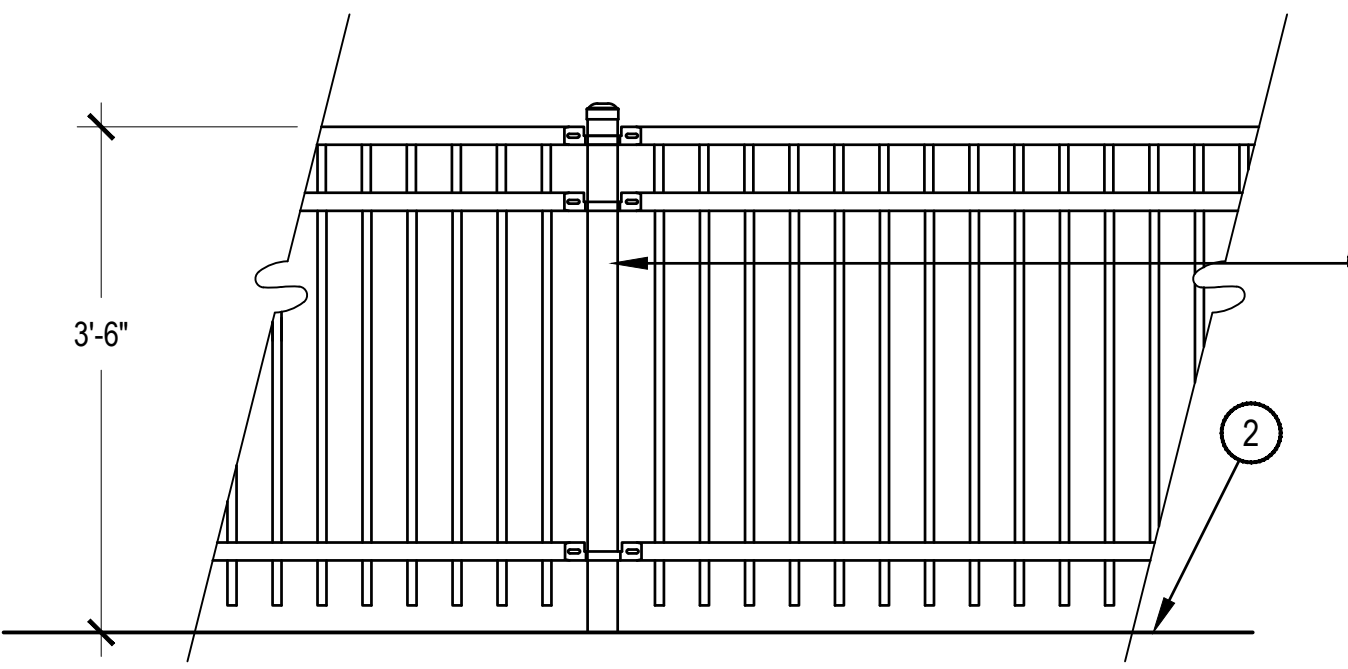
- ① GATE POST TYP.
 - ② GATE: ALL GATES SHALL BE SELF CLOSING W/ GATE LOCK TO BE APPROVED BY OWNER. ALL POOL GATES SHALL MEET CURRENT STATE AND IBC POOL ENCLOSURE CODE REQUIREMENTS. PROVIDE PANIC HARDWARE ON PUSH SIDE OF GATE FOR EGRESS, SPRING HINGES, LEVER HANDLE LOCK SET WITH PUSH BUTTON KEYED ENTRY ON PULL SIDE.
 - ③ ORNAMENTAL METAL FENCE
 - ④ FINISH GRADE
 - ⑤ PANIC BAR INSIDE. TO MEET ALL ADA HEIGHT REQUIREMENTS
 - ⑥ KICK PLATE, 10" HEIGHT PERFORATED POWDER COATED TO MATCH FENCE; STEEL PLATING WITH NO GAPS GREATER THAN 3/8"; TO COMPLY WITH ANSI 2009, 404.2.10
 - ⑦ PERFORATED METAL PANEL
- NOTES:
1. FENCE SHALL BE BY AMERISTAR FENCE OR APPROVED EQUAL. CONTACT: AARON COPE 918-879-5884 - acope@ameristarfence.com - www.ameristarfence.com
2. FENCE STYLE SHALL BE: MONTAGE PLUS (STANDARD 4" PICKET SPACING) MAGESTIC - 3 RAIL, NO FLUSH BOTTOM
4. COLOR: BLACK
5. REFER TO MANUFACTURERS FENCE SPECIFICATIONS FOR INFORMATION ON FOOTER DEPTH

1 POOL GATE SCALE: 3/4" = 1'-0"



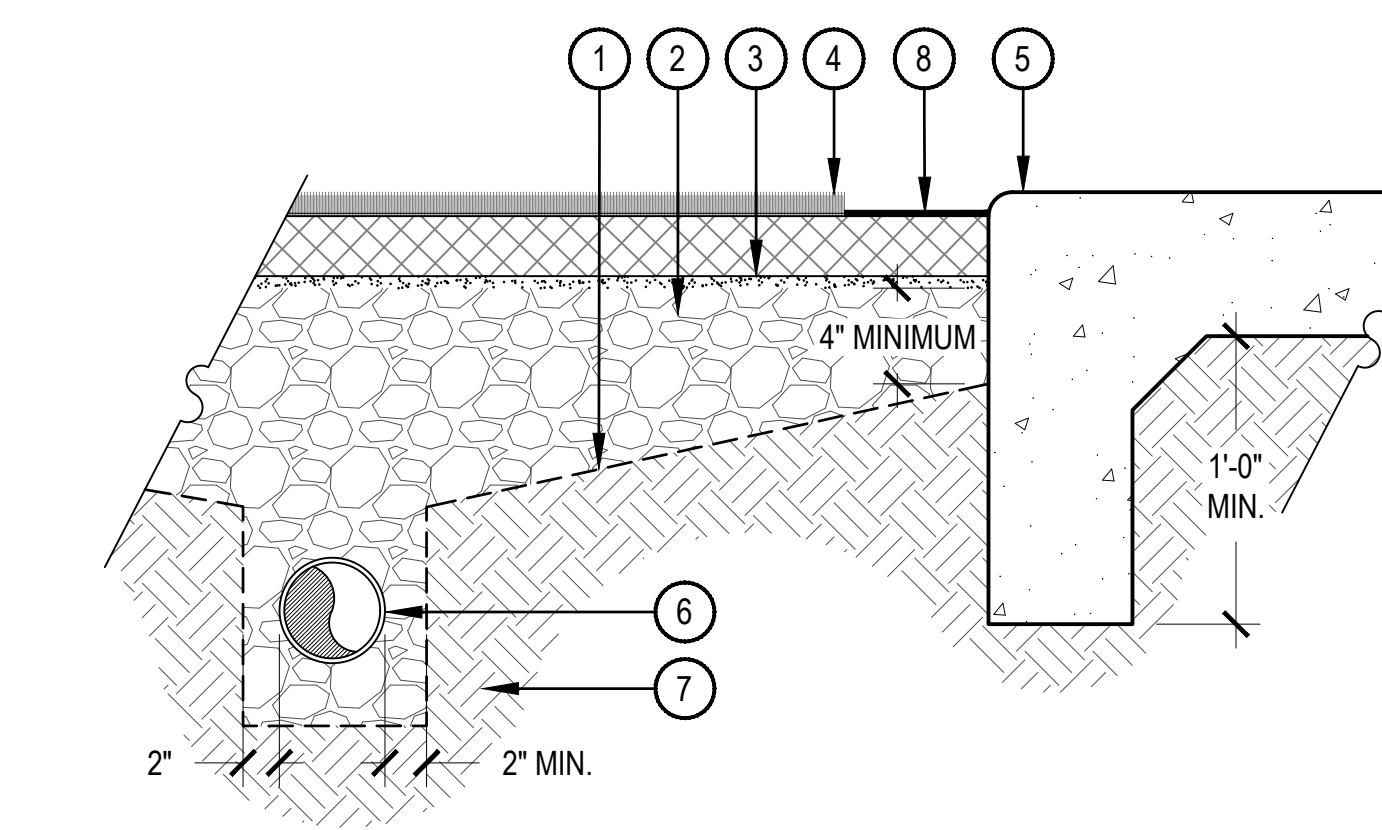
- ① FENCE POST - SET IN CONCRETE FOOTER, REFER TO FENCE SPECIFICATIONS FOR FOOTER INFORMATION
 - ② FINISH GRADE
- NOTES:
1. FENCE SHALL BE BY AMERISTAR FENCE OR APPROVED EQUAL. CONTACT: AARON COPE 918-879-5884 acope@ameristarfence.com www.ameristarfence.com
2. FENCE STYLE SHALL BE: MONTAGE PLUS (STANDARD 4" PICKET SPACING) MAGESTIC - 3 RAIL, NO FLUSH BOTTOM
4. COLOR: BLACK

2 POOL/PERIMETER FENCE SCALE: 3/4" = 1'-0"



- ① FENCE POST - SET IN CONCRETE FOOTER, REFER TO FENCE SPECIFICATIONS FOR FOOTER INFORMATION
 - ② FINISH GRADE
- NOTES:
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2. FENCE STYLE SHALL BE: MONTAGE PLUS (STANDARD 4" PICKET SPACING) MAGESTIC - 3 RAIL, NO FLUSH BOTTOM
4. COLOR: BLACK

3 42" FENCE/GUARD RAIL SCALE: 3/4" = 1'-0"



- ① GEOTEXTILE FABRIC
 - ② 3/4" ROAD BASE, COMPACTED
 - ③ SAND AS NEEDED FOR LEVELING
 - ④ SYNTHETIC TURF, SEE MATERIAL SCHEDULE SHEET
 - ⑤ THICKENED EDGE SLAB
 - ⑥ 4" PERFORATED PVC PIPE, 1% MINIMUM SLOPE, REFER TO PLANS FOR LOCATION, RE: CIVIL
 - ⑦ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
 - ⑧ 6" ADA METAL STRIP
- NOTES:
1. COORDINATE ELEVATION AND DRAINAGE CONNECTION WITH CIVIL.
2. REFER TO SYNTHETIC TURF MANUFACTURER AND SPECIFICATIONS FOR ALL INSTALLATIONS AND CONNECTIONS.

4 SYNTHETIC TURF AT CONCRETE CURB SCALE: 1 1/2" = 1'-0"

P:\Headwaters Northglenn - 1072-01-3400 Drawings\Submittals\PLAN-HEADWATERS-NORTHGLENN.dwg, Grace Dusembury, 2/21/2023 4:26 PM
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KH PROJECT NO.: 196563001

SHEET TITLE

DETAILS

SHEET NUMBER

17 OF 22



KEYSTONE RIDGE DESIGNS
HARMONY LITTER RECEPTACLE
COLOR: MATTE BLACK (OR APPROVED EQUAL)



MANUFACTURER: KEYSTONE
RIDGE DESIGNS
PRODUCT: SONANCE
MODEL #: SNO1-3
COLOR: MATTE BLACK

NOTE: EACH BIKE RACK
HOLDS 2 BIKES, 1 PER EACH
SIDE. INSTALL PER
MANUFACTURER'S
SPECIFICATION.

1 TRASH RECEPTACLE

SCALE: 3/4" = 1'-0"

2 BIKE RACK

SCALE: 1/8" = 1'-0"



KEYSTONE RIDGE DESIGNS (OR APPROVED EQUAL)

PRODUCT: RB26

DESCRIPTION: ROBINSON BENCH WITH BACK 6 FT

SIZE: 72" LENGTH, 24 1/2" WIDTH, 31 1/8" HEIGHT

MATERIALS: POLYESTER POWDER COATED CAST ALUMINUM, LPE HARDWOOD SLATS

COLOR: BLACK

SURFACE MOUNT; TO CONCRETE, OR REFER TO 6/LD3 WHEN MOUNTING IN CRUSHER FINES

<http://www.keystoneridgedesigns.com/products/ProductDetail.asp?prodid=1750>

NOTE:
MOUNT AND INSTALL PER
MANUFACTURER'S SPECIFICATIONS



AS SHOWN OR SIMILAR
TYPE PET PICKUP
STATION

3 BENCH

NTS

4 PET PICK-UP STATION

SCALE: 3/4" = 1'-0"



Know what's below.
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DESIGNED BY: MA/SD/TB/DJ/NS
DRAWN BY: DJ/SD/TB
CHECKED BY: TB/HP
DATE: 02/10/2023

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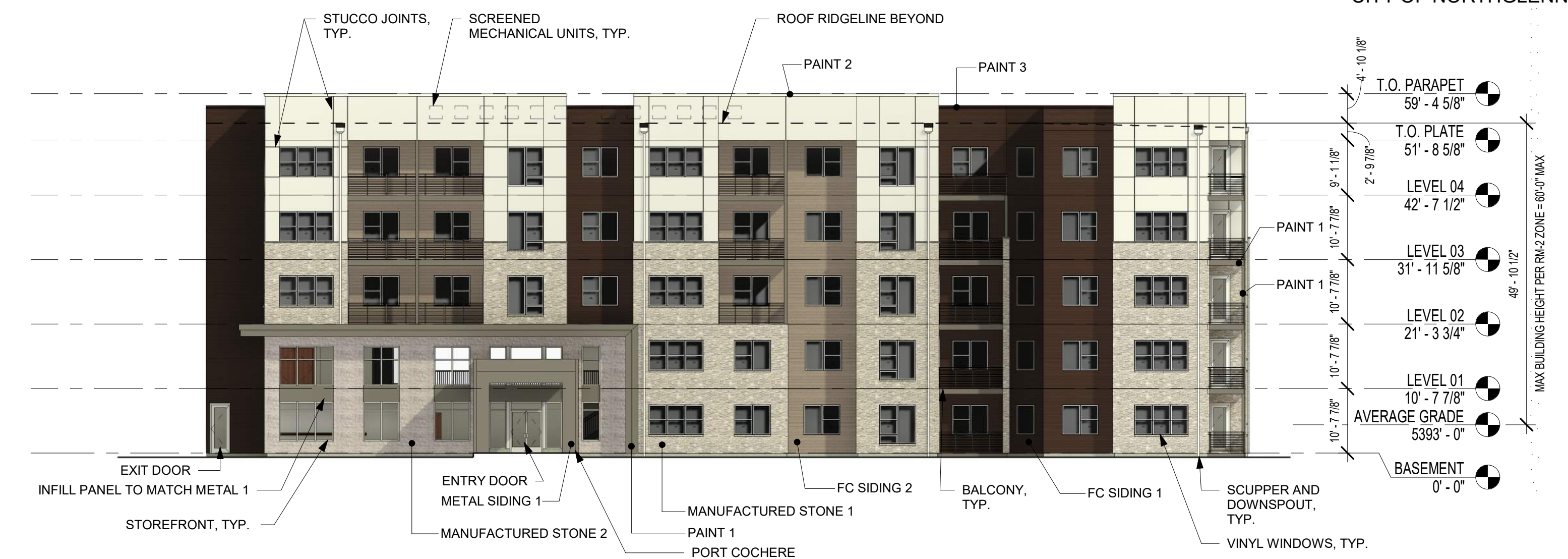
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KH PROJECT NO.: 196563001

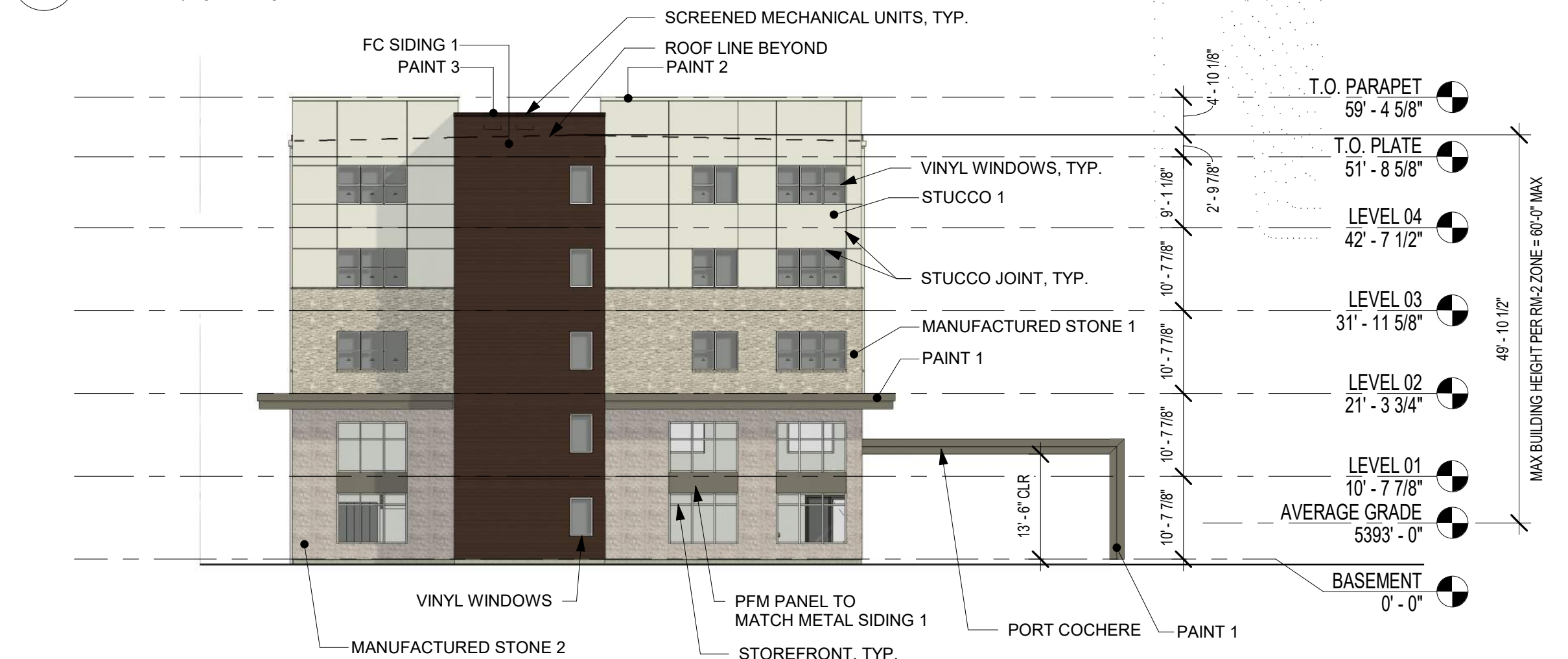
SHEET TITLE
BUILDING ELEVATIONS

SHEET NUMBER:

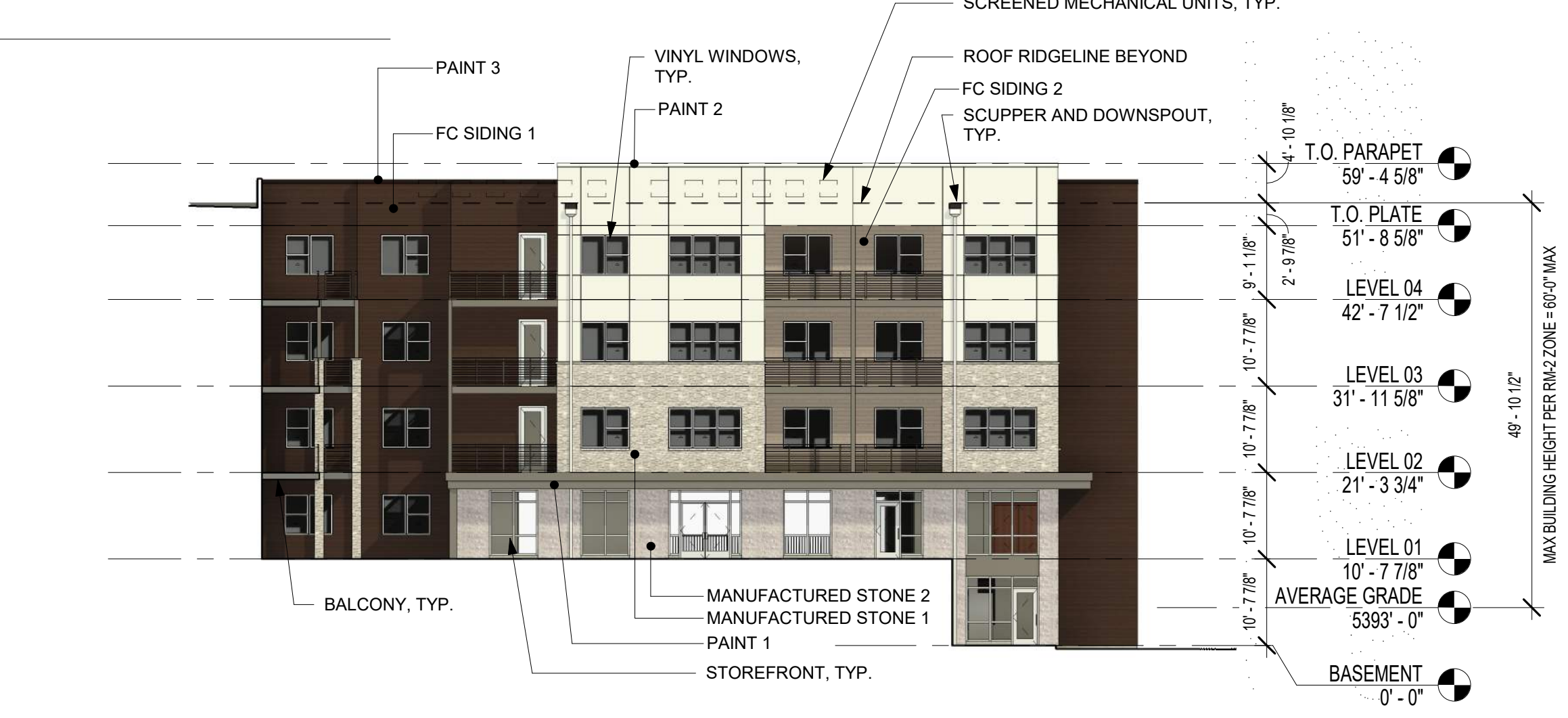
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1 SITE PLAN BUILDING ELEVATION - EAST ELEVATION
SCALE: 1/16" = 1'-0"



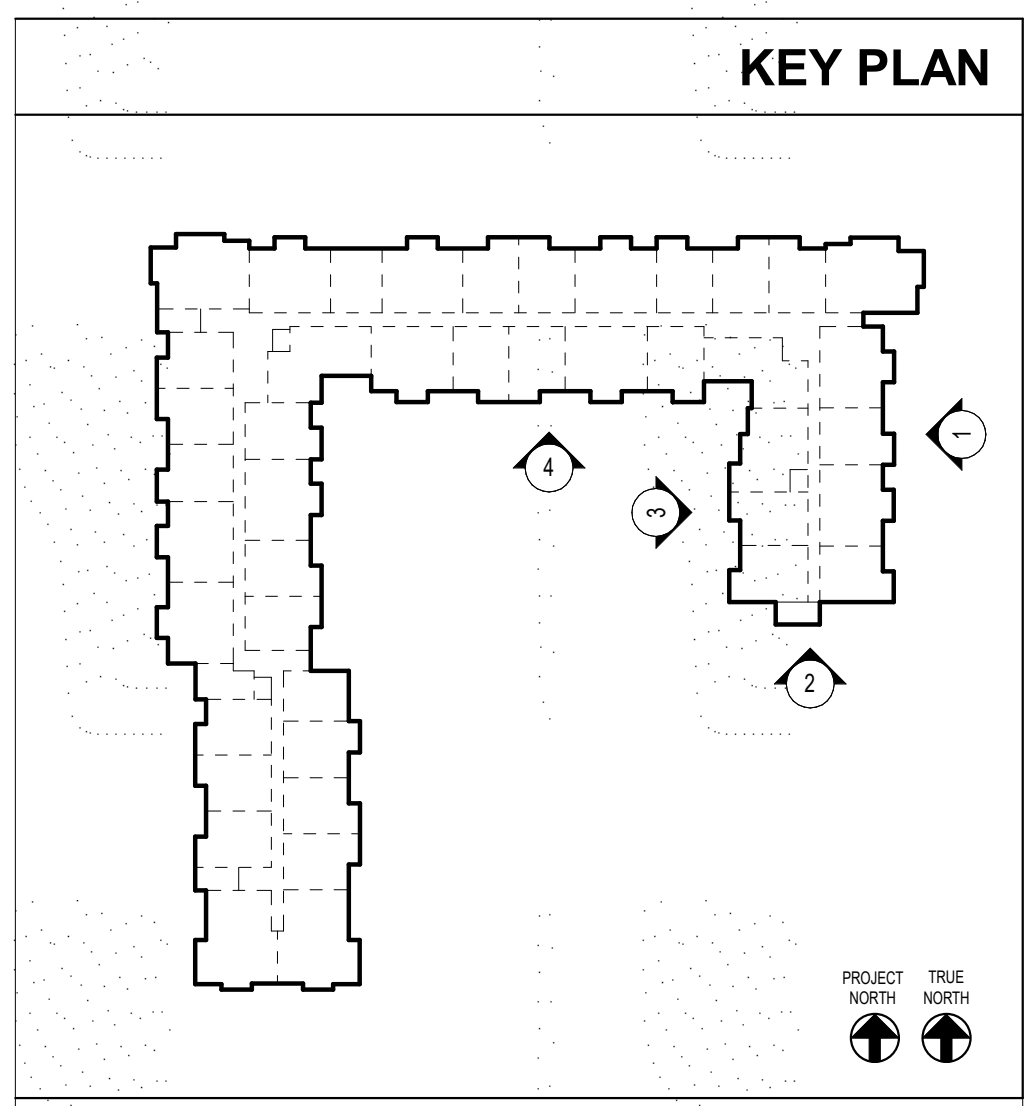
2 SITE PLAN BUILDING ELEVATION - SOUTHEAST ELEVATION
SCALE: 1/16" = 1'-0"



3 SITE PLAN BUILDING ELEVATION - COURTYARD WEST ELEVATION
SCALE: 1/16" = 1'-0"



4 SITE PLAN BUILDING ELEVATION - COURTYARD SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



KEY PLAN

SITE PLAN MATERIAL LEGEND

| IMAGE TAG | NAME | DESCRIPTION |
|-----------|------------------------|--|
| | 1 MANUFACTURED STONE 1 | MANUFACTURED STONE OF VARIETY OF SHAPES WITH OFF WHITE, GRAY, AND MUTED COLOR HUES |
| | 2 MANUFACTURED STONE 2 | OFF WHITE TEXTURED STONE |
| | 3 STUCCO 1 | OFF WHITE |
| | 4 FC SIDING 1 | DARK BROWN |
| | 5 FC SIDING 2 | DARY GRAY |
| | 6 METAL SIDING 1 | MUTED BRONZE |
| | 7 PAINT 1 | PAINT TO MATCH METAL SIDING 1 |
| | 8 PAINT 2 | PAINT TO MATCH STUCCO 1 |
| | 9 PAINT 3 | PAINT TO MATCH FC SIDING 1 |
| | 10 STOREFRONT | CLEAR ANODIZED |



Know what's below.
Call before you dig.

HEADWATERS ACTIVE ADULT LIVING MAJOR SITE PLAN

10691 MELODY DRIVE
LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68
WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



HEADWATERS
GROUP

PROJECT:
HEADWATERS ACTIVE
ADULT LIVING
10691 MELODY DR
NORTHGLENN, CO
PREPARED FOR:
HG AA NORTHGLENN, LLC
288 CLAYTON STREET, SUITE 307
DENVER, CO 80206
DESIGN MANAGER:
JEFF HOFFMAN
T: (312) 617-5739

Kimley»Horn

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ASSOCIATES, INC.
3801 AUTUMN WAY, SUITE
210
FORT COLLINS, CO 80525
T: (303) 228-2300

SANTULAN
ARCHITECTURE

SANTULAN ARCHITECTURE
3457 RINGSBY COURT, UNIT
209
DENVER, CO 80216
T: (303) 825-2595

NORRIS DESIGN
Planning | Landscape Architecture | Branding

NORRIS DESIGN
LANDSCAPE ARCHITECT
1101 B ANNOCK STREET
DENVER, CO 80204
T: (303) 892-1166

DESIGNED BY: MA/SD/TB/DJ/NS
DRAWN BY: DJ/SD/TB
CHECKED BY: TB/HP
DATE: 02/10/2023

PROFESSIONAL SEALS

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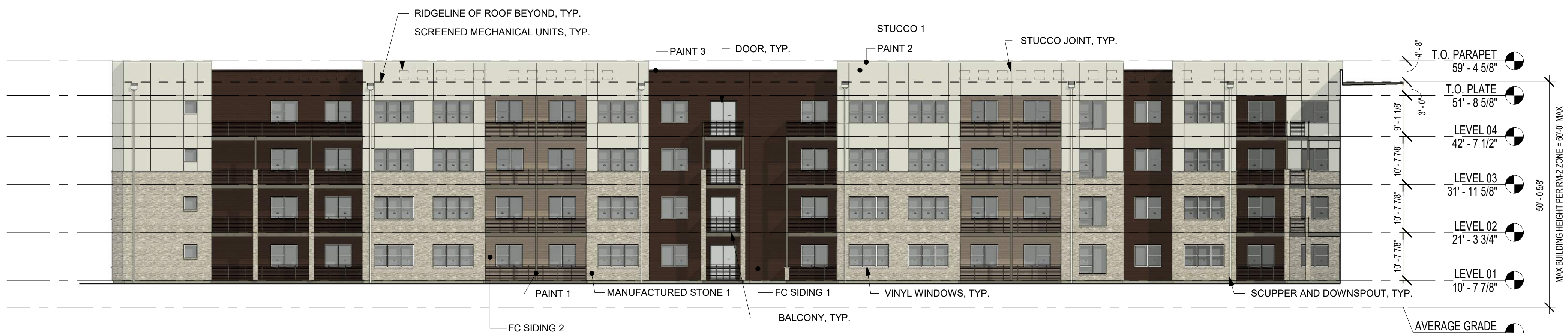
| No. | Description | Date |
|-----|-----------------------|------------|
| | SITE PLAN SUBMITTAL 1 | 02.10.2023 |

KH PROJECT NO.: 196563001

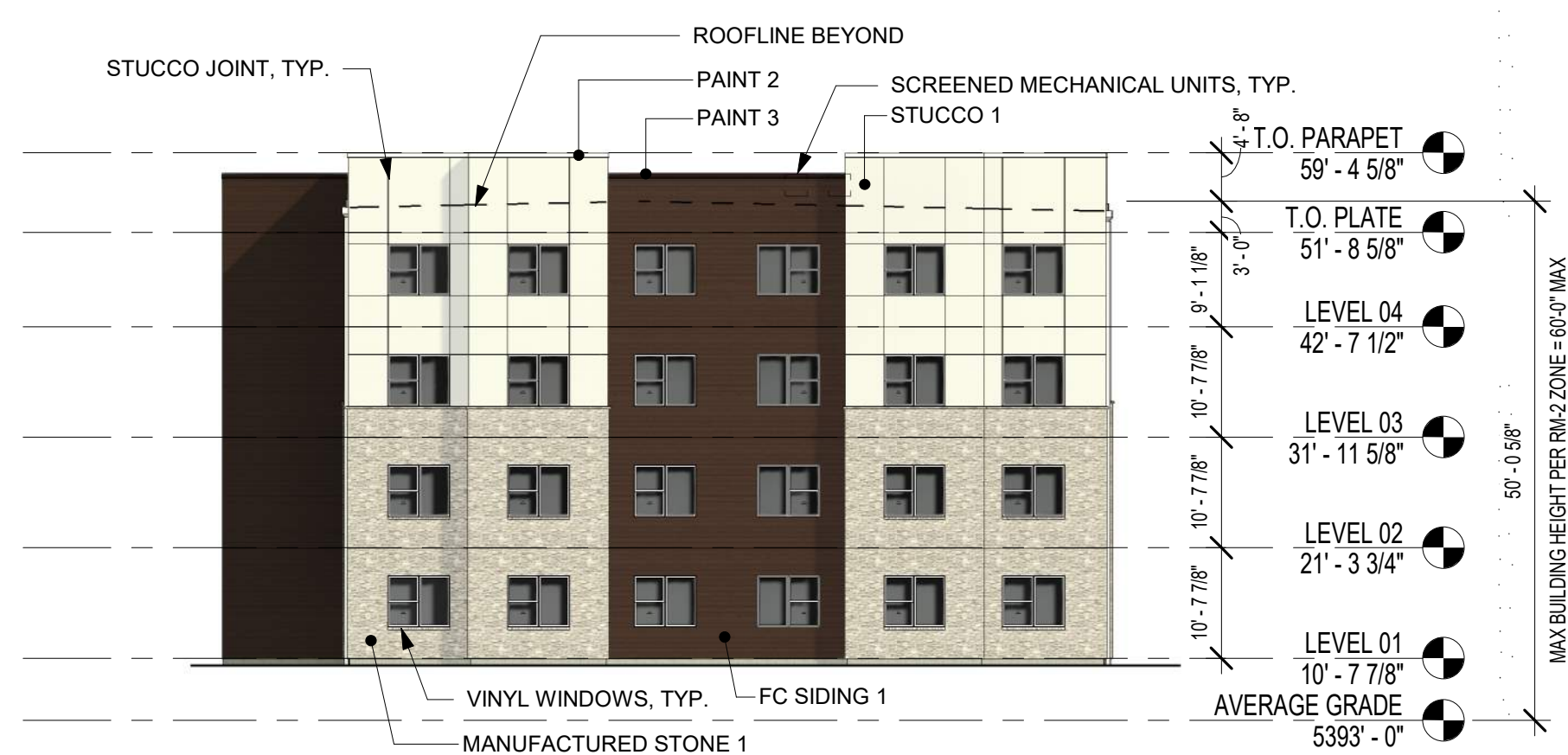
SHEET TITLE
**BUILDING
ELEVATIONS**

SHEET NUMBER:

19 of 22



1 SITE PLAN BUILDING ELEVATION - COURTYARD EAST
ELEVATION
SCALE: 1/16" = 1'-0"

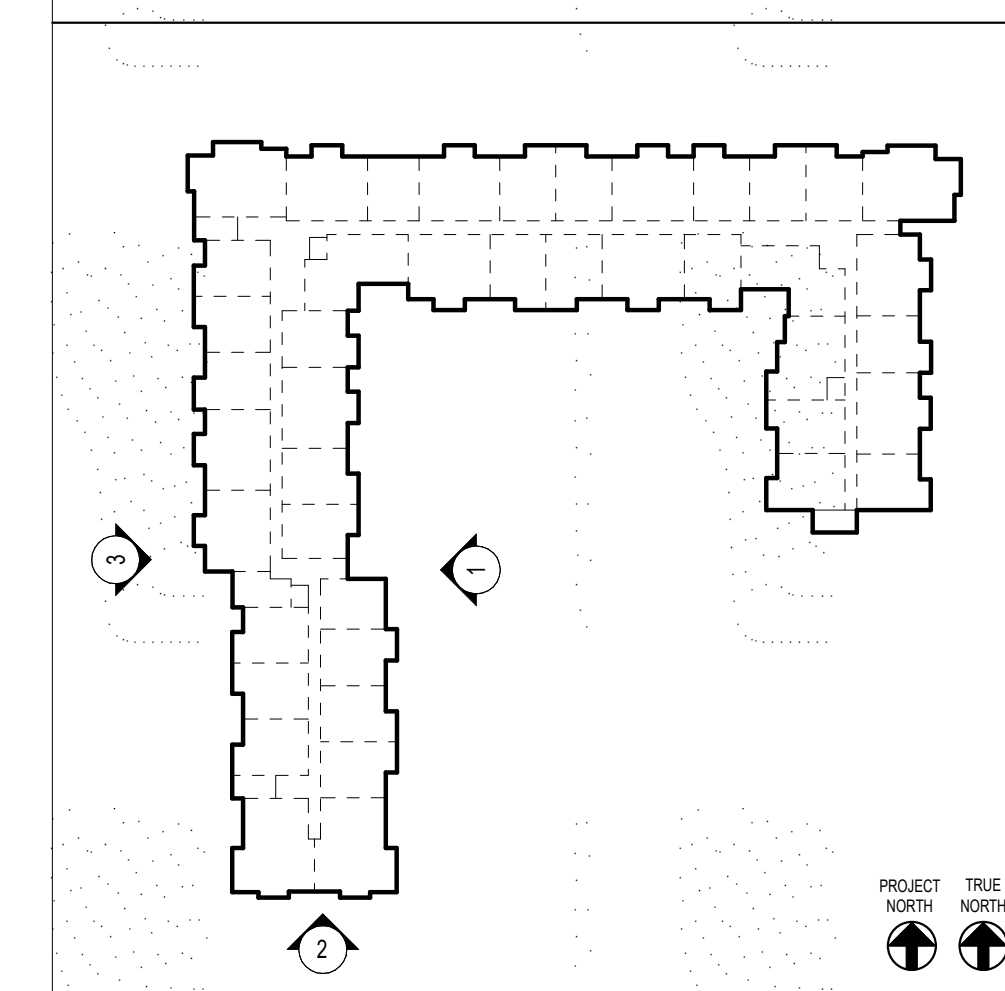


2 SITE PLAN BUILDING ELEVATION - SOUTHWEST
ELEVATION
SCALE: 1/16" = 1'-0"



3 SITE PLAN BUILDING ELEVATION - WEST ELEVATION
ELEVATION
SCALE: 1/16" = 1'-0"

KEY PLAN



SITE PLAN MATERIAL LEGEND

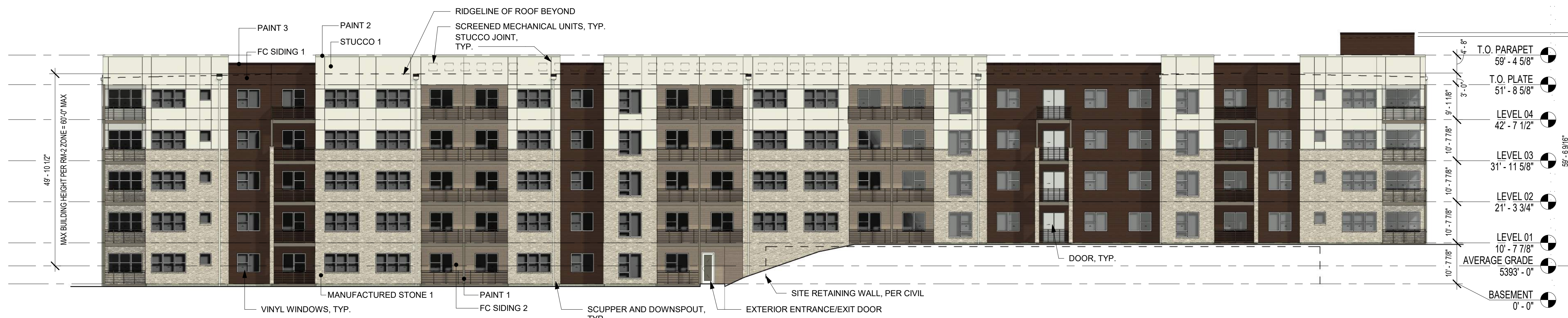
| IMAGE | TAG | NAME | DESCRIPTION |
|-------|-----|----------------------|--|
| | 1 | MANUFACTURED STONE 1 | MANUFACTURED STONE OF VARIETY OF SHAPES WITH OFF WHITE, GRAY, AND MUTED COLOR HUES |
| | 2 | MANUFACTURED STONE 2 | OFF WHITE TEXTURED STONE |
| | 3 | STUCCO 1 | OFF WHITE |
| | 4 | FC SIDING 1 | DARK BROWN |
| | 5 | FC SIDING 2 | DARY GRAY |
| | 6 | METAL SIDING 1 | MUTED BRONZE |
| | 7 | PAINT 1 | PAINT TO MATCH METAL SIDING 1 |
| | 8 | PAINT 2 | PAINT TO MATCH STUCCO 1 |
| | 9 | PAINT 3 | PAINT TO MATCH FC SIDING 1 |
| | 10 | STOREFRONT | CLEAR ANODIZED |



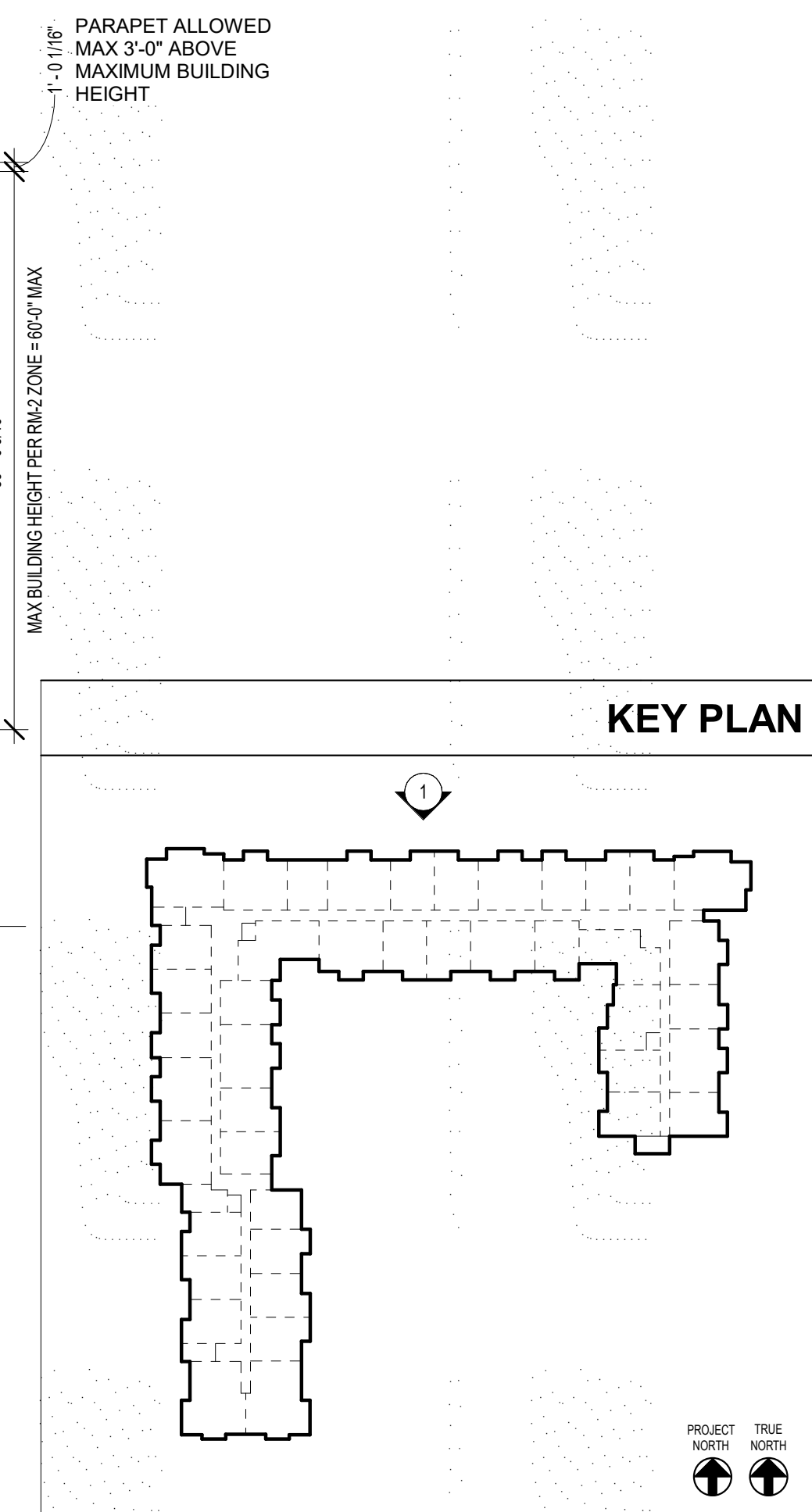
Know what's below.
Call before you dig.

HEADWATERS ACTIVE ADULT LIVING MAJOR SITE PLAN

10691 MELODY DRIVE
LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68
WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



1 SITE PLAN BUILDING ELEVATION - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



SECTION 11-4-8 SITE AND BUILDING DESIGN COMPLIANCE

North Glenn Unified Development Ordinance - Article 4 - Section 11-4-8 Site and Building Design Compliance

| Code Section | Requirement (in brief) | Response |
|--|--|---|
| 11-4-8(d)(3)(B)(i)-(ii) - Building Placement and Orientation | Preserve Natural Topography and preserve existing trees and landscape material and parallel Public ROW | Complies. Site intended to be redeveloped from parking and commercial buildings. |
| 11-4-8(d)(3)(C)(i) & (iv) - Building Entrances | Building entrance to face public street with clearly defined and accessible pedestrian circulation. | Complies. Building Entrance to be visible from Melody Drive with clearly defined/accessible circulation. |
| 11-4-8(d)(3)(D)(i)-(v) - Building Mass | Buildings shall not extend more than 50'-0" continuous feet without incorporating at least two of the following 5 elements for each 50'-0" segment | Complies using 5 of the 5 elements required. |
| 11-4-8(d)(3)(E)(i)-(v) - Exterior Finish Materials | Buildings should only use approved materials from UDO. Brick, Stone, and Masonry Materials minimum 30% of exterior walls. Accessory Structures shall be architecturally compatible with its associated principal structure or screened from view of abutting properties or abutting public right-of-way. | Complies. Proposed use of Stucco, Masonry Materials for entire building, Composite Siding, Painted Wood, and Rust Resistance Architectural Metal. Proposed building complies with minimum 30% requirement that exterior walls to be covered with masonry materials. |
| 11-4-8(d)(3)(F) Comprehensive Design | The complete building shall be finished in similar levels of architectural details, materials and facade treatments. | Complies. Architectural vernacular consistent across all elevations. |
| 11-4-8(d)(3)(G) - Roof Form | Continuous roof line longer than 60'-0" shall include at least one vertical change of at least 2'-0" feet in height. | Complies. 2'-0" Vertical changes in heights across roofline that is longer than 60'-0" is greater than one. |
| 11-4-8(d)(3)(H) - Transparency (Windows, Doors, Openings) | 25% of ground floor area of facade facing public street or other public area shall contain windows, other transparent materials or door ways. 20% of upper floor area of all building facades shall contain windows or other transparent materials. Windows shall not be reflective. | Complies. Ground Floor Facade facing public street is 36% Transparent, Upper Floors 27% Transparent. All transparent materials to not be reflective. |
| 11-4-8(d)(3)(I) - Stairways | Stairways shall not be located outside building envelope | Complies. No exterior building stairways provided |

SITE PLAN MATERIAL LEGEND

| IMAGE TAG | NAME | DESCRIPTION |
|-----------|----------------------|--|
| 1 | MANUFACTURED STONE 1 | MANUFACTURED STONE OF VARIETY OF SHAPES WITH OFF WHITE, GRAY, AND MUTED COLOR HUES |
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HEADWATERS GROUP

PROJECT: HEADWATERS ACTIVE ADULT LIVING
10691 MELODY DR
NORTHGLENN, CO
PREPARED FOR: HG AA NORTHGLENN, LLC
288 CLAYTON STREET, SUITE 307
DENVER, CO 80206
DESIGN MANAGER: JEFF HOFFMAN
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NORRIS DESIGN
LANDSCAPE ARCHITECT
1101 B ANNOCK STREET
DENVER, CO 80204
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DESIGNED BY: MA/SD/TB/DJ/NS
DRAWN BY: DJ/SD/TB
CHECKED BY: TB/HP
DATE: 02/10/2023

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Kimley Horn
Kimley-Horn and Associates, Inc.

| No. | Description | Date |
|-----|-----------------------|------------|
| | SITE PLAN SUBMITTAL 1 | 02.10.2023 |

KH PROJECT NO.: 196563001

SHEET TITLE
BUILDING ELEVATIONS

SHEET NUMBER:
20 of 22



HEADWATERS ACTIVE ADULT LIVING MAJOR SITE PLAN

10691 MELODY DRIVE
LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68
WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO



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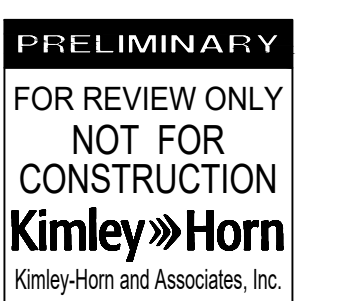
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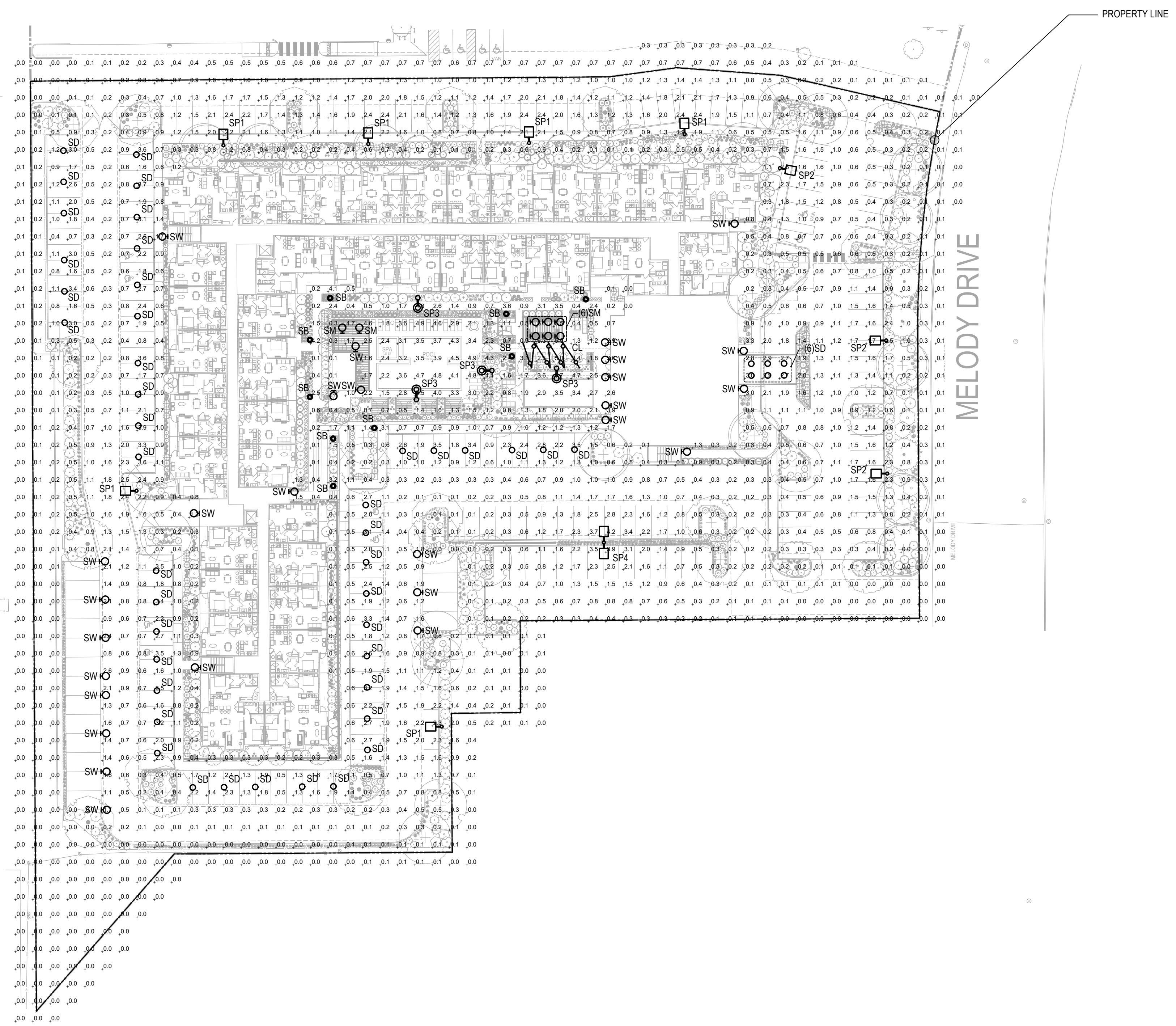


| No. | Description | Date |
|-----|-----------------------|------------|
| 1 | SITE PLAN SUBMITTAL 1 | 02.10.2023 |

KH PROJECT NO.: 196563001

SHEET TITLE
**Site Lighting
Photometric**

SHEET NUMBER
21 OF 22



1 SITE LIGHTING PHOTOMETRIC SCALE: 1" = 40'-0"

- PHOTOMETRY PLAN GENERAL NOTES:
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF NORTHGLENN EXTERIOR LIGHTING STANDARDS



STUDIO LIGHTNING
63 SUNSET DR.
BAILEY, CO 80421
303.242.1572



Know what's below.
Call before you dig.

D:\Dropbox\Studio Lighting\2023\2023-008 Headwaters Northglenn.dwg Jessica 2/10/2023 12:03 PM
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HEADWATERS GROUP

PROJECT: HEADWATERS ACTIVE ADULT LIVING 10691 MELODY DR NORTHGLENN, CO

PREPARED FOR: HG AA NORTHGLENN, LLC 288 CLAYTON STREET, SUITE 307 DENVER, CO 80206

DESIGN MANAGER: JEFF HOFFMAN T: (312) 617-5739

KimleyHorn

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SANTULAN ARCHITECTURE

SANTULAN ARCHITECTURE 3457 RINGSBY COURT, UNIT 209 DENVER, CO 80216 T: (303) 825-2595

NORRIS DESIGN

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NORRIS DESIGN LANDSCAPE ARCHITECT

1101 BANNOCK STREET DENVER, CO 80204 T: (303) 892-1166

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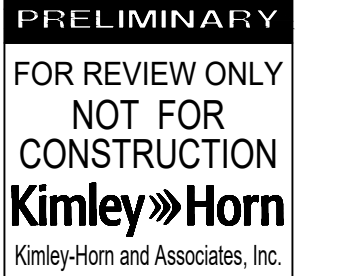


Table with 3 columns: No., Description, Date

Table with 3 columns: No., Description, Date

KH PROJECT NO.: 196563001

SHEET TITLE Lighting Details

SHEET NUMBER 22 OF 22

HEADWATERS ACTIVE ADULT LIVING MAJOR SITE PLAN

10691 MELODY DRIVE LOCATED IN THE WEST 1/2 OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

LUMINAIRE SCHEDULE table with columns: Symbol, Label, General Description, Mounting Height, Color, Catalog Number, Lamp, LLF, Watts, SHIELDING

HALO luminaire details including description, specifications, and images.

Invue luminaire details including description, specifications, and images.

CL luminaire details including description, specifications, and images.

SW luminaire details including description, specifications, and images.

Invue luminaire details including description, specifications, and images.

SP1/2/4 luminaire details including description, specifications, and images.

Lumiere luminaire details including description, specifications, and images.

COOPER Lighting Systems logo and contact information.

FATON logo and contact information.

COOPER Lighting Systems logo and contact information.

COOPER Lighting Systems logo and contact information.

STUDIO LIGHTING logo and contact information.



Know what's below. Call before you dig.

(d) Table of Allowed Uses

| Table 3-2-A: Table of Allowed Uses √ = allowed by right S = special use permit A = accessory Blank cell = use prohibited + = Use-specific standards apply | | | | | | | | | | | | | | | | |
|---|-------------|------|------|------|------|----|-----------|----|----|----|----------------------|----|----|----|----|------------------------|
| | Residential | | | | | | Mixed-Use | | | | Other Nonresidential | | | | | Use-Specific Standards |
| | RS-1 | RS-2 | RS-3 | RM-1 | RM-2 | MH | MN | MC | MR | CG | CA | IN | PF | AG | OS | |
| Residential | | | | | | | | | | | | | | | | |
| Household Living | | | | | | | | | | | | | | | | |
| Dwelling, Duplex | | | | √ | √ | | √ | | | | | | | | | |
| Dwelling, Live/Work | | | | | | | √+ | √+ | √+ | | | S+ | | | | 11-3-3(c)(2) |
| Dwelling, Multifamily | | | | √ | √ | | S+ | √+ | √+ | | | | | | | 11-3-3(c)(3) |
| Dwelling, Single-Family Attached | | | | √+ | √+ | | √+ | S+ | | | | | | | | 11-3-3(c)(4) |
| Dwelling, Single-Family Detached | √ | √ | √ | | | | √ | | | | | | | | √ | |
| Manufactured Home Park, HUD-Code | | | | | | √+ | | | | | | | | | | 11-3-3(c)(5) |
| Group Living | | | | | | | | | | | | | | | | |
| Assisted Living Facility | S | S | S | √ | √ | S | S | √ | √ | | | | | | | |
| Group Home, FHAA | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | | | | | | √+ | 11-3-3(c)(6) |
| Group Home, Supportive Housing | √+ | √+ | √+ | | | | √+ | | | | | | | | √+ | 11-3-3(c)(7) |
| Independent Living Facility | | | | √ | √ | | √ | | | | | | | | | |
| Public, Institutional, and Civic Uses | | | | | | | | | | | | | | | | |
| Community and Cultural Facilities | | | | | | | | | | | | | | | | |
| Assembly | S | S | S | S | S | S | S | S | S | S | S | S | | | | |
| Cemetery or Interment Facility | | | | | | | | | | | | S | | S | √ | |
| Club or Lodge | | | | | | | S | S | S | S | S | S | | | | |
| Community Center | S | S | S | S | S | S | S | √ | √ | √ | √ | √ | √ | √ | | |
| Daycare | S | S | S | S | S | S | S | S | S | √ | √ | A+ | A+ | | | 11-3-3(d)(1) |
| Emergency or Community Operations Facility | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | |
| Funeral Facility | | | | | | | | S | S | S | S | S | | S | | |
| Park and Open Space, Active | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | √ | |
| Park and Open Space, Passive | | | | | | | | | | | | | √ | √ | √ | |
| Educational Facilities | | | | | | | | | | | | | | | | |
| School, Public or Private | S | S | S | S | S | S | √ | √ | √ | √ | √ | √ | √ | √ | | |
| School, Vocational or Trade | | | | | | | | √ | √ | √ | √ | √ | | | | |
| Healthcare Facilities | | | | | | | | | | | | | | | | |
| Hospital | | | | | | | | √ | √ | √ | √ | √ | √ | | | |
| Medical or Dental Clinic | | | | | | | S | √ | √ | √ | √ | √ | √ | | | |
| Commercial Uses | | | | | | | | | | | | | | | | |
| Agricultural and Animal Uses | | | | | | | | | | | | | | | | |
| Agriculture, General | | | | | | | | | | | | | √+ | √+ | √+ | 11-3-3(e)(2) |
| Agriculture, Urban | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | √+ | A+ | 11-3-3(e)(3) |

Table 3-2-A: Table of Allowed Uses

√ = allowed by right S = special use permit A = accessory Blank cell = use prohibited + = Use-specific standards apply

| | Residential | | | | | | Mixed-Use | | | | Other Nonresidential | | | | | Use-Specific Standards |
|---|---|------|------|------|------|----|-----------|----|----|----|----------------------|----|----|----|----|------------------------|
| | RS-1 | RS-2 | RS-3 | RM-1 | RM-2 | MH | MN | MC | MR | CG | CA | IN | PF | AG | OS | |
| Community Garden | √ | √ | √ | √ | √ | √ | √ | √ | √ | | | | √ | √ | √ | |
| Kennel, Commercial | | | | | | | | | | S+ | √+ | √+ | | √+ | | 11-3-3(e)(4) |
| Stable, Commercial | | | | | | | | | | | | | | S+ | S+ | 11-3-3(e)(5) |
| Veterinary Hospital or Clinic | | | | | | | S+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | | 11-3-3(e)(6) |
| Recreation and Entertainment | | | | | | | | | | | | | | | | |
| Indoor Recreation Facility | | | | | | | S | √ | √ | √ | √ | √ | √ | | S | |
| Outdoor Recreation Facility | | | | | | | | | S | S | S | S | √ | S | √ | |
| Food and Beverage Services | | | | | | | | | | | | | | | | |
| Bar, Tavern, or Lounge | | | | | | | S+ | √+ | √+ | √+ | √+ | √+ | | | | 11-3-3(e)(7) |
| Catering Establishment | | | | | | | S | √ | √ | √ | √ | √ | | | | |
| Microbrewery, Distillery, or Winery | | | | | | | S+ | √+ | √+ | √+ | √+ | √+ | | | | 11-3-3(e)(8) |
| Restaurant | | | | | | | √+ | √ | √ | √ | √ | √ | | | | 11-3-3(e)(9) |
| Restaurant, with Drive-Through | | | | | | | | √+ | √+ | √+ | √+ | √+ | | | | 11-4-6(i) |
| Office, Business, and Professional Services | | | | | | | | | | | | | | | | |
| Administrative, Professional, and Government Office | | | | | | | √+ | √ | √ | √ | √ | √ | √ | | | 11-3-3(e)(10) |
| Financial Institution | | | | | | | √+ | √ | √ | √ | √ | √ | | | | 11-3-3(e)(11) |
| Research and Development | | | | | | | | √ | √ | √ | √ | √ | √ | | | |
| Personal Services | | | | | | | | | | | | | | | | |
| Laundry Facility, Commercial | | | | | | | | | | √ | √ | √ | | | | |
| Laundry Facility, Self-Service | | | | A+ | A+ | A+ | √+ | √ | √ | √ | √ | √ | | | | 11-3-3(e)(12) |
| Personal Services, General | | | | | | | √+ | √ | √ | √ | √ | √ | A | | | 11-3-3(e)(13) |
| Retail Sales | | | | | | | | | | | | | | | | |
| Building Materials and Supply Store | | | | | | | √+ | √+ | S+ | √ | √ | √ | | | | 11-3-3(e)(14) |
| General Retail, Less than 10,000 Square Feet | | | | | | | √+ | √ | √ | √ | √ | √ | A | | | 11-3-3(e)(15) |
| General Retail, 10,000 Square Feet or More | | | | | | | | √ | √ | √ | √ | √ | | | | |
| Liquor Store | | | | | | | | √ | √ | √ | √ | √ | | | | |
| Marijuana Establishment, Medical | <i>Subject to Licensing Requirements in Article 18-14</i> | | | | | | | | | | | | | | | 11-3-3(e)(16) |
| Marijuana Establishment, Retail | <i>Subject to Licensing Requirements in Article 18-16</i> | | | | | | | | | | | | | | | 11-3-3(e)(17) |
| Nursery or Garden Supply Store | | | | | | | | √ | √+ | √ | √ | √ | √ | √ | | 11-3-3(e)(18) |
| Lodging Facilities | | | | | | | | | | | | | | | | |
| Bed and Breakfast | | | | S+ | S+ | | √+ | √+ | √+ | √+ | √+ | | | √+ | | 11-3-3(e)(19) |
| Boarding or Rooming House | | | | | √ | | √ | √ | √ | | | | | | | |
| Hotel/Motel | | | | | | | S | √ | √ | √ | √ | √ | | | | |
| Short-Term Rental | √+ | √+ | √+ | √+ | √+ | | √+ | √+ | √+ | | | | | √+ | | 11-3-3(e)(20) |

Table 3-2-A: Table of Allowed Uses

√ = allowed by right S = special use permit A = accessory Blank cell = use prohibited + = Use-specific standards apply

| | Residential | | | | | Mixed-Use | | | | Other Nonresidential | | | | | Use-Specific Standards |
|---|---------------------------------|------|------|------|------|-----------|----|----|----|----------------------|----|----|----|----|------------------------|
| | RS-1 | RS-2 | RS-3 | RM-1 | RM-2 | MH | MN | MC | MR | CG | CA | IN | PF | AG | |
| Transportation | | | | | | | | | | | | | | | |
| Rail Yard | | | | | | | | | | | | S | | | |
| Transit Terminal or Station | | | | S | S | | √ | √ | √ | √ | √ | √ | √ | √ | √ |
| Vehicles and Equipment | | | | | | | | | | | | | | | |
| Auto Wash | | | | | | | | S | S | S | √ | √ | √ | | |
| Automotive Fuel Sales | | | | | | | | S+ | S+ | √+ | √+ | √+ | √+ | | 11-3-3(e)(21) |
| Automotive Repair, Major | | | | | | | | | | S+ | √+ | √+ | | | 11-3-3(e)(22) |
| Automotive Repair, Minor | | | | | | | | S+ | S+ | √+ | √+ | √+ | | | 11-3-3(e)(23) |
| Automotive Sales and Leasing | | | | | | | | | S+ | | S | S | | | 11-3-3(e)(24) |
| Equipment and Machinery Sales and Rental | | | | | | | | | | S+ | √+ | √+ | | | 11-3-3(e)(25) |
| Parking Facility | | | | | | | | √+ | √+ | √ | √ | √ | √ | | √ |
| Sexually Oriented Businesses | | | | | | | | | | | | | | | |
| Sexually Oriented Business | | | | | | | | | | | | √+ | | | 11-3-3(e)(27) |
| Industrial Uses | | | | | | | | | | | | | | | |
| Manufacturing and Processing | | | | | | | | | | | | | | | |
| Food Processing | | | | | | | | | | | √+ | √+ | | | 11-3-3(f)(1) |
| Oil and Gas Operations | <i>See Section 11-3-6</i> | | | | | | | | | | | | | | |
| Manufacturing, Artisan | | | | | | | S+ | √+ | √+ | √ | √ | √ | √ | | 11-3-3(f)(2) |
| Manufacturing, Light | | | | | | | | | | S+ | S+ | √+ | | | 11-3-3(f)(3) |
| Mining and Extraction | | | | | | | | | | S+ | S+ | S+ | S+ | S+ | 11-3-3(f)(4) |
| Storage and Warehousing | | | | | | | | | | | | | | | |
| Contractor Office or Equipment Storage Yard | | | | | | | | | | √+ | √+ | √+ | | | 11-3-3(f)(5) |
| Outdoor Storage | | | | | | | | | | | √+ | √+ | | | 11-3-3(f)(6) |
| Salvage Yard | | | | | | | | | | | S | | | | |
| Self-Service Storage | | | | | | | | | | | √+ | | | | 11-3-3(f)(7) |
| Warehousing and Wholesale Facility | | | | | | | | | | | √ | | | | |
| Public and Semi-Public Utility Uses | | | | | | | | | | | | | | | |
| Utilities | | | | | | | | | | | | | | | |
| Public Utility, Major | | | | | | | S+ | S+ | S+ | S+ | S+ | S+ | S+ | S+ | 11-3-3(g)(1) |
| Public Utility, Minor | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | 11-3-3(g)(1) |
| Water Storage Facility | S | S | S | S | S | S | S | S | S | S | S | S | S | S | 11-3-3(g)(2) |
| Wireless Service Facilities | | | | | | | | | | | | | | | |
| Wireless Service Facilities | <i>See Section 11-3-3(g)(3)</i> | | | | | | | | | | | | | | |
| Accessory Uses | | | | | | | | | | | | | | | |
| Accessory Dwelling Unit | A+ | A+ | A+ | A+ | A+ | | A+ | | | | | | | A+ | 11-3-4(d)(1) |

Table 3-2-A: Table of Allowed Uses

√ = allowed by right S = special use permit A = accessory Blank cell = use prohibited + = Use-specific standards apply

| | Residential | | | | | | Mixed-Use | | | | Other Nonresidential | | | | | Use-Specific Standards |
|---|-------------|------|------|------|------|----|-----------|----|----|----|----------------------|----|----|----|----|------------------------|
| | RS-1 | RS-2 | RS-3 | RM-1 | RM-2 | MH | MN | MC | MR | CG | CA | IN | PF | AG | OS | |
| Caretaker Dwelling Unit | | | | | | | | | | | | A+ | A+ | A+ | A+ | 11-3-4(d)(1)(E)(ii) |
| Drive-Through Facility | | | | | | | | A+ | A+ | A+ | A+ | A+ | | | | 11-4-6(i) |
| Home Occupation | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | | | | | | | 11-3-4(d)(4) |
| Outdoor Dining | | | | | | | A+ | A+ | A+ | A+ | A+ | A+ | A+ | | | 11-3-4(d)(5) |
| Outdoor Sales and Display | | | | | | | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | | 11-3-4(d)(6) |
| Outdoor Storage, Accessory | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | 11-3-4(d)(7) |
| Sale of Produce and Plants Raised on Premises | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | A+ | 11-3-4(d)(8) |
| Temporary Uses | | | | | | | | | | | | | | | | |
| Construction Support Activity | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | 11-3-5(d)(1) |
| Farmer's Market or Open Air Market | | | | | | | √ | √ | √ | √ | √ | √ | √ | √ | √ | |
| Mobile Food Vending | | | | | | | | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | 11-3-5(d)(2) |
| Seasonal Sales | | | | | | | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | 11-3-5(d)(3) |
| Special Event | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | √+ | 11-3-5(d)(4) |

SPONSORED BY: MAYOR LEIGHTY

COUNCIL MEMBER'S BILL

ORDINANCE NO.

No. CB-2007
Series of 2023

Series of 2023

A BILL FOR A SPECIAL ORDINANCE REZONING FROM COMMERCIAL GENERAL (CG) AND COMMERCIAL AUTO-ORIENTED (CA) TO MULTIFAMILY (RM-2) CERTAIN REAL PROPERTY GENERALLY IDENTIFIED AS THAT PORTION OF TRACT "C", RESUBDIVISION OF LOT 1, BLOCK 47, LOTS 2-39, BLOCK 48, AND BLOCKS 49, 50, 51, 52 AND 53, NORTH GLENN – FIFTH FILING, PER THE PLAT RECORDED AT RECEPTION NO. 807546 IN THE RECORDS OF ADAMS COUNTY, LYING WITHIN THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO, AND AMENDING THE ZONING MAP OF THE CITY OF NORTHGLENN

WHEREAS, the property legally described in **Exhibit A**, attached hereto and incorporated herein by this reference, is currently zoned Commercial General (CG) and Commercial Auto-Oriented (CA); and

WHEREAS, the City Council desires to rezone the property described in **Exhibit A** to Multifamily (RM-2).

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. Findings of Fact. The City Council hereby makes the following findings of fact:

- (a) The proposed rezoning is consistent with the Comprehensive Plan and the purposes of the Unified Development Ordinance;
- (b) The rezoning is consistent with the purpose statement of the proposed zoning district;
- (c) There have been significant changes in the area to warrant a zoning change;
- (d) The intensity of development in the new zoning district is not expected to create significantly adverse impacts to surrounding properties or the neighborhood;
- (e) Public facilities and services are available to adequately serve the subject property while maintaining adequate level of service to existing development; and/or
- (f) There was an error in establishing the current zoning.

Section 2. Rezoning. Pursuant to the provisions of the Unified Development Ordinance, and upon the recommendation of the Northglenn Planning Commission, a zoning change to Multifamily (RM-2) is hereby allowed and granted for the real property in the City of Northglenn, Colorado, described in the attached **Exhibit A**.

Section 3. Change of Zone Maps. The official zoning map of the City of Northglenn, as amended, and the Comprehensive Master Plan of the City of Northglenn shall be and hereby ordered amended to conform with the provisions of this Ordinance.

Section 4. Violations-Penalty. Violations of the provisions of this Ordinance shall be punishable under the provisions provided in Section 1-1-10 of the Northglenn Municipal Code.

INTRODUCED, READ, AND ORDERED POSTED this _____ day of _____, 2023.

MEREDITH LEIGHTY
Mayor

ATTEST:

JOHANNA SMALL, CMC
City Clerk

PASSED ON SECOND AND FINAL READING this _____ day of _____, 2023.

MEREDITH LEIGHTY
Mayor

ATTEST:

JOHANNA SMALL, CMC
City Clerk

APPROVED AS TO FORM:

COREY Y. HOFFMANN
City Attorney