

City Council Action Report

Date: April 7, 2005
 Subject: School District 12 Joint Use Agreement
 Strategic Council Goal: Community Governance with Civic Partnerships

Recommended Action and Major Considerations:

- It is recommended that Council approve the proposed Master Joint Use Agreement between the City of Northglenn and the Adams 12 Five Star School District and authorize the Mayor to sign the attached said agreement. Staff from the Recreation and Cultural Services and Maintenance and Operations Service Centers have reviewed this agreement and feel that it sufficiently and fairly addresses the uses, needs and responsibilities of the City as it relates to the use of School District properties within the corporate limits of Northglenn. Entering into this agreement is consistent with Council Goal 4 by developing strong partnerships with community organizations and civic groups.

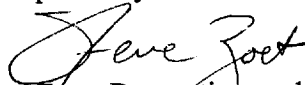
Background and Other Information:

- Pursuant to past practice, the City and School District have bound themselves to an agreement wherein the uses of School District properties by the City and any associated fees or responsibilities for use were specified and agreed to. Neither entity is currently operating under an active agreement as the last agreement has terminated and lapsed. Both parties continued to operate under the terms and conditions of the previous agreement until such time that a new agreement could be reviewed and modified by both parties as appropriate.
- The proposed agreement has reduced the amount of maintenance of District properties required on the part of the City than under previous agreements. Historically, the City assumed grounds maintenance responsibilities of School District properties for turf and field areas predominantly or largely utilized by the City in it's recreational programming or by organized youth sports organizations whom the City recognizes and with whom we have had a long standing relationship. As the City has developed additional parks and playable areas through the years, our reliance on school properties and grounds has diminished.
- The School District is desirous of recouping it's expenses that it identifies as being borne by the district through the City's use of it's premises, be that building or grounds use. Costs associated with these uses, as identified by formula and contained within the attached exhibits, is covered through either reimbursable grants secured by the Recreation and Cultural Services Center or through it's existing and approved 2005 operating budget.
- The District is also likewise desirous of utilizing a common or standard joint use agreement and formulations between all jurisdictions within which it has facilities. To that end, this agreement utilizes standard terms and practices common to all jurisdictions.
- Identified costs are relative to historical usage for 2004 and will fluctuate year to year based on actual use and need but is considered to be reflective of ongoing operating costs and averages.

Budget Information:

- There are no additional or unfunded costs associated with the approval of this agreement that have not already been accounted for within the current and approved operating budget. Costs associated with the maintenance of school grounds by Parks Maintenance Staff and related material and supply costs are provided for within that Service Center's approved 2005 Operating budget. As Council will see in the review of the City's obligations as identified and summarized in the attached, the City's costs associated with identified uses are minimal.

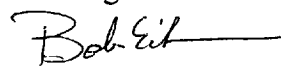
Respectfully Submitted:


 Steven Zoet, Recreation and
 Cultural Services Director

Approved for Submittal:


 Phil Nelson, City Manager

Funding Available:


 Bob Eichem, FISS Director

COUNCIL ACTION TAKEN: _____

MASTER JOINT USE AGREEMENT

THIS AGREEMENT ("Agreement") is between ADAMS TWELVE FIVE STAR SCHOOLS, a Colorado school district, 1500 E. 128th Ave., Thornton, Colorado 80241 ("School District") and the CITY OF NORTHGLENN, a Colorado home rule municipality, 11701 Community Center Drive, Northglenn, Colorado 80233 ("City"), and is entered into effective as of _____, 2004.

BACKGROUND

- A. The School District and City are mutually interested in providing educational and recreational facilities to serve students and residents within their common area.
- B. It is recognized by the parties that the joint development and use of portions of School District property by the City for park and recreational purposes benefits the School District, the City, and the public.
- C. The City is authorized by law to organize, promote, and conduct community recreation programs; to establish park areas, playgrounds, and recreational facilities; and to acquire, improve, maintain, and operate such park areas, playgrounds and recreational facilities.
- D. The School District and the City are authorized by COLO. REV. STAT. § 29-1-203 to enter into agreements for the common utilization of school and recreation facilities in order to provide the maximum use of facilities for the funds expended by either or both of them.
- E. Prior to the execution of this Agreement, the parties have been operating under separate joint use agreements for various sites and facilities, each with different terms and termination dates. The purpose of this Agreement is to standardize the terms and conditions of joint use at all School District sites located within the City while providing a standard procedure for agreeing on Site specific modifications.
- F. The School District and the City seek to agree in advance regarding the rights and responsibilities of each party concerning the joint use and maintenance of each School District property Site and the construction, installation, and ownership of any future improvements on such sites.
- G. In order to facilitate the administration of the joint uses by both parties, this Agreement provides that the commencement date and termination date of the Agreement will be the same for all covered sites for which the parties have previously entered into a joint use agreement.

AGREEMENT

NOW THEREFORE, in consideration of the foregoing background and the mutual promises of the parties set forth in this Agreement, the parties agree as follows:

1. **Purpose and Sites.** The purposes of this Agreement are to provide for the joint use by the School District and the City of those specific School District properties, the specific details of which are identified on Exhibits A through F ("Site Specific Exhibits"), attached and incorporated by this reference (each property is hereinafter referred to on an individual basis in this Agreement as the "Site" and together as the "Sites"); to define maintenance responsibilities between the parties; and to establish ownership of future improvements constructed on the Sites. As the parties identify future sites, they may be incorporated into this Agreement by the preparation of a Site Specific Exhibit that is approved and separately signed by both parties.

2. **Term.** Except as otherwise expressly provided for a Site as set forth in the Site Specific Exhibit for that property, the term of this Agreement shall commence upon the effective date set forth above and shall end 3 years afterwards, unless sooner terminated as hereinafter provided.
 - 2.1** No later than four (4) months prior to the end of the initial term or any subsequent renewal term, the parties shall meet and review the Agreement and the Site Specific Exhibits for the purpose of determining whether the Agreement should be renewed and to consider any modifications that may be necessary to address the experience and practice of the parties.

 - 2.2** This Agreement will be automatically renewed at the conclusion of the initial term or any subsequent renewal term for an additional three (3) year period unless either party gives notice to the other party at least sixty (60) days prior to the end of the term of its intent not to renew the Agreement in whole or for less than all of the Sites that have been subject to the term of the Agreement then expiring. In the event of such notice, the Agreement shall conclude at the end of the term unless the parties agree in writing that the Agreement shall be extended either in its then current form, or upon modified terms, with respect to all Sites or with respect to specific Sites as identified by the parties.

 - 2.3** Failure to renew any or all Sites shall cause acceleration (as provided in each Site Specific Exhibit) of any payments due for equipment or improvements installed on the Site(s) not renewed. In the event the Site Specific Exhibit does not address the accelerated payment schedule, the amount owed shall be paid to the other party no later than the conclusion of the then-current fiscal year.

3. Improvements and Ownership

3.1 Unless otherwise set forth in the Site Specific Exhibits, all improvements presently in place or to be constructed in the future on any Site, shall remain with the land on which the improvements are located and shall be considered the property of the School District.

3.2 Any request by the City for alterations or additional improvements to a Site shall be made in writing to the School District. Such alterations or additional improvements must be first approved by the School District; shall be designed in conformity with specifications developed jointly; shall be performed by persons or entities jointly approved by the parties; and shall be paid for by the City unless otherwise agreed in advance in writing. The City shall submit evidence of its appropriation of all funds necessary to pay for its obligations, or its irrevocable pledge of adequate cash reserves for such purposes, prior to the School District's commencement of construction of the improvements. All proposals of the School District for material alterations or improvements to a Site shall first be presented in writing to the City for its review and comment, but the School District shall retain final authority to construct improvements on its property as it determines appropriate in its discretion.

4. Use of Sites. The exclusive use of each Site that is subject to this Agreement shall be defined as "School District Use", "Maintenance Use," or "City Use" in the Site Specific Exhibits. Any exceptions to such exclusive use shall be set forth in the Site Specific Exhibits. Site

4.1 "School District Use" shall be defined for this Agreement as the dates that schools in the School District are in session. School is typically in session from the fourth week in August through the first week of June ("School Year"). School District Use also includes activities prescheduled by individual schools, at their own school Site or at other Sites covered by this Agreement, for the benefit of students and staff, including any school-sponsored clubs, activities and athletic teams, that take place after school hours, on weekends, and on school holidays and vacations.

4.2 "Maintenance Use" shall be defined as the time in which the School District Maintenance Department, as agreed upon each year between the School District and the City within thirty (30) days after the School District provides notice to the City that the School District has approved all school calendars, shall have exclusive use of the sites to perform regenerative and repair work, including but not limited to the following:

Soccer fields, softball/baseball fields, and multi-purpose fields:	Maintenance and/or renovation of irrigation systems, turf, infields and fencing.
Tennis courts and tennis court facilities:	Resurfacing, fence repair, restriping, net repair.
Indoor gym facilities:	Floor finishing and bleacher replacement.

“Extended Maintenance Use” shall be a time other than a defined Maintenance Use time, when neither the School District nor the City will use the Site and the Site shall be closed to public use. During this time, the party responsible for maintenance of the Site will have access and control the maintenance and renewal of the Site. Such times shall be scheduled in advance by the School District Maintenance Division in cooperation with the City.

- 4.3 “City Use” is defined as City-sponsored or approved youth and adult recreational activities. City Use shall generally be any time that the Site is utilized for City-Sponsored activities and is not subject to School District Use, Maintenance Use or Extended Maintenance Use. Further, the parties agree that City Use may include scheduled use after school hours, weekends, and during school holidays and vacations, unless the School District or School has provided notice to the City of planned School District or School District-sponsored activities during City Use time. The City and School District will provide their use schedules no later than the beginning of each school semester.
- 4.4 Both parties agree to give the other first priority in scheduling any use during the other’s time, when needed by the requesting party and not in conflict with a previously scheduled, unalterable use.
- 4.5 Motor vehicle and bicycling parking shall be permitted in adjacent School District parking lots by community users during City Use of a Site on a “first come, first served” basis.
- 4.6 If the foregoing scheduling of use of any Site is unworkable or creates conflicts, it is agreed by the parties that the City Manager and the School District Superintendent, or their designees, are authorized to make changes or modifications to the use of any Site.
- 4.7 The City shall reimburse the School District for all School District operational costs, including but not limited to costs of utilities, maintenance, custodial, supervision, administration, repairs, loss of equipment, or damage to fixtures or improvements caused by or

incurred during the City's Use of the School District's facilities at each Site. The parties shall use a formula to determine these costs as set forth in the Site Specific Exhibits, as amended from time to time.

5. Maintenance. The responsibilities for the repair, maintenance, and reasonably safe operation of each Site are described in each Site Specific Exhibit attached to this Agreement and incorporated by this reference.

5.1 The level of maintenance for each Site shall be as agreed upon from time to time by the City and the School District as set forth in Site Specific Exhibits to this Agreement. The School District shall schedule a walk-through meeting on each Site with the City the week after the end of the school year to turn over the Site at the end of the school year and the City shall schedule an on-Site walk-through meeting with the School District the week before school starts to turn back over each Site to the School District at the beginning of the next school year. If a walk through meeting is constrained as part of the turnover of the Sites, the parties agree to develop assessment turnover documentation for each Site to be completed at the turn over of the use of a Site to one of the parties for an extended period of time such as during the summer months and coordinated as an attachment to each site Exhibit.

5.2 Except as set forth in Site Specific Exhibits, maintenance and repairs to water sprinkler and irrigation systems existing on a Site due to wear, periodic replacement, vandalism, or damage shall be the responsibility of the School District during the School District Use and shall be performed in a timely manner. The City shall pay for any such maintenance and repairs necessary during City Use, except for maintenance and repairs necessary due to normal wear and tear.

5.3 Except as set forth in a Site Specific Exhibit, backstops, goalposts, fences and scoreboards shall be maintained by the School District.

5.4 Except as set forth in a Site Specific Exhibit, the School District will be responsible for rubbish and snow removal during School District Use. The City shall be responsible for Site-generated trash removal on each Site during the City Use.

5.5 In the event of any flooding, wind damage, or other catastrophic event on any Site and which causes damage which is not fully paid for by insurance, the School District and the City shall be jointly responsible for the payment or provision of debris removal and restoration of the grounds in the proportion of School District Use compared to City Use, except as set forth on the Site Specific Exhibit. The proportionate use

by each party will be calculated based on each party's use of the Site during the prior calendar year.

6. Liability.

- 6.1 Neither party shall be responsible for or liable for injury to persons or damage to property arising out of or related in any way to the occupancy or use of the Sites by the other party. Each party agrees to indemnify and hold harmless the other, its officers and employees from and against all liability claims, demands and expenses, including court costs and attorney fees, on account of any injury, loss, or damage which arise out of or are in any manner connected with or related to the use or occupancy of any Site under this Agreement, if such injury, loss, or damage is caused in whole or in part by, or is claimed to be caused in whole or in part by the acts, errors, or omissions of the other party, any contractor, subcontractor, or subconsultant of the other party, or any of its officers, employees, agents, invitees, servants, successors, or assigns. The parties hereto understand and agree that the School District, the City, and their officers and employees are relying on, and do not waive or intend to waive by any provision of this Agreement, the monetary limitations (presently \$150,000 per person and \$600,000 per occurrence) or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, C.R.S. 24-10-101 et seq., as from time-to-time amended, or otherwise available by other provision of law to either party, their officers, or their employees.
- 6.2 The parties agree that neither assumes any responsibility hereunder for providing supervision for participants, employees, or volunteers for any activities under the control of, sponsored by, or conducted by the other party on the Sites. During the period that any portion of each Site is being used by the School District or the City in a sponsored activity or program, the using entity in each instance shall be responsible for all necessary supervisory or instructional personnel required for such programs.
- 6.3 The City certifies that it is self-insured for property and general liability coverages, including errors and omissions to the limits set forth in the Colorado Governmental Immunity Act. Excess insurance is purchased above the City's self-insured retention. A Certificate of Insurance will be provided to the School District describing the insurance policy terms for each site and naming the School District as an additional insured for each Site covered by this Agreement. Such policies shall include terms providing that the policy shall not be cancelled or modified without providing thirty (30) days prior written notice to the School District. The School District shall be given a full copy of such insurance policies at any time upon request.

- 6.4 The covenants and agreements contained in this Agreement are for the benefit of the School District and the City only, and do not create any obligations or duties to persons not parties hereto.
- 6.5 It is the intention of the parties to generally make each Site available to the public for recreational purposes without rental or admission charge, and to limit the parties' liability toward persons entering thereon for such purposes, in the event that either or both of the parties would otherwise be liable pursuant to COLO. REV. STAT. § § 33-41-101 et seq. In the event either party does elect to charge admission to a selected community group, such party shall require the user group to provide insurance coverage sufficient to cover any liability to the School District and the City that may result from such use.
- 6.6 Each party agrees to immediately notify the other of any defects or potential defects, dangerous conditions or potential dangerous conditions, claims or potential claims from damage or injury that come to its attention in connection with its usage. The party receiving notice of actual or potential dangerous conditions shall take prompt action to remedy the same. Within fifteen (15) days after any litigation is commenced against either party that contains allegations against the other, the parties will meet to explore efficiencies and determine the course of action in providing a defense, including but not limited to the potential for a joint defense.
- 6.7 In the event of a default in the performance of any material term of this Agreement, the non-defaulting party shall have such remedies as may be available at law or equity, including the remedy of specific performance.
7. Permitted Use. The parties agree that a Site shall be used only for educational, parks, and recreational purposes and for no purpose prohibited by the Constitution and the laws of the United States, the State of Colorado, the charter or ordinances of the City, or the policies and regulations of the School District now in force or hereafter enacted.
8. Termination. Unless otherwise expressly provided in the Site Specific Exhibit, either party may terminate this Agreement at any time upon sixty (60) days' written notice to the other party. Except as provided in paragraph 9, upon such termination, the parties shall remain liable for any obligations incurred prior to termination.
9. Termination Payout. The School District shall be provided with a thorough accounting of all costs incurred in the construction of any future improvements to a Site by the City.

9.1 Unless otherwise expressly provided in the Site Specific Exhibit, in the event the Agreement is terminated by the School District prior to the full amortization of the cost of any improvements that are attached to a Site, for any reason other than a material breach of this Agreement by the City, the School District shall pay to the City, within a period of three (3) years from date of termination, the cost of such improvement made by the City to the Site less straight line depreciation for years in place through the date of termination on the basis of the amortization period set forth in the Site Specific Exhibit. The amortized cost of improvements shall only include the out-of-pocket costs for design and construction of the improvements as represented by bills and vouchers received by the City. No indirect costs incurred by the City including, without limitation, overhead and supervision, shall be included. The total amount of depreciation to be subtracted from the total cost of future improvements shall be determined by dividing the total cost of the improvements initially installed by the years in the amortization period with the resulting quotient multiplied by the number of years or fractions thereof that said improvements have been in place.

9.2 In the event that the Agreement is terminated by the City prior to the end of the term of the amortization of the cost of the improvements that are attached to a Site for any reason, the improvements shall remain the property of the School District and the School District shall not pay for cost of the improvements made by the City.

10. Miscellaneous

10.1 Nothing in this Agreement shall affect any other agreement between the City and the School District now in effect; provided, however, that this Agreement shall replace, void, and supersede any and all existing or former joint use or lease agreements for the use of School District Sites, which shall come under the governance of this Agreement.

10.2 Neither party shall extend the faith or credit of the other to any third person or entity.

10.3 This Agreement shall be binding upon the parties and their successors in interest.

10.4 Any notice required by this Agreement shall be in writing, made by hand-delivery or certified mail, return receipt requested, and addressed to the following:

Superintendent of Schools
Adams Twelve Five Star Schools
1500 E. 128th Avenue
Thornton, Colorado 80241

City Manager
City of Northglenn
11701 Community Center Drive
Northglenn, Colorado 80233

Notice given by hand-delivery shall be effective immediately and notice by mail shall be effective three (3) days after it is deposited in the United States mail depository correctly addressed with sufficient postage for delivery.

- 10.5 The rights and obligations of the parties under this Agreement shall be interpreted and construed in accordance with Colorado law.
- 10.6 The parties represent that the individuals signing this Agreement on their behalf possess full power and authority from their respective governing boards in compliance with Colorado law.
- 10.7 No waiver of any right under this Agreement shall operate as, or be construed to be, a waiver of any subsequent breach of the same or any other provision of this Agreement.
- 10.8 No provision of this Agreement shall be assigned by either party without prior written consent of the non-assigning party.
- 10.9 Each party agrees to perform all other acts and execute and deliver all other documents as may be necessary or appropriate to carry out the intent and purposes of this Agreement.
- 10.10 To the extent this Agreement is construed to create any multiple-fiscal year direct or indirect financial obligation on the part of either party, such obligation is agreed to be subject to annual budgeting and appropriation.

This Agreement shall be effective upon the execution by both parties.

CITY OF NORTHGLENN
A Colorado Municipal Corporation

Mayor
11701 Community Center Drive
Northglenn, Colorado 80020

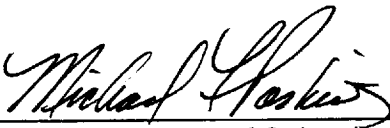
Attest:

Approved As To Form:

City Clerk

City and County Attorney

ADAMS COUNTY SCHOOL DISTRICT
NO. 12

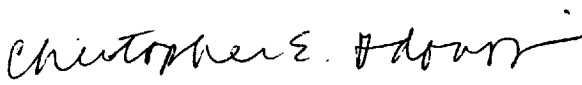


Superintendent of Schools
1500 E. 128th Avenue
Thornton, Colorado 80241

Attest:

Approved As to Form:

By:
Title:



School District Attorney

EXHIBIT A

MASTER JOINT USE AGREEMENT
ADAMS COUNTY SCHOOL DISTRICT NO. 12
CITY OF NORTHGLENN

1. School District Property Site:

Address: Leroy Elementary School
1451 Leroy Drive
Northglenn, Colorado 80233
Cafeteria

2. Exceptions to Schedule for Use of Site:

School District Use: One-week closure before the start of fall school schedule with a 30 day notice to a summer calendar date shift.

Maintenance Use:

City Use:

3. Maintenance and Repair Responsibility (including level of maintenance):

School District:

All grounds maintenance during School District use includes mowing, fall fertilizing, watering, irrigation system maintenance, weeding, aerating, level and re-sod and trash pick-up.

City:

4. Periodic Maintenance and Repair Responsibility:

Description

School District/City Financial Responsibility

Proof of Complete Appropriation of Funds by Both Parties, or Irrevocable Pledge of Adequate Cash Reserves

5. Improvements/Alterations to be Paid for by City:

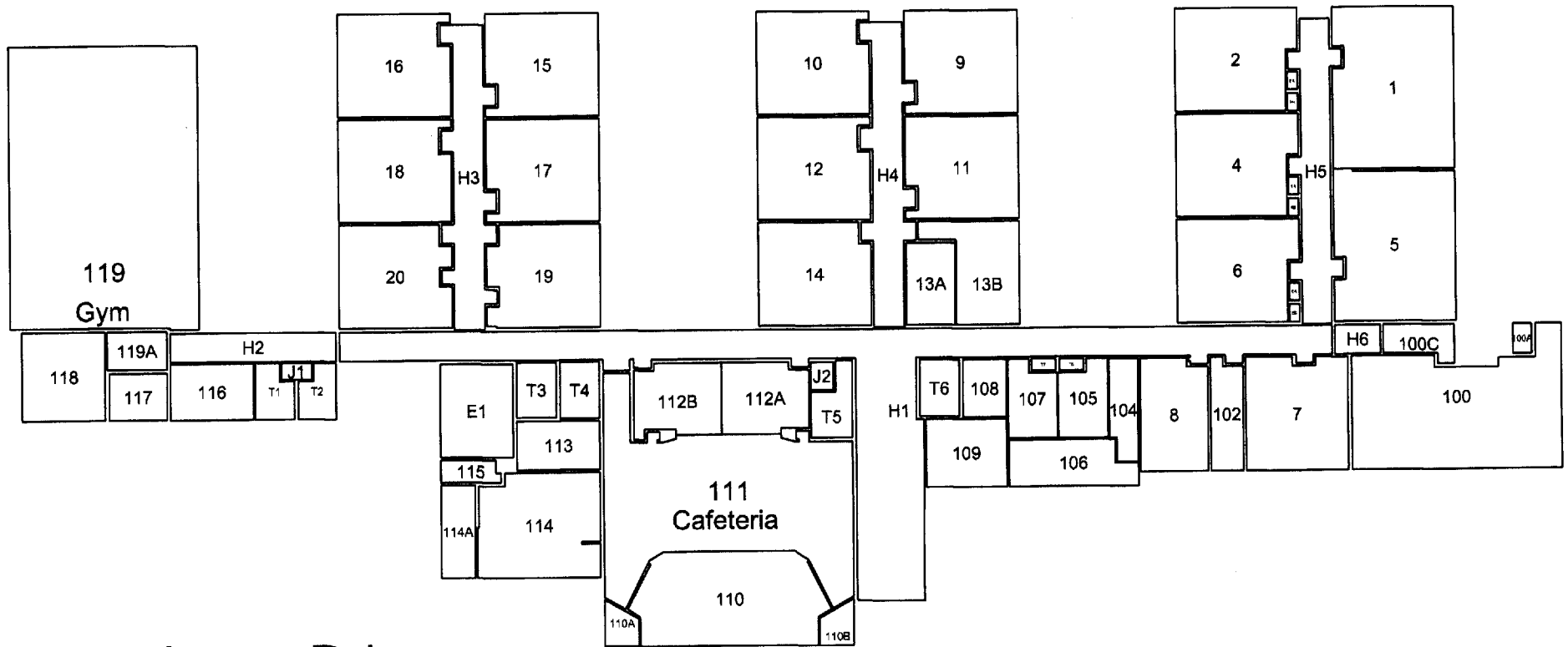
Description:

Cost:

Approved Specifications and Contract Terms:

Proof of Complete Appropriation of Funds by City, or Irrevocable Pledge of Adequate Cash Reserves:

Map of Leroy Elementary School



Leroy Drive
Elementary



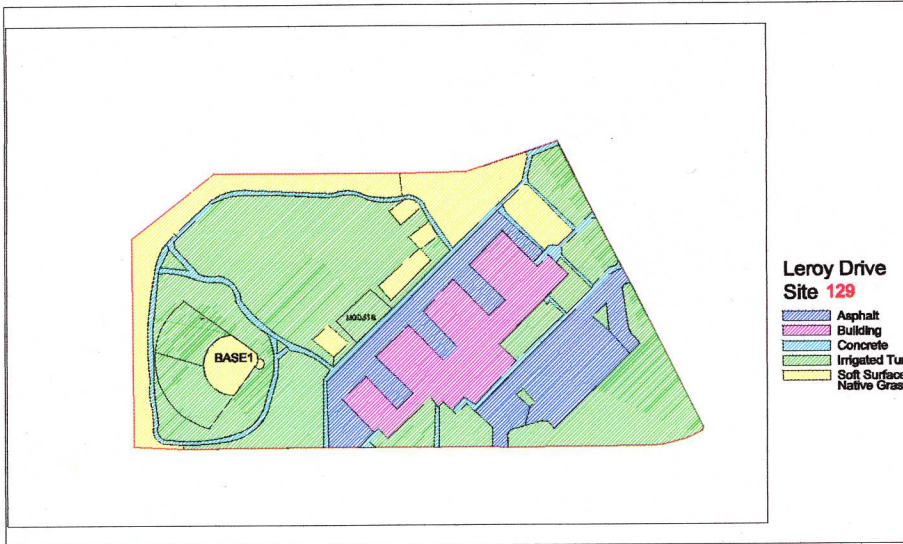


LEROY SITE DETAILS

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Leroy Drive Site



Site Code	Site Detail Surface	Site Detail Use	Site Detail Area	
Records for Site Detail Surface: ASPHALT				
129	ASPHALT	PARKING	32,509	
129	ASPHALT	PLAYGROUND	28,547	
			61,056	Total
			61,056	Total
Records for Site Detail Surface: CONCRETE				
129	CONCRETE	WALKWAY	13,869	
129	CONCRETE	WALKWAY	1,858	
129	CONCRETE	WALKWAY	644	
129	CONCRETE	WALKWAY	507	
129	CONCRETE	WALKWAY	3,399	
129	CONCRETE	WALKWAY	5,525	
129	CONCRETE	WALKWAY	344	
			26,146	Total
			87,202	Total
Records for Site Detail Surface: IRRIG-TURF				
129	IRRIG-TURF	LANDSCAPE	5,359	
129	IRRIG-TURF	LANDSCAPE	5,794	
129	IRRIG-TURF	LANDSCAPE	33,438	
129	IRRIG-TURF	LANDSCAPE	198	
129	IRRIG-TURF	LANDSCAPE	408	
129	IRRIG-TURF	LANDSCAPE	601	
129	IRRIG-TURF	LANDSCAPE	4,708	
129	IRRIG-TURF	LANDSCAPE	7,825	
129	IRRIG-TURF	LANDSCAPE	4,509	



LEROY SITE DETAILS

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<u>Site Code</u>	<u>Site Detail Surface</u>	<u>Site Detail Use</u>	<u>Site Detail Area</u>	
129	IRRIG-TURF	LANDSCAPE	724	
129	IRRIG-TURF	LANDSCAPE	2,940	
129	IRRIG-TURF	PLAYFIELD	39,985	
129	IRRIG-TURF	PLAYGROUND	75,218	
129	IRRIG-TURF	PLAYGROUND	16,295	
			<u>198,002</u>	Total
			285,204	Total
Records for Site Detail Surface: NON-IRRG-TURF				
129	NON-IRRG-TURF		16,018	
129	NON-IRRG-TURF		26,641	
			<u>42,659</u>	Total
			327,863	Total
Records for Site Detail Surface: ROOF AREA				
129	ROOF AREA	SCHOOL	45,539	
			<u>45,539</u>	Total
			373,402	Total
Records for Site Detail Surface: SOFT-SURFACE				
129	SOFT-SURFACE	PLAYFIELD	6,577	
129	SOFT-SURFACE	PLAYGROUND	6,426	
129	SOFT-SURFACE	PLAYGROUND	1,652	
129	SOFT-SURFACE	PLAYGROUND	4,044	
129	SOFT-SURFACE	PLAYGROUND	1,293	
			<u>19,992</u>	Total
			393,394	Total
			<u>393,394</u>	Overall Total

**Operational Cost Formula
Leroy Elementary School Cafeteria Use**

STATISTICS NEEDED FOR UTILITY AND CUSTODIAL COST CALCULATION:

1.	TOTAL COST OF UTILITIES FOR YEAR (gas, electricity, water/sewer, trash disposal)	FYE'04	Inside / Outside
			\$44,461.60 / \$40,636.20_
2.	TOTAL COST OF CUSTODIAL SALARIES/BENEFITS		\$99,973.20 / \$4,165.54
3.	TOTAL HOURS PER CALENDAR YEAR (24 hrs x 361 days)		8,664_____
4.	TOTAL CUSTODIAL HOURS		5226_____
5.	TOTAL BUILDING AREA		42,176.52___
6.	TOTAL AREA USED BY CITY	INSIDE	2,387 / 0 OUT
7.	TOTAL HOURS USED BY CITY - FY End '04		2.5 / 0_____

CALCULATION OF ANNUAL UTILITY AND CUSTODIAL COSTS:

1.	UTILITY COSTS PER HOUR (total utilities ÷ 8,664 hrs/year)	\$5.13_____
2.	CUSTODIAL COSTS PER HOUR (total custodial cost ÷ 8,664 hrs/year)	11.54_____
3.	TOTAL COSTS PER SQUARE FOOT PER HOUR (total utilities/custodial ÷ total sq. ft. ÷ 8,664 hrs/year)	.0004_____
4.	CITY COSTS PER SQUARE FOOT PER HOUR (total costs per sq. ft. per hour x 2,387 sq. ft)	.95_____
5.	CITY COST PER YEAR (City sq. ft. cost per hour x City hours used)	\$2.39_____

EXHIBIT B

MASTER JOINT USE AGREEMENT
ADAMS COUNTY SCHOOL DISTRICT NO. 12
CITY OF NORTHGLENN

1. School District Property Site:

Address: Malley Drive Elementary School
1300 Malley Drive
Northglenn, Colorado 80233
Gym

2. Exceptions to Schedule for Use of Site:

School District Use:

Maintenance Use:

City Use:

3. Annual Maintenance and Repair Responsibility (including level of maintenance):

School District:

All grounds maintenance during School District use including mowing, fall fertilizing, watering, irrigation system maintenance, weeding, aerating, level and re-sod, and trash pick-up.

City:

4. Periodic Maintenance and Repair Responsibility:

Description

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Proof of Complete Appropriation of Funds by Both Parties, or Irrevocable Pledge of Adequate Cash Reserves

5. Improvements/Alterations to be Paid for by City:

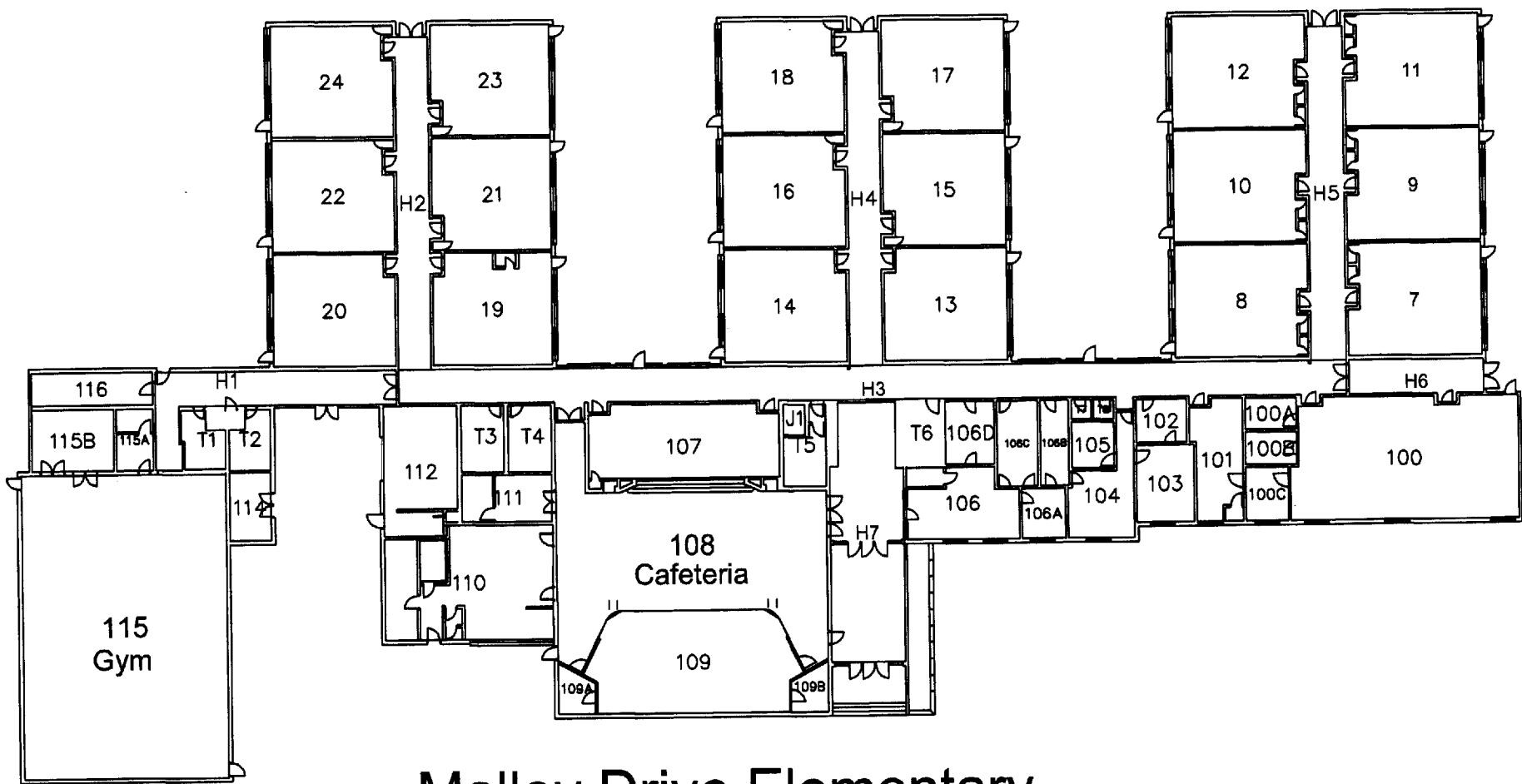
Description:

Cost:

Approved Specifications and Contract Terms:

Proof of Complete Appropriation of Funds by City, or Irrevocable Pledge of Adequate Cash Reserves:

Map of Malley Drive Elementary School



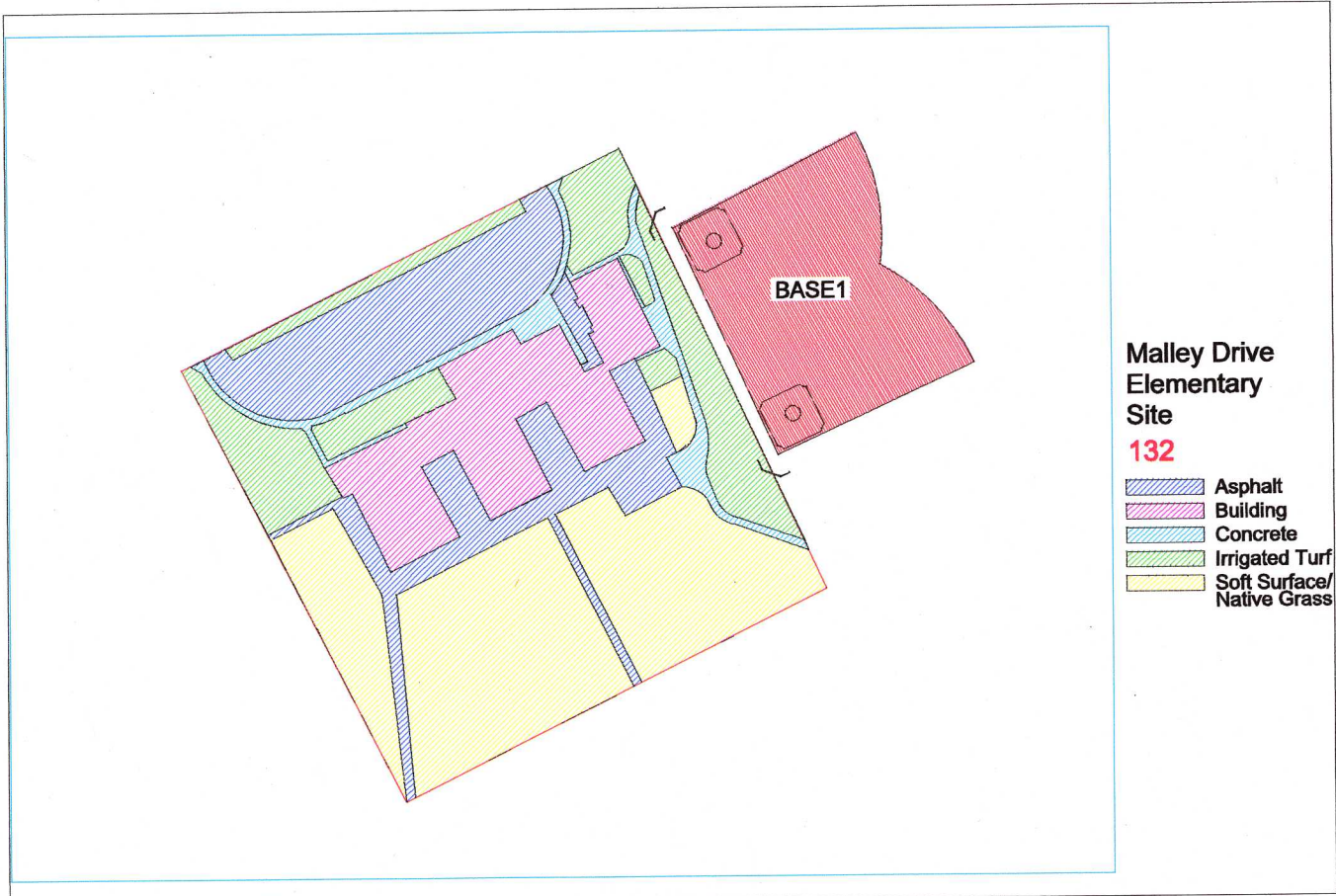
Malley Drive Elementary



MALLEY SITE DETAILS

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Malley Drive Site



Site Code	Site Detail Surface	Site Detail Use	Site Detail Area	
Records for Site Detail Surface: ASPHALT				
132	ASPHALT	DRIVEWAY	1,862	
132	ASPHALT	PARKING	34,437	
132	ASPHALT	PLAYGROUND	26,097	
			62,396	Total
			62,396	Total
Records for Site Detail Surface: CONCRETE				
132	CONCRETE	WALKWAY	6,977	
132	CONCRETE	WALKWAY	8,334	
			15,311	Total
			77,707	Total



MALLEY SITE DETAILS

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04/20/2004

<u>Site Code</u>	<u>Site Detail Surface</u>	<u>Site Detail Use</u>	<u>Site Detail Area</u>	
Records for Site Detail Surface: IRRIG-TURF				
132	IRRIG-TURF	LANDSCAPE	1,258	
132	IRRIG-TURF	LANDSCAPE	5,450	
132	IRRIG-TURF	LANDSCAPE	10,810	
132	IRRIG-TURF	LANDSCAPE	6,817	
132	IRRIG-TURF	LANDSCAPE	877	
132	IRRIG-TURF	LANDSCAPE	4,746	
132	IRRIG-TURF	PLAYFIELD	13,569	
			<u>43,527</u>	Total
			121,234	Total
Records for Site Detail Surface: ROOF AREA				
132	ROOF AREA	SCHOOL	41,624	
			<u>41,624</u>	Total
			162,858	Total
Records for Site Detail Surface: SOFT-SURFACE				
132	SOFT-SURFACE	PLAYGROUND	15,527	
132	SOFT-SURFACE	PLAYGROUND	42,472	
132	SOFT-SURFACE	PLAYGROUND	31,609	
132	SOFT-SURFACE	PLAYGROUND	2,156	
			<u>91,764</u>	Total
			254,622	Total
			<u><u>254,622</u></u>	Overall Total



Malley Drive Elementary School with Adjoining City Park Property

**Operational Cost Formula
Malley Drive Elementary School Gym Use**

STATISTICS NEEDED FOR UTILITY AND CUSTODIAL COST CALCULATION:

1.	TOTAL COST OF UTILITIES FOR YEAR (gas, electricity, water/sewer, trash disposal)	FYE'04	Inside / Outside	\$44,244.23 / \$4,541.48	_____
2.	TOTAL COST OF CUSTODIAL SALARIES/BENEFITS			\$83,166.00 / \$3,659.94	
3.	TOTAL HOURS PER CALENDAR YEAR (24 hrs x 361 days)			8664	_____
4.	TOTAL CUSTODIAL HOURS			4672	_____
5.	TOTAL BUILDING AREA			41,222	_____
6.	TOTAL AREA USED BY CITY	INSIDE		3700 / 0	OUT
7.	TOTAL HOURS USED BY CITY	FY End '04		125 / 0	_____

CALCULATION OF ANNUAL UTILITY AND CUSTODIAL COSTS:

1.	UTILITY COSTS PER HOUR (total utilities ÷ 8,664 hrs/year)	\$5.11	_____
2.	CUSTODIAL COSTS PER HOUR (total custodial cost ÷ 8,664 hrs/year)	9.60	_____
3.	TOTAL COSTS PER SQUARE FOOT PER HOUR (total utilities/custodial ÷ total sq. ft. ÷ 8,664 hrs/year)	.0004	_____
4.	CITY COSTS PER SQUARE FOOT PER HOUR (total costs per sq. ft. per hour x 3,700 sq. ft)	1.48	_____
5.	CITY COST PER YEAR (City sq. ft. cost per hour x City hours used)	\$185.00	_____

EXHIBIT C

MASTER JOINT USE AGREEMENT
ADAMS COUNTY SCHOOL DISTRICT NO. 12
CITY OF NORTHGLENN

1. School District Property Site:

Address: Wyco Elementary School
11551 Wyco Drive
Northglenn, Colorado 80223
Cafeteria

2. Exceptions to Schedule for Use of Site:

School District Use:

Maintenance Use:

City Use:

3. Annual Maintenance and Repair Responsibility (including level of maintenance):

School District:

All grounds maintenance during School District use including mowing, fall fertilizing, watering, irrigation system maintenance, weeding, aerating, level and re-sod, and trash pick-up. District owns approximately 92,034 square feet of undeveloped and native field to the north of this school and adjacent to City property for which the District acknowledges that the City has been maintaining this area.

City:

If applicable, grounds maintenance by the City may include mowing, spring fertilizing, watering, irrigation system maintenance, weeding, trash pick-up, and tree maintenance. Assist District with weed control on soft surface native grass area each year.

4. Periodic Maintenance and Repair Responsibility:

Description

School District/City Financial Responsibility

Proof of Complete Appropriation of Funds by Both Parties, or Irrevocable Pledge of Adequate Cash Reserves

5. Improvements/Alterations to be Paid for by City:

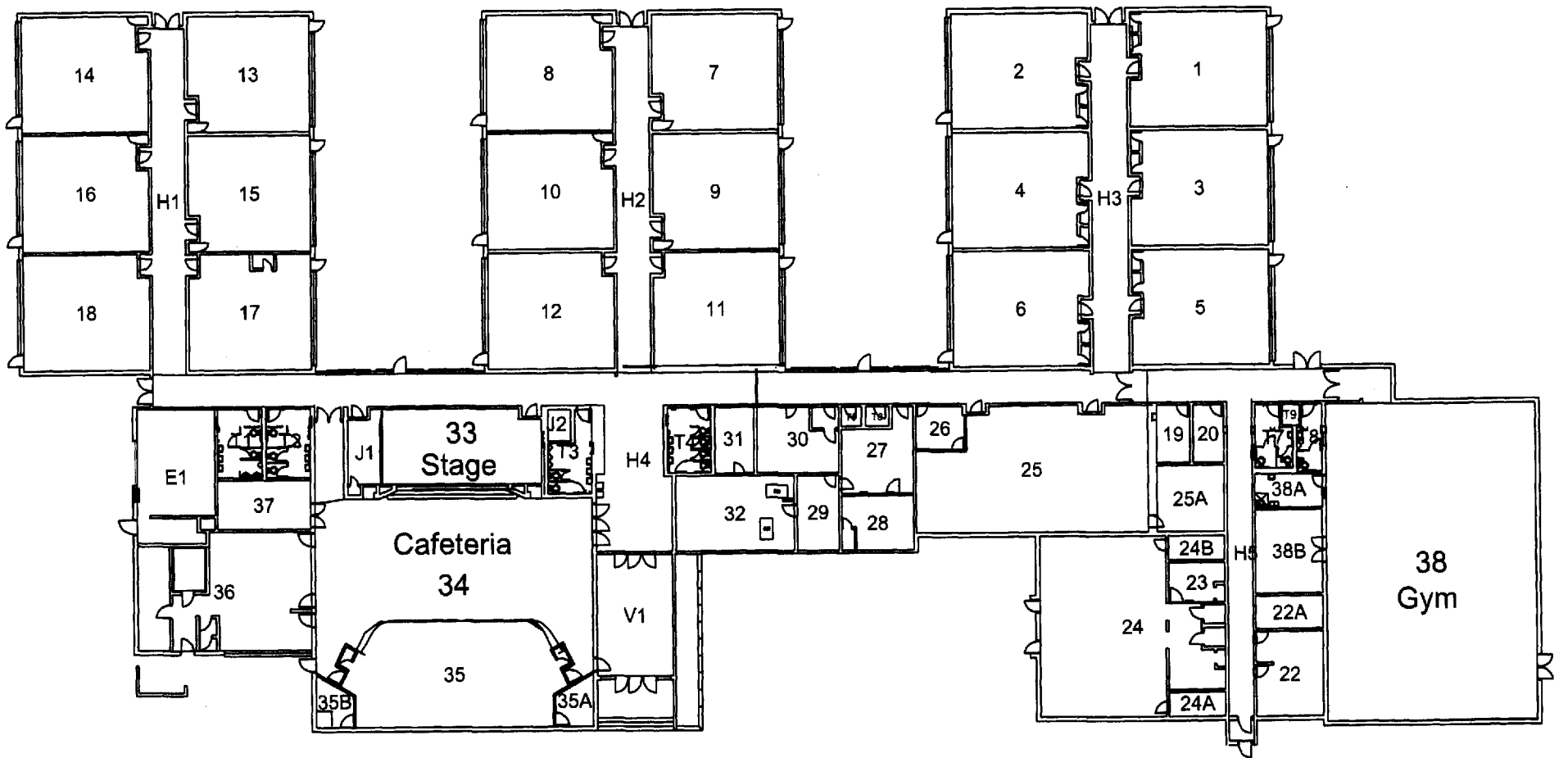
Description:

Cost:

Approved Specifications and Contract Terms:

Proof of Complete Appropriation of Funds by City, or Irrevocable Pledge of Adequate Cash Reserves:

Map of Wyco Elementary School



Wycoco Elementary

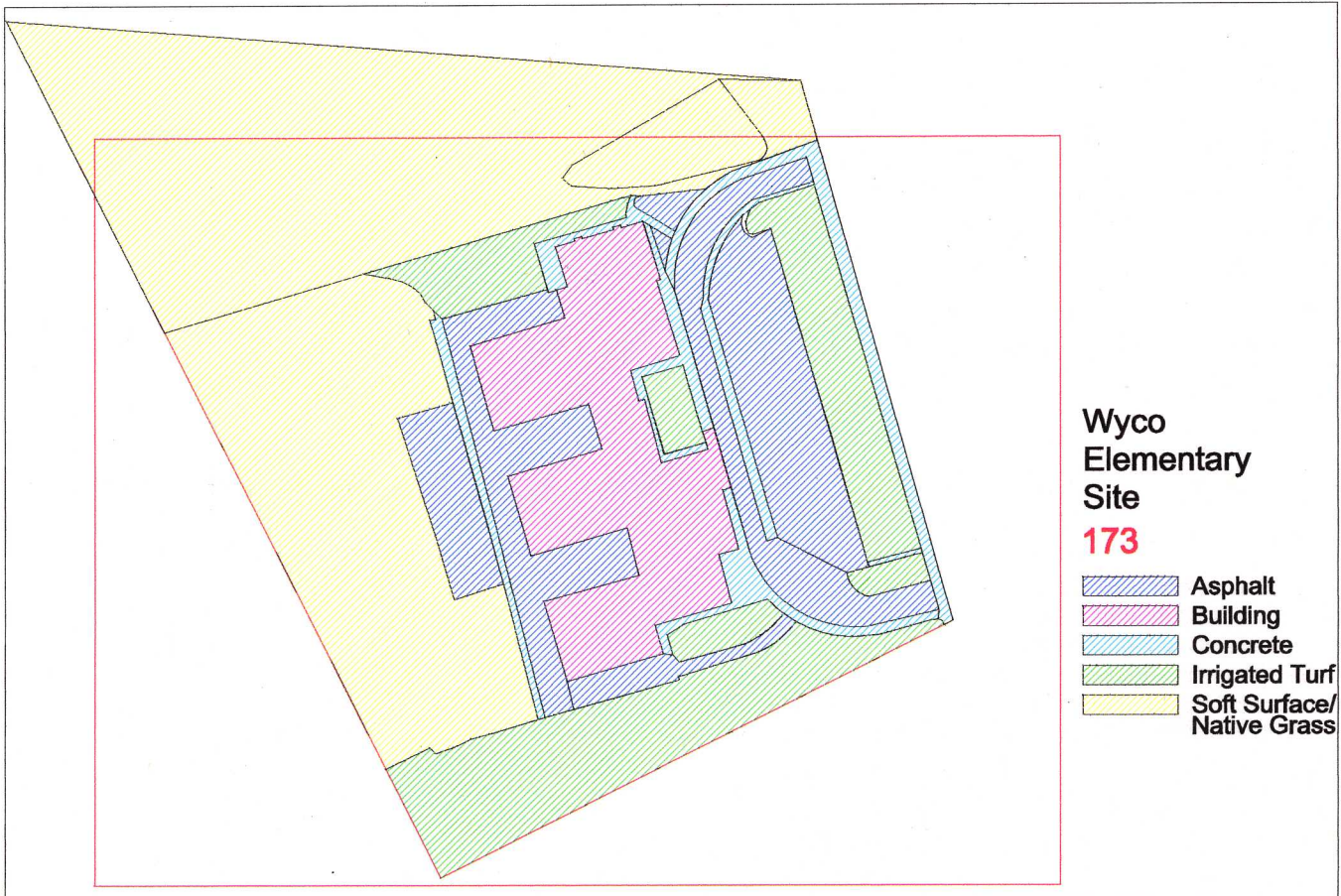


WYCO SITE DETAILS

Page 1

04/20/2004

Wyco Site



Site Code	Site Detail Surface	Site Detail Use	Site Detail Area	
Records for Site Detail Surface: ASPHALT				
173	ASPHALT	DRIVEWAY	3,460	
173	ASPHALT	DRIVEWAY	13,155	
173	ASPHALT	DRIVEWAY	1,067	
173	ASPHALT	DRIVEWAY	258	
173	ASPHALT	PARKING	18,550	
173	ASPHALT	PLAYGROUND	16,367	
173	ASPHALT	PLAYGROUND	7,315	
			60,172	Total
			60,172	Total
Records for Site Detail Surface: CONCRETE				
173	CONCRETE	WALKWAY	2,668	
173	CONCRETE	WALKWAY	3,682	
173	CONCRETE	WALKWAY	194	

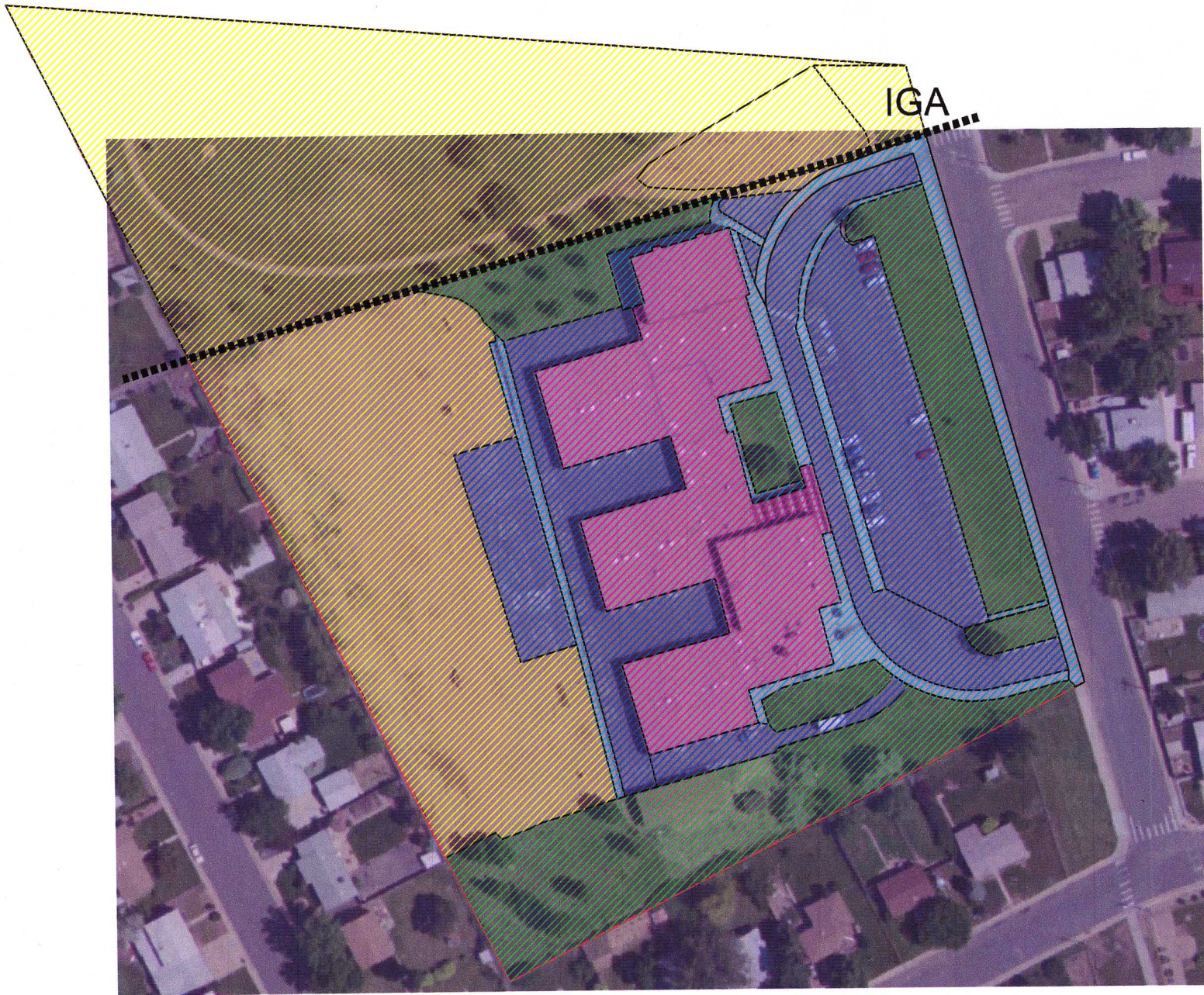


WYCO SITE DETAILS

Page 2

04/20/2004



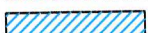
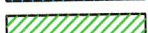

<u>Site Code</u>	<u>Site Detail Surface</u>	<u>Site Detail Use</u>	<u>Site Detail Area</u>	
173	CONCRETE	WALKWAY	2,542	
173	CONCRETE	WALKWAY	2,569	
173	CONCRETE	WALKWAY	1,558	
173	CONCRETE	WALKWAY	6,062	
			<u>19,275</u>	Total
			79,447	Total
Records for Site Detail Surface: IRRIG-TURF				
173	IRRIG-TURF	LANDSCAPE	1,531	
173	IRRIG-TURF	LANDSCAPE	29,701	
173	IRRIG-TURF	LANDSCAPE	2,658	
173	IRRIG-TURF	LANDSCAPE	14,997	
173	IRRIG-TURF	LANDSCAPE	2,464	
173	IRRIG-TURF	LANDSCAPE	7,537	
			<u>58,888</u>	Total
			138,335	Total
Records for Site Detail Surface: NON-IRRG-TURF				
173	NON-IRRG-TURF		63,837	
173	NON-IRRG-TURF		92,034	
			<u>155,871</u>	Total
			294,206	Total
Records for Site Detail Surface: ROOF AREA				
173	ROOF AREA	SCHOOL	42,225	
			<u>42,225</u>	Total
			336,431	Total
Records for Site Detail Surface: SOFT-SURFACE				
173	SOFT-SURFACE	KINDERGART	8,214	
			<u>8,214</u>	Total
			344,645	Total
			<u>344,645</u>	Overall Total



IGA

Wyco
Elementary
Site

173

-  Asphalt
-  Building
-  Concrete
-  Irrigated Turf
-  Soft Surface/
Native Grass

**Operational Cost Formula
Wyco Elementary School Cafeteria Use**

STATISTICS NEEDED FOR UTILITY AND CUSTODIAL COST CALCULATION:

1.	TOTAL COST OF UTILITIES FOR YEAR FYE'04 (gas, electricity, water/sewer, trash disposal)	Inside / Outside \$44,736.78 / \$13,015.11
2.	TOTAL COST OF CUSTODIAL SALARIES/BENEFITS	\$100,292.14 / \$4,178.83
3.	TOTAL HOURS PER CALENDAR YEAR (24 hrs x 361 days)	8664 _____
4.	TOTAL CUSTODIAL HOURS	5408 _____
5.	TOTAL BUILDING AREA	42,352 _____
6.	TOTAL AREA USED BY CITY	INSIDE 2,244 / _____ OUT
7.	TOTAL HOURS USED BY CITY FY End '04	3 / _____

CALCULATION OF ANNUAL UTILITY AND CUSTODIAL COSTS:

1.	UTILITY COSTS PER HOUR (total utilities ÷ 8,664 hrs/year)	\$5.16 _____
2.	CUSTODIAL COSTS PER HOUR (total custodial cost ÷ 8,664 hrs/year)	11.58 _____
3.	TOTAL COSTS PER SQUARE FOOT PER HOUR (total utilities/custodial ÷ total sq. ft. ÷ 8,664 hrs/year)	.0004 _____
4.	CITY COSTS PER SQUARE FOOT PER HOUR (total costs per sq. ft. per hour x 2,244 sq. ft)	.90 _____
5.	CITY COST PER YEAR (City sq. ft. cost per hour x City hours used)	\$2.70 _____

EXHIBIT D

MASTER JOINT USE AGREEMENT
ADAMS COUNTY SCHOOL DISTRICT NO. 12
CITY OF NORTHGLENN

1. School District Property Site:

Address: Northglenn Middle School
1123 Muriel Drive
Northglenn, Colorado 80233
Gym

2. Exceptions to Schedule for Use of Site:

School District Use:

Maintenance Use:

City Use:

3. Annual Maintenance and Repair Responsibility (including level of maintenance):

School District:

All grounds maintenance during School District use including mowing, fall fertilizing, watering, irrigation system maintenance, weeding, aerating, level and re-sod, and trash pick-up.

City:

4. Periodic Maintenance and Repair Responsibility:

Description

School District/City Financial Responsibility

Proof of Complete Appropriation of Funds by Both Parties, or Irrevocable Pledge of Adequate Cash Reserves

5. Improvements/Alterations to be Paid for by City:

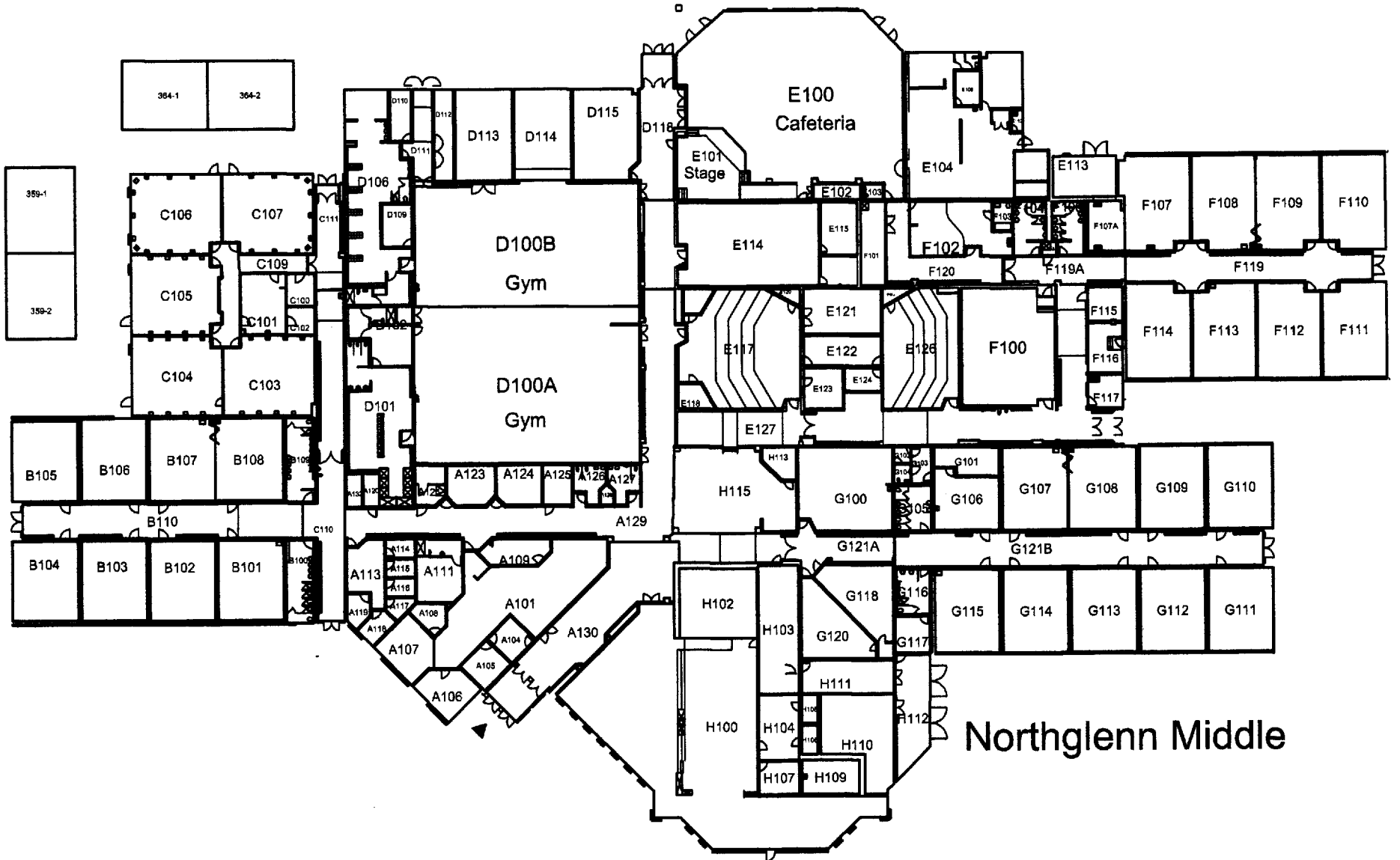
Description:

Cost:

Approved Specifications and Contract Terms:

Proof of Complete Appropriation of Funds by City, or Irrevocable Pledge of Adequate Cash Reserves:

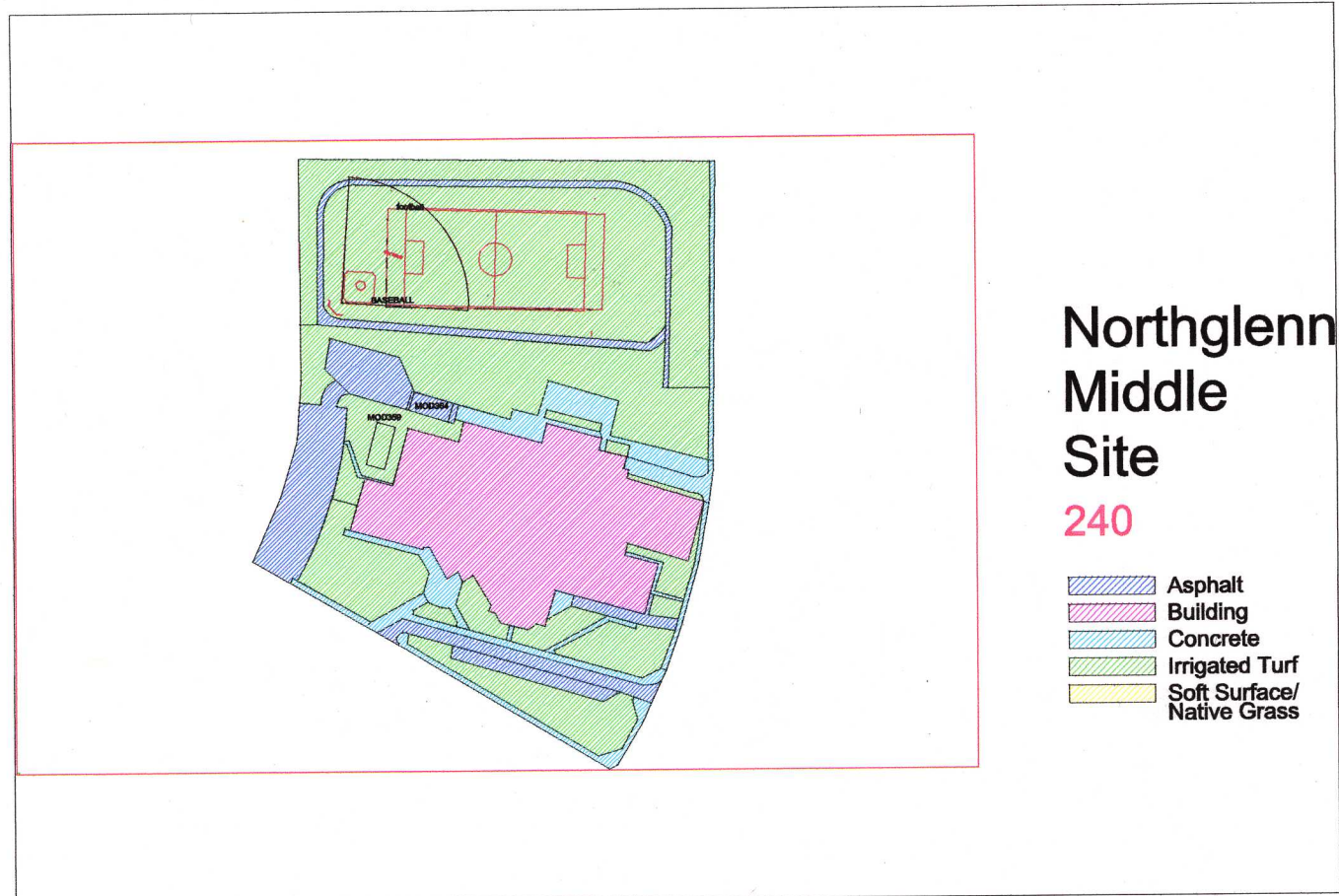
Map of Northglenn Middle School



Northglenn Middle



Northglenn Middle Site



**Northglenn
Middle
Site
240**

Site Code	Site Detail Surface	Site Detail Use	Site Detail Area	
Records for Site Detail Surface: ASPHALT				
240	ASPHALT	DRIVEWAY	2,481	
240	ASPHALT	DRIVEWAY	6,943	
240	ASPHALT	PARKING	4,245	
240	ASPHALT	PARKING	17,478	
240	ASPHALT	PARKING	7,494	
240	ASPHALT	PARKING	1,775	
240	ASPHALT	PLAYFIELD	12,908	
			53,324	Total
			53,324	Total
Records for Site Detail Surface: CONCRETE				
240	CONCRETE	DRIVEWAY	3,047	
240	CONCRETE	WALKWAY	678	
240	CONCRETE	WALKWAY	11,391	



NORTHGLENN MIDDLE SITE DETAILS

Page 2

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<u>Site Code</u>	<u>Site Detail Surface</u>	<u>Site Detail Use</u>	<u>Site Detail Area</u>	
240	CONCRETE	WALKWAY	770	
240	CONCRETE	WALKWAY	928	
240	CONCRETE	WALKWAY	134	
240	CONCRETE	WALKWAY	2,639	
240	CONCRETE	WALKWAY	5,275	
240	CONCRETE	WALKWAY	4,199	
240	CONCRETE	WALKWAY	1,565	
240	CONCRETE	WALKWAY	1,077	
240	CONCRETE	WALKWAY	4,040	
240	CONCRETE	WALKWAY	394	
			<u>36,137</u>	Total
			89,461	Total
Records for Site Detail Surface: IRRIG-TURF				
240	IRRIG-TURF	LANDSCAPE	2,045	
240	IRRIG-TURF	LANDSCAPE	10,091	
240	IRRIG-TURF	LANDSCAPE	15,988	
240	IRRIG-TURF	LANDSCAPE	14,629	
240	IRRIG-TURF	LANDSCAPE	3,299	
240	IRRIG-TURF	LANDSCAPE	1,084	
240	IRRIG-TURF	LANDSCAPE	3,834	
240	IRRIG-TURF	LANDSCAPE	8,080	
240	IRRIG-TURF	LANDSCAPE	1,122	
240	IRRIG-TURF	LANDSCAPE	907	
240	IRRIG-TURF	LANDSCAPE	515	
240	IRRIG-TURF	LANDSCAPE	761	
240	IRRIG-TURF	LANDSCAPE	3,275	
240	IRRIG-TURF	PLAYFIELD	38,399	
240	IRRIG-TURF	PLAYFIELD	93,485	
240	IRRIG-TURF	PLAYGROUND	46,488	
			<u>244,002</u>	Total
			333,463	Total
Records for Site Detail Surface: ROOF AREA				
240	ROOF AREA	SCHOOL	85,389	
			<u>85,389</u>	Total
			418,852	Total
			<u>418,852</u>	Overall Total

**Operational Cost Formula
Northglenn Middle School Gym Use**

STATISTICS NEEDED FOR UTILITY AND CUSTODIAL COST CALCULATION:

- | | | |
|----|---|--|
| 1. | TOTAL COST OF UTILITIES FOR YEAR
(gas, electricity, water/sewer, trash disposal) | FYE '04 Inside / Outside
\$106,263.55 / 29,197.38 |
| 2. | TOTAL COST OF CUSTODIAL SALARIES/BENEFITS | \$166,526.96 / \$ 6,938.62 |
| 3. | TOTAL HOURS PER CALENDAR YEAR
(24 hrs x 361 days) | 8664 _____ |
| 4. | TOTAL CUSTODIAL HOURS | 8570 _____ |
| 5. | TOTAL BUILDING AREA | 90,708.56 _____ |
| 6. | TOTAL AREA USED BY CITY | INSIDE 7,687 / ___ OUT |
| 7. | TOTAL HOURS USED BY CITY FY End '04 | 383 / _____ |

CALCULATION OF ANNUAL UTILITY AND CUSTODIAL COSTS:

- | | | |
|----|--|----------------|
| 1. | UTILITY COSTS PER HOUR
(total utilities ÷ 8,664 hrs/year) | \$12.26 _____ |
| 2. | CUSTODIAL COSTS PER HOUR
(total custodial cost ÷ 8,664 hrs/year) | 19.22 _____ |
| 3. | TOTAL COSTS PER SQUARE FOOT PER HOUR
(total utilities/custodial ÷ total sq. ft. ÷ 8,664 hrs/year) | .0003 _____ |
| 4. | CITY COSTS PER SQUARE FOOT PER HOUR
(total costs per sq. ft. per hour x 7,687 sq. ft) | 2.31 _____ |
| 5. | CITY COST PER YEAR
(City sq. ft. cost per hour x City hours used) | \$883.24 _____ |

EXHIBIT E

MASTER JOINT USE AGREEMENT
ADAMS COUNTY SCHOOL DISTRICT NO. 12
CITY OF NORTHGLENN

1. School District Property Site:

Address: Northeast Middle School
11700 Irma Drive
Northglenn, Colorado 80233
Gym

2. Exceptions to Schedule for Use of Site:

School District Use:

Maintenance Use:

City Use:

3. Annual Maintenance and Repair Responsibility (including level of maintenance):

School District:

All grounds maintenance during School District use including mowing, fall fertilizing, watering, irrigation system maintenance, weeding, aerating, level and re-sod, and trash pick-up. District owns approximately 33,831 square feet of turf area to the east of this school and adjacent to City property for which the District acknowledges that the City has been maintaining this area.

City:

If applicable, grounds maintenance by the City may include mowing, spring fertilizing, watering, irrigation system maintenance, trash pick-up, and tree maintenance. Assist District with weed control to this area each year.

4. Periodic Maintenance and Repair Responsibility:

Description

School District/City Financial Responsibility

Proof of Complete Appropriation of Funds by Both Parties, or Irrevocable Pledge of Adequate Cash Reserves

5. Improvements/Alterations to be Paid for by City:

Description:

Cost:

Approved Specifications and Contract Terms:

Proof of Complete Appropriation of Funds by City, or Irrevocable Pledge of Adequate Cash Reserves:

Map of Northeast Middle School

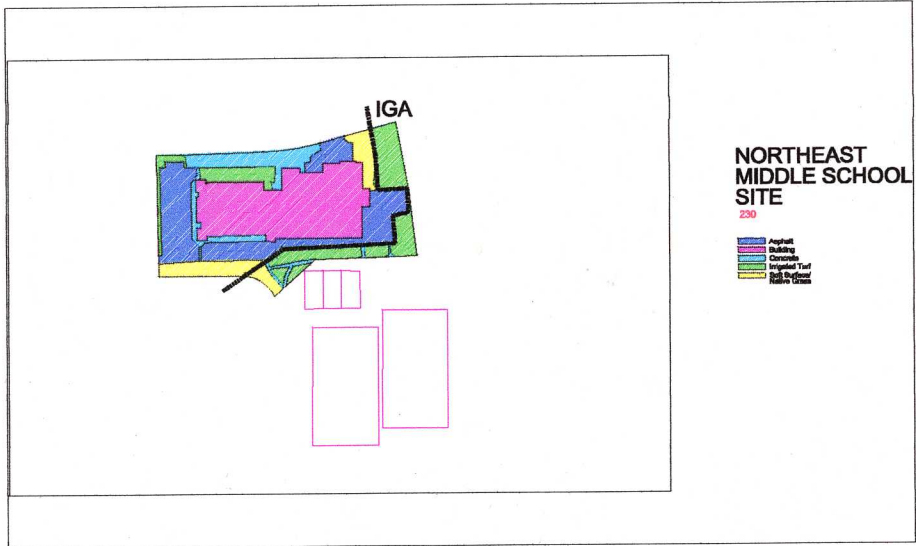


SITE REPORT

Page 1

09/15/04

Northeast Middle Site



Site Code	Site Detail Surface	Site Detail Use	Site Detail Area	
Records for Site Detail Surface: ASPHALT				
230	ASPHALT	PARKING	27,996	
230	ASPHALT	PARKING	8,670	
230	ASPHALT	PLAYGROUND	34,021	
			70,687	Total
			70,687	Total
Records for Site Detail Surface: CONCRETE				
230	CONCRETE	DRIVEWAY	19,178	
230	CONCRETE	WALKWAY	7,177	
230	CONCRETE	WALKWAY	298	
230	CONCRETE	WALKWAY	365	
230	CONCRETE	WALKWAY	2,651	
			29,669	Total
			100,356	Total
Records for Site Detail Surface: IRRIG-TURF				
230	IRRIG-TURF	LANDSCAPE	1,388	
230	IRRIG-TURF	LANDSCAPE	1,661	
230	IRRIG-TURF	LANDSCAPE	13,546	
230	IRRIG-TURF	LANDSCAPE	4,656	
230	IRRIG-TURF	LANDSCAPE	8,666	
230	IRRIG-TURF	LANDSCAPE	15,905	
230	IRRIG-TURF	LANDSCAPE	10,165	
			55,987	Total
			156,343	Total



SITE REPORT

Page 2

09/15/04

<u>Site Code</u>	<u>Site Detail Surface</u>	<u>Site Detail Use</u>	<u>Site Detail Area</u>	
Records for Site Detail Surface: NON-IRRG-TURF				
230	NON-IRRG-TURF		8,716	
230	NON-IRRG-TURF		16,407	
			<u>25,123</u>	Total
			181,466	Total
Records for Site Detail Surface: ROOF AREA				
230	ROOF AREA	SCHOOL	90,523	
			<u>90,523</u>	Total
			271,989	Total
			<u><u>271,989</u></u>	Overall Total

**Operational Cost Formula
Northeast Middle School Gym Use**

STATISTICS NEEDED FOR UTILITY AND CUSTODIAL COST CALCULATION:

1.	TOTAL COST OF UTILITIES FOR YEAR (gas, electricity, water/sewer, trash disposal)	FYE '04 Inside / Outside \$128,024.00 / \$20,700.00
2.	TOTAL COST OF CUSTODIAL SALARIES/BENEFITS	\$25,628.20__
3.	TOTAL HOURS PER CALENDAR YEAR (24 hrs x 361 days)	8664_____
4.	TOTAL CUSTODIAL HOURS	2,080_____
5.	TOTAL BUILDING AREA	125,699_____
6.	TOTAL AREA USED BY CITY	INSIDE 0 / 0_ OUT
7.	TOTAL HOURS USED BY CITY FY End '04	0 / 0_____

CALCULATION OF ANNUAL UTILITY AND CUSTODIAL COSTS:

1.	UTILITY COSTS PER HOUR (total utilities ÷ 8,664 hrs/year)	_____
2.	CUSTODIAL COSTS PER HOUR (total custodial cost ÷ 8,664 hrs/year)	_____
3.	TOTAL COSTS PER SQUARE FOOT PER HOUR (total utilities/custodial ÷ total sq. ft. ÷ 8,664 hrs/year)	_____
4.	CITY COSTS PER SQUARE FOOT PER HOUR (total costs per sq. ft. per hour x 0 sq. ft)	_____
5.	CITY COST PER YEAR (City sq. ft. cost per hour x City hours used)	_____

EXHIBIT F

MASTER JOINT USE AGREEMENT
ADAMS COUNTY SCHOOL DISTRICT NO. 12
CITY OF NORTHGLENN

1. School District Property Site:

Address: Hillcrest Elementary School
10335 Croke Drive
Northglenn, Colorado 80260

2. Exceptions to Schedule for Use of Site:

School District Use:

Maintenance Use:

City Use:

3. Annual Maintenance and Repair Responsibility (including level of maintenance):

School District:

All grounds maintenance during School District use including mowing, fall fertilizing, watering, irrigation system maintenance, weeding, aerating, level and re-sod, and trash pick-up. District owns Park property to the west that was jointly developed by the City of Northglenn.

City:

All grounds maintenance by the City may include mowing, fertilizing, watering, irrigation system maintenance, weeding, repair and maintenance of play apparatus, dragging and lining field, adding infield mix to infield, trash pick-up, and tree maintenance. District acknowledges that the City has been maintaining this area through previous joint use agreements.

4. Periodic Maintenance and Repair Responsibility:

Description

School District/City Financial Responsibility

Proof of Complete Appropriation of Funds by Both Parties, or Irrevocable Pledge of Adequate Cash Reserves

5. Improvements/Alterations to be Paid for by City:

Description:

Cost:

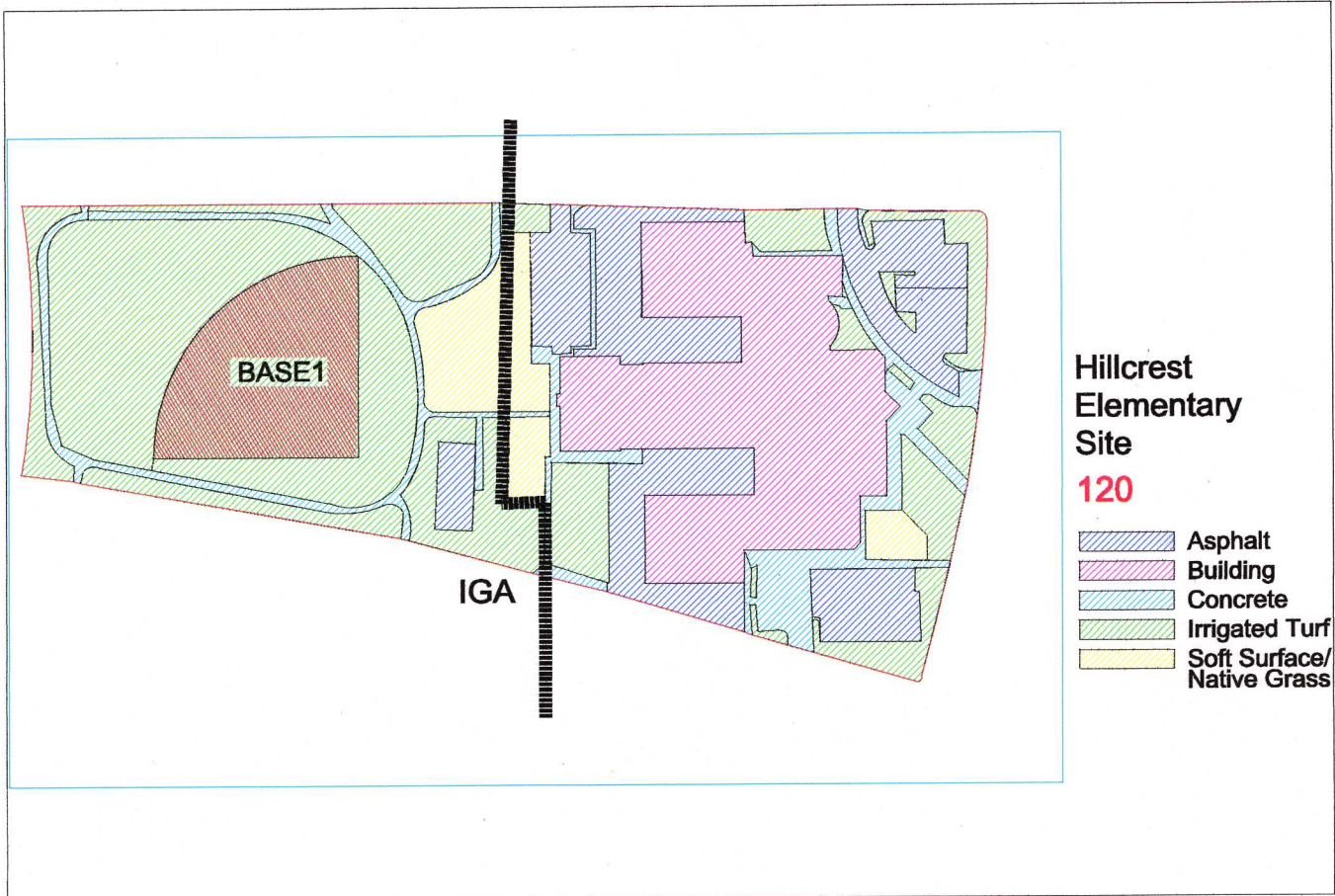
Approved Specifications and Contract Terms:

Proof of Complete Appropriation of Funds by City, or Irrevocable Pledge of Adequate Cash Reserves:

Map of Hillcrest Elementary School



Hillcrest Site



Site Code	Site Detail Surface	Site Detail Use	Site Detail Area	
Records for Site Detail Surface: ASPHALT				
120	ASPHALT	PARKING	5,347	
120	ASPHALT	PARKING	10,573	
120	ASPHALT	PARKING	5,488	
120	ASPHALT	PLAYGROUND	2,342	
120	ASPHALT	PLAYGROUND	9,772	
120	ASPHALT	PLAYGROUND	9,677	
			43,199	Total
			43,199	Total
Records for Site Detail Surface: CONCRETE				
120	CONCRETE	WALKWAY	9,488	
120	CONCRETE	WALKWAY	3,477	
120	CONCRETE	WALKWAY	11,112	







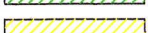
Site Code	Site Detail Surface	Site Detail Use	Site Detail Area	
120	CONCRETE	WALKWAY	146	
120	CONCRETE	WALKWAY	67	
120	CONCRETE	WALKWAY	162	
			24,452	Total
			67,651	Total
Records for Site Detail Surface: IRRIG-TURF				
120	IRRIG-TURF	LANDSCAPE	1,043	
120	IRRIG-TURF	LANDSCAPE	3,617	
120	IRRIG-TURF	LANDSCAPE	1,304	
120	IRRIG-TURF	LANDSCAPE	7,676	
120	IRRIG-TURF	LANDSCAPE	4,098	
120	IRRIG-TURF	LANDSCAPE	8,193	
120	IRRIG-TURF	LANDSCAPE	4,667	
120	IRRIG-TURF	LANDSCAPE	124	
120	IRRIG-TURF	LANDSCAPE	350	
120	IRRIG-TURF	LANDSCAPE	3,403	
120	IRRIG-TURF	LANDSCAPE	3,370	
120	IRRIG-TURF	LANDSCAPE	2,034	
120	IRRIG-TURF	LANDSCAPE	172	
120	IRRIG-TURF	LANDSCAPE	850	
120	IRRIG-TURF	LANDSCAPE	27	
120	IRRIG-TURF	LANDSCAPE	2,378	
120	IRRIG-TURF	LANDSCAPE	3,546	
120	IRRIG-TURF	LANDSCAPE	488	
120	IRRIG-TURF	PLAYFIELD	28,691	
120	IRRIG-TURF	PLAYFIELD	13,015	
120	IRRIG-TURF	PLAYFIELD	23,325	
			112,371	Total
			180,022	Total
Records for Site Detail Surface: ROOF AREA				
120	ROOF AREA	SCHOOL	50,927	
			50,927	Total
			230,949	Total
Records for Site Detail Surface: SOFT-SURFACE				
120	SOFT-SURFACE	KINDERGARTI	1,979	
120	SOFT-SURFACE	PLAYGROUNCI	11,513	
120	SOFT-SURFACE	PLAYGROUNCI	2,543	
			16,035	Total
			246,984	Total
			246,984	Overall Total

Maps of Additional School Sites with no Joint Use








Hulstrom
Elementary
Site

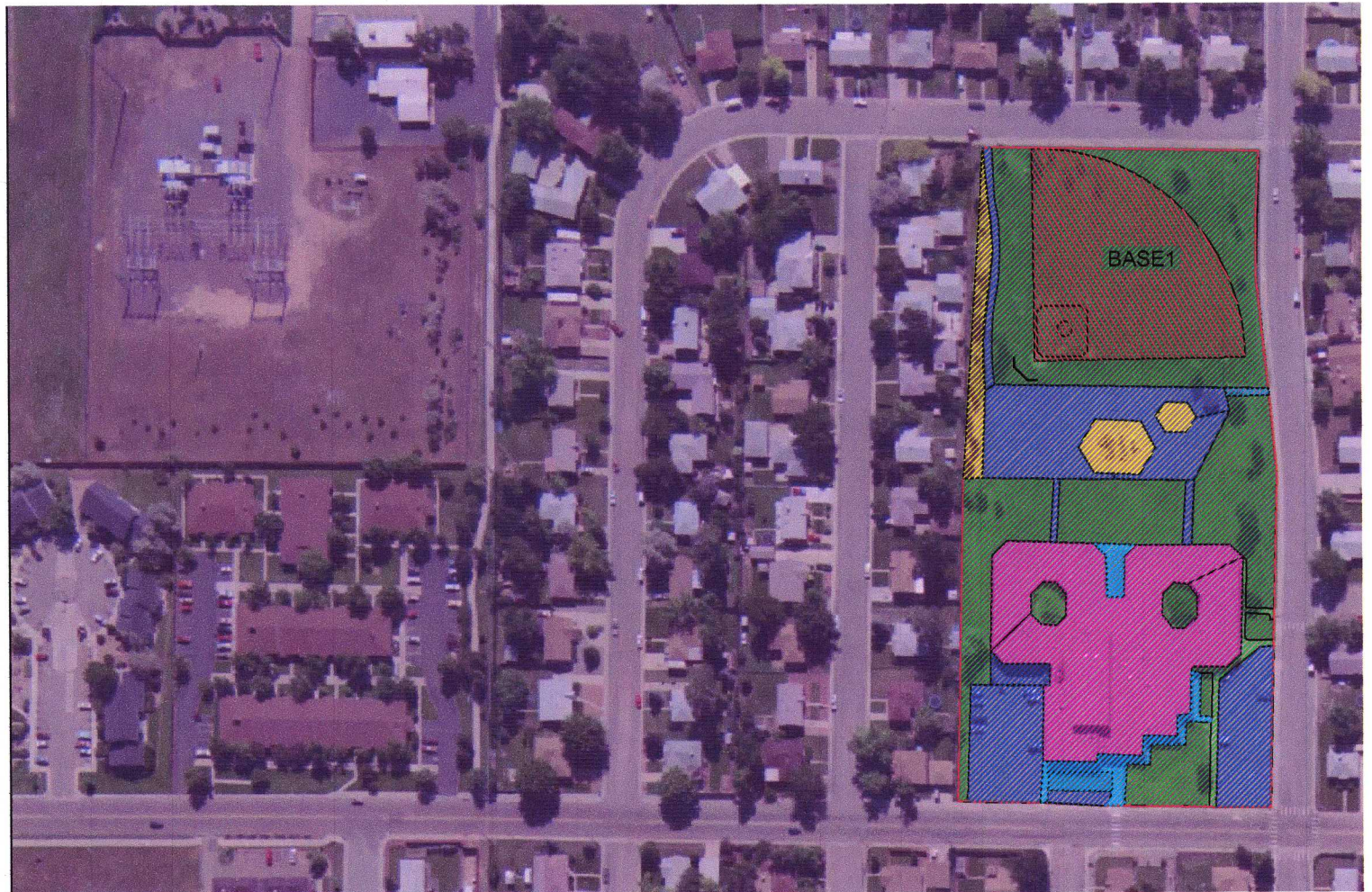
122

-  Asphalt
-  Building
-  Concrete
-  Irrigated Turf
-  Soft Surface/
Native Grass

Stukey
Elementary
Site

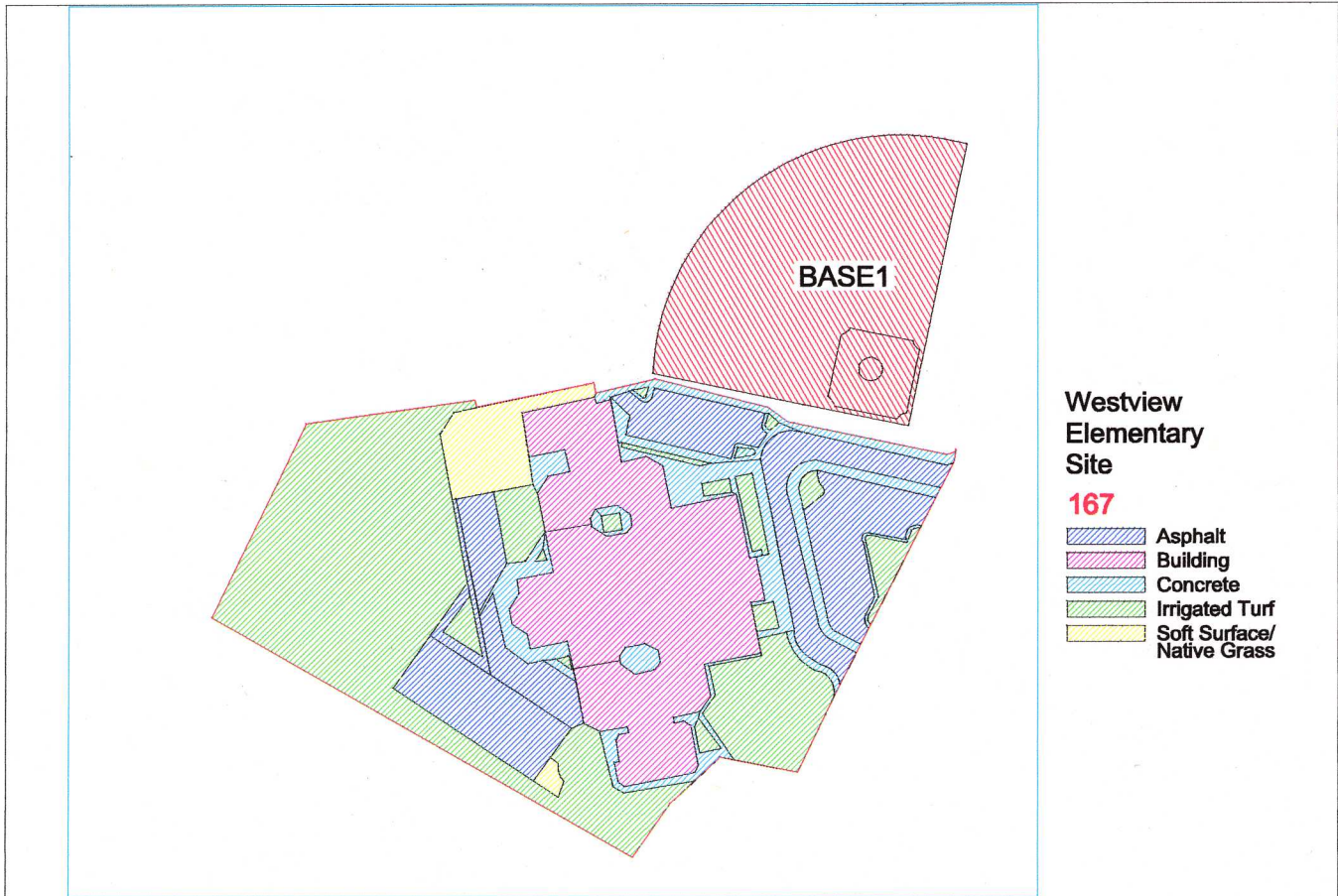
156

-  Asphalt
-  Building
-  Concrete
-  Irrigated Turf
-  Soft Surface/
Native Grass










Westview Site



Site Code	Site Detail Surface	Site Detail Use	Site Detail Area	
Records for Site Detail Surface: ASPHALT				
167	ASPHALT	DRIVEWAY	10,760	
167	ASPHALT	PARKING	11,320	
167	ASPHALT	PARKING	6,902	
167	ASPHALT	PLAYGROUND	2,059	
167	ASPHALT	PLAYGROUND	3,721	
167	ASPHALT	PLAYGROUND	4,856	
167	ASPHALT	PLAYGROUND	11,481	
			51,099	Total
			51,099	Total
Records for Site Detail Surface: CONCRETE				
167	CONCRETE	WALKWAY	673	
167	CONCRETE	WALKWAY	517	
167	CONCRETE	WALKWAY	1,019	








Huron Middle - Site

-  Asphalt
-  Building
-  Concrete
-  Irrigated Turf
-  Soft Surface/
Native Grass



Northglenn High Site

332

-  Asphalt
-  Building
-  Concrete
-  Irrigated Turf
-  Soft Surface/
Native Grass