

**PARKS, RECREATION & CULTURE MEMORANDUM
#10-2020**

DATE: February 24, 2020

TO: Honorable Mayor Meredith Leighty and City Council Members

THROUGH: Heather Geyer, City Manager *hmg*

FROM: Amanda J. Peterson, Director of Parks, Recreation & Culture *ajp*
Eric Ensey, Senior Planner
Nathan Haasis, PE, Senior Engineer

SUBJECT: CR-55 – NGCC – Amendment #2 to the FCI Constructors Contract

PURPOSE

Staff is seeking approval of a second amendment to the contract with FCI Constructors (FCI) for the Northglenn Civic Center (NGCC) Master Plan Phase I Implementation project. This amendment will accept the Final Guaranteed Maximum Price (FGMP) for the building in the amount of \$34,748,928.00, with an owner's contingency of \$3,000,000.00.

BACKGROUND

The implementation of Phase I of the NGCC Master Plan, which includes the design and construction of the new Recreation Center, Senior Center and Theatre, as well as Memorial Parkway and associated infrastructure, was initiated in April 2018. Barker Rinker Seacat (BRS) was selected as the project architect, and Project One was selected to perform project management. In March 2019, a contract was awarded to FCI Constructors to serve as the Construction Manager/General Contractor (CMGC) for the project.

The contract with FCI Constructors is intended to be issued in three parts. Part one – the initial contract – was issued in March 2019 in the amount of \$125,487.44 for preconstruction services. As a part of preconstruction services, FCI developed an Initial Guaranteed Maximum Price (IGMP) for the construction of the new facility. This IGMP was issued in May 2019, in the amount of \$43,529,417.00.

In October 2019, the second part of the contract – the first amendment to the FCI Constructors contract - was issued. This amendment was for the Site FGMP, in the amount of \$9,138,075.00, with an owner's contingency of \$931,295.00. This provided FCI authorization to move forward with site construction, including grading, utilities, footings and foundation.

In January 2020, FCI provided an initial building FGMP that was approximately \$1,200,000.00 over the IGMP. As outlined during the February 10 study session, staff and the consultant team utilized a value engineering approach to identify appropriate areas for cost reduction. The resulting FGMP fits within the approved project budget. City Council provided consensus to move forward with the proposed FGMP of \$34,748,928.00, plus an owner's contingency of \$3,000,000.00.

STAFF RECOMMENDATION

Attached to this memorandum is a resolution that, if approved, would:

1. Authorize the Mayor to execute Amendment #2 to the agreement with FCI Constructors, Inc. for CMGC Services in an amount not to exceed \$34,748,928.00 for the construction of the Recreation Center, Senior Center and Theatre building elements.
2. Authorize the City Manager to approve relevant change orders up to \$3,000,000.00, for a total amount not to exceed \$37,748,928.00.

The resolution also identifies the total amount of the FCI Constructors contract for Phase I at \$43,935,876.00 with a total contingency amount of \$3,931,295.00. Staff recommends approval of CR-55.

BUDGET/TIME IMPLICATIONS

The total approved budget for this project is \$54,500,000.00, as outlined below:

Original Project Budget	\$53,000,000.00
Adams County Open Space Grant	\$1,500,000.00

Total Approved Budget	\$54,500,000.00

The total approved and anticipated expenditures for this project are \$54,500,000.00, as outlined below:

FCI Original Contract (Preconstruction Services)	\$125,487.00
FCI Amendment #1 (Site FGMP)	\$9,138,075.00
Owner's Contingency (Site)	\$931,295.00
FCI Amendment #2 (Building FGMP)	\$34,748,928.00
Owner's Contingency (Building)	\$3,000,000.00
Design, Miscellaneous Soft Costs	\$6,556,215.00

Total Project Costs	\$54,500,000.00

This budget summary does not include an additional \$125,000.00 that has been secured by the Northglenn Arts and Humanities Foundation (NAHF) through the Scientific and Cultural Facilities District and private donations. These funds will be expended by the NAHF for the commissioned sculptural element in the lobby of the theatre.

At this time, the project remains on budget and on schedule for completion in the fall of 2021. Any delay in authorizing Amendment #2 is likely to result in a negative impact to both the schedule and budget.

STAFF REFERENCE

If Council members have any comments or questions they may contact Amanda Peterson, Director of Parks, Recreation, and Culture, at 303.450.8950 or apeterson@northglenn.org.

SPONSORED BY: MAYOR LEIGHTY

COUNCILMAN'S RESOLUTION

RESOLUTION NO.

No. CR-55
Series of 2020

Series of 2020

A RESOLUTION APPROVING AMENDMENT NO. 2 TO THE CONSTRUCTION MANAGER CONTRACT BETWEEN THE CITY OF NORTHGLENN AND FCI CONSTRUCTORS, INC. FOR THE FINAL GUARANTEED MAXIMUM PRICE FOR BUILDING CONSTRUCTION FOR PHASE 1 OF THE NORTHGLENN CIVIC CAMPUS PROJECT

WHEREAS, by approval of Resolution No. 19-23, Series of 2019, the City Council approved the Construction Manager Contract for the design phase between City of Northglenn and FCI Constructors, Inc. in an amount not to exceed \$125,487.44;

WHEREAS, by approval of Resolution No. 19-112, Series of 2019, the City Council approved Amendment No. 1 to the Construction Manager Contract for the Site Package and Foundation for Phase 1 of the Northglenn Civic Campus Project between City of Northglenn and FCI Constructors, Inc. in an amount not to exceed \$9,138,075.00 with an owner's contingency of \$931,295.00; and

WHEREAS, by approval of this Resolution, the City Council desires to approve Amendment No. 2 to the Construction Manager Contract between the City of Northglenn and FCI Constructors, Inc. for the final guaranteed maximum price for building construction for Phase 1, and identify the total cost of Phase 1 of the Northglenn Civic Campus Project.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. Amendment No. 2 to the Construction Manager Contract between the City of Northglenn and FCI Constructors, Inc., attached hereto, in the amount of \$34,748,928.00, with an owner's contingency of \$3,000,000.00 for a total amount not to exceed \$37,748,928.00 for the building construction for Phase 1 of the Northglenn Civic Campus Project is hereby approved, and the Mayor is authorized to execute same on behalf of the City of Northglenn.

Section 2. Upon approve of this Amendment No. 2 to the Construction Manager Contract between the City of Northglenn and FCI Constructors, Inc., the total amount of the Construction Manager Contract for Phase 1 of the Northglenn Civic Campus Project is \$43,935,876.00 with an owner's contingency of \$3,931,295.00. The City Manager is specifically authorized to execute change orders within the owner's contingency amount.

DATED, at Northglenn, Colorado, this _____ day of _____, 2020.

MEREDITH LEIGHTY
Mayor

ATTEST:

JOHANNA SMALL, CMC
City Clerk

APPROVED AS TO FORM:

COREY Y. HOFFMANN
City Attorney

AIA[®] Document A133[™] – 2009 Exhibit A

Guaranteed Maximum Price Amendment

for the following PROJECT:

(Name and address or location)

Civic Center Master Plan Phase I
Northglenn, Colorado

THE OWNER:

(Name, legal status and address)

City of Northglenn, State of Colorado
11701 Community Center Drive
Northglenn, Colorado 80233

THE CONSTRUCTION MANAGER:

(Name, legal status and address)

FCI Constructors, Inc.
4015 Coriolis Way
Fredrick, CO 80504

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

AIA Document A201[™]–2007, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

ARTICLE A.1

§ A.1.1 Guaranteed Maximum Price

Pursuant to Section 2.2.6 of the Agreement, the Owner and Construction Manager hereby amend the Agreement to establish a Guaranteed Maximum Price. The second stage of the Guaranteed Maximum Price, with a Final Guaranteed Maximum Price (FGMP). As agreed by the Owner and Construction Manager, the Final Guaranteed Maximum Price is an amount that the Contract Sum shall not exceed for the component(s) of work being released. The Contract Sum consists of the Construction Manager's Fee plus the Cost of the Work, as that term is defined in Article 6 of this Agreement.

§ A.1.1.1 The Contract Sum for this Final Guaranteed Maximum Price is guaranteed by the Construction Manager not to exceed Forty Three Million Nine Hundred Thirty Five Thousand Eight Hundred Seventy Six Dollars and Zero Cents (\$43,935,876), the FGMP is subject to additions and deductions by Change Order as provided in the Contract Documents.

§ A.1.1.2 Itemized Statement of the Final Guaranteed Maximum Price. Provided below is an itemized statement of the Final Guaranteed Maximum Price organized by trade categories, allowances, contingencies, alternates, the Construction Manager's Fee, and other items that comprise the Final Guaranteed Maximum Price.

(Provide below or reference an attachment.)

See Attachment A – (Revised) Budget Summary, a detailed estimate stating the Fee (converted to a lump sum), General Conditions costs (as a not-to-exceed), insurances and bond costs, as required;

See Attachment B – Detailed General Conditions costs, (as a not-to-exceed amount)

Int.

§ A.1.1.3 The Final Guaranteed Maximum Price is based on the following alternates, if any, which are described in the Contract Documents and are hereby accepted by the Owner:
(State the numbers or other identification of accepted alternates. If the Contract Documents permit the Owner to accept other alternates subsequent to the execution of this Amendment, attach a schedule of such other alternates showing the amount for each and the date when the amount expires.)

None

§ A.1.1.4 Allowances included in the Final Guaranteed Maximum Price, if any:
(Identify allowance and state exclusions, if any, from the allowance price.)

Item	Price (\$0.00)
See Attachment E—A list of allowances and unit prices.	

§ A.1.1.5 Assumptions, if any, on which the Final Guaranteed Maximum Price is based:

See Attachment G – A list of the clarifications and qualifications.

§ A.1.1.6 The Final Guaranteed Maximum Price is based upon the following Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages
None			

§ A.1.1.7 The Final Guaranteed Maximum Price is based upon the following Specifications:
(Either list the Specifications here, or refer to an exhibit attached to this Agreement.)

Attachment K – A list of the Drawings and Specifications, including all addenda and the Conditions of the Contract, which were used in preparation of the Final Guaranteed Maximum Price

Section	Title	Date	Pages
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§ A.1.1.8 The Final Guaranteed Maximum Price is based upon the following Drawings:
(Either list the Drawings here, or refer to an exhibit attached to this Agreement.)

Attachment K – A list of the Drawings and Specifications, including all addenda and the Conditions of the Contract, which were used in preparation of the Final Guaranteed Maximum Price proposal.

Number	Title	Date
--------	-------	------

§ A.1.1.9 The Final Guaranteed Maximum Price is based upon the following other documents and information:
(List any other documents or information here, or refer to an exhibit attached to this Agreement.)

Preconstruction Value: \$125,487.00 (contained within Amendment 01)
 Previous Amendment 01: \$9,138,075.00 (site FGMP)
 Change Order 001: \$48,873.00
 Change Order 002: 0.00
 Total for this Amendment: \$34,748,928.00 (building FGMP)

- .1 Attachment A – (Revised) Budget Summary, a detailed estimate stating the Fee (converted to a lump sum), General Conditions costs (as a not-to-exceed), insurances and bond costs, as required;
- .2 Attachment B – Detailed General Conditions costs, (as a not-to-exceed amount)

- .3 Attachment C – Approved Labor Burden Rates;
- .4 Attachment D – Staff Assignment Matrix;
- .5 Attachment E – A list of allowances and unit prices;
- .6 Attachment F – Responsibility Matrix;
- .7 Attachment G – A list of the clarifications and qualifications
- .8 Attachment H – Project Schedule, including a detailed critical path Construction Schedule
- .9 Attachment I – Insurance Certificates;
- .10 Attachment J – Approved Lien Waivers Forms (Conditional and Unconditional, Partial and Final);
- .11 Attachment K – A list of the Drawings and Specifications, including all addenda and the Conditions of the Contract, which were used in preparation of the Partial Final Guaranteed Maximum Price;
- .12 Attachment L – A list of all Construction Manager provided equipment along with billable rates; and
- .13 ~~Attachment M – Owner Accepted Alternates.~~ City NA
- .14 Exhibit B – Insurance and Bonds. PCI

ARTICLE A.2

§ A.2.1 The anticipated date of Substantial Completion established by this Amendment:

August 18th, 2021

OWNER(Signature)

Meredith Leighty - Mayor, City of Northglenn

(Printed name and title),

CONSTRUCTION MANAGER(Signature)

Bryan Hennevey FCI Constructors

(Printed name and title)

Additions and Deletions Report for AIA® Document A133™ – 2009 Exhibit A

This Additions and Deletions Report, as defined on page 1 of the associated document, reproduces below all text the author has added to the standard form AIA document in order to complete it, as well as any text the author may have added to or deleted from the original AIA text. Added text is shown underlined. Deleted text is indicated with a horizontal line through the original AIA text.

Note: This Additions and Deletions Report is provided for information purposes only and is not incorporated into or constitute any part of the associated AIA document. This Additions and Deletions Report and its associated document were generated simultaneously by AIA software at 12:46:13 ET on 02/13/2020.

PAGE 1

Civic Center Master Plan Phase I
Northglenn, Colorado

...

(Name, legal status and address)

...

City of Northglenn, State of Colorado

...

11701 Community Center Drive

...

Northglenn, Colorado 80233

...

FCI Constructors, Inc.
4015 Coriolis Way
Fredrick, CO 80504

...

Pursuant to Section 2.2.6 of the Agreement, the Owner and Construction Manager hereby amend the Agreement to establish a Guaranteed Maximum Price. The second stage of the Guaranteed Maximum Price, with a Final Guaranteed Maximum Price (FGMP). As agreed by the Owner and Construction Manager, the Final Guaranteed Maximum Price is an amount that the Contract Sum shall not ~~exceed~~ exceed for the component(s) of work being released. The Contract Sum consists of the Construction Manager's Fee plus the Cost of the Work, as that term is defined in Article 6 of this Agreement.

...

§ A.1.1.1 The Contract Sum for this Final Guaranteed Maximum Price is guaranteed by the Construction Manager not to exceed Forty Three Million Nine Hundred Thirty Five Thousand Eight Hundred Seventy Six Dollars and Zero

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User Notes:

Cents (\$43,935,876), the FGMP is subject to additions and deductions by Change Order as provided in the Contract Documents.

...

§ A.1.1.2 Itemized Statement of the Final Guaranteed Maximum Price. Provided below is an itemized statement of the Final Guaranteed Maximum Price organized by trade categories, allowances, contingencies, alternates, the Construction Manager's Fee, and other items that comprise the Final Guaranteed Maximum Price.

...

See Attachment A – (Revised) Budget Summary, a detailed estimate stating the Fee (converted to a lump sum), General Conditions costs (as a not-to-exceed), insurances and bond costs, as required;

...

See Attachment B -- Detailed General Conditions costs, (as a not-to-exceed

...

amount)

PAGE 2

§ A.1.1.3 The Final Guaranteed Maximum Price is based on the following alternates, if any, which are described in the Contract Documents and are hereby accepted by the Owner:

...

None

...

§ A.1.1.4 Allowances included in the Final Guaranteed Maximum Price, if any:

...

See Attachment E--A list of allowances and unit prices.

...

§ A.1.1.5 Assumptions, if any, on which the Final Guaranteed Maximum Price is based:

...

See Attachment G – A list of the clarifications and qualifications.

...

§ A.1.1.6 The Final Guaranteed Maximum Price is based upon the following Supplementary and other Conditions of the Contract:

...

None

...

§ A.1.1.7 The Final Guaranteed Maximum Price is based upon the following Specifications:

...

Attachment K – A list of the Drawings and Specifications, including all addenda and the Conditions of the Contract, which were used in preparation of the Final Guaranteed Maximum Price

...

§ A.1.1.8 The Final Guaranteed Maximum Price is based upon the following Drawings:

...

Attachment K -- A list of the Drawings and Specifications, including all addenda and the Conditions of the Contract, which were used in preparation of the Final Guaranteed Maximum Price proposal.

...

§ A.1.1.9 The Final Guaranteed Maximum Price is based upon the following other documents and information:

...

Preconstruction Value: \$125,487.00 (contained within Amendment 01)

...

Previous Amendment 01: \$9,138,075.00 (site FGMP)

...

Change Order 001: \$48,873.00

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...

Total for this Amendment: \$34,748,928.00 (building FGMP)

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.1 Attachment A – (Revised) Budget Summary, a detailed estimate stating the Fee (converted to a lump sum), General Conditions costs (as a not-to-exceed), insurances and bond costs, as required;

...

.2 Attachment B – Detailed General Conditions costs, (as a not-to-exceed amount)

.3 Attachment C – Approved Labor Burden Rates;

...

.4 Attachment D – Staff Assignment Matrix;

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...

Price;

...

.12 Attachment L – A list of all Construction Manager provided equipment along with billable rates; and

...

.13 Attachment M – Owner Accepted Alternates.

...

.14 Exhibit B – Insurance and Bonds.

...

August 18th, 2021

...

Meredith Leighty - Mayor, City of Northglenn

(Printed name and title)

Certification of Document's Authenticity

AIA® Document D401™ – 2003

I, , hereby certify, to the best of my knowledge, information and belief, that I created the attached final document simultaneously with its associated Additions and Deletions Report and this certification at 12:46:13 ET on 02/13/2020 under Order No. 5962349445 from AIA Contract Documents software and that in preparing the attached final document I made no changes to the original text of AIA® Document A133™ - 2009 Exhibit A, Guaranteed Maximum Price Amendment, as published by the AIA in its software, other than those additions and deletions shown in the associated Additions and Deletions Report.

(Signed)

(Title)

(Dated)

ATTACHMENT A
NORTHGLENN CIVIC CENTER MASTER PLAN - PHASE I IMPLEMENTATION

COST SUMMARY (CD BUDGET BID PACKAGE 2 ESTIMATE BASED ON DOCUMENTS DATED DECEMBER 12, 2019)

Version 1.1

Issued Date: N/A

Submitted Date: 2/06/2020

FIRM NAME: FCI CONSTRUCTORS INC.

CSI CODE	DESCRIPTION		SITE	BUILDING	TOTAL PROJECT COST
	DIRECT COST TOTAL		\$ 1,032,928	\$ 28,569,664	\$ 29,602,592
01	General Requirements (within General Conditions)				
02	Existing Conditions		\$ 194,063	\$ -	\$ 194,063
03	Concrete		\$ -	\$ 1,061,097	\$ 1,061,097
04	Masonry		\$ -	\$ 2,873,678	\$ 2,873,678
05	Metals		\$ -	\$ 2,755,904	\$ 2,755,904
06	Wood Plastics, and Composites		\$ -	\$ 1,234,249	\$ 1,234,249
07	Thermal and Moisture Protection		\$ -	\$ 2,955,352	\$ 2,955,352
08	Openings		\$ -	\$ 1,746,006	\$ 1,746,006
09	Finishes		\$ -	\$ 2,945,824	\$ 2,945,824
10	Specialties		\$ -	\$ 578,156	\$ 578,156
11	Equipment		\$ -	\$ 1,458,613	\$ 1,458,613
12	Furnishings		\$ -	\$ 31,710	\$ 31,710
13	Special Construction		\$ -	\$ 2,283,584	\$ 2,283,584
14	Conveying Equipment		\$ -	\$ 165,510	\$ 165,510
21	Fire Suppression		\$ -	\$ 276,560	\$ 276,560
22	Plumbing		\$ -	\$ 1,271,156	\$ 1,271,156
23	Heating, Ventilating, and Air Conditioning		\$ -	\$ 3,608,112	\$ 3,608,112
25	Integrated Automation		\$ -	\$ -	\$ -
26	Electrical		\$ 20,000	\$ 2,754,513	\$ 2,774,513
27	Communications		\$ -	\$ 496,707	\$ 496,707
28	Electronic Safety and Security		\$ -	\$ -	\$ -
31	Earthwork		\$ 147,290	\$ 2,590	\$ 149,880
32	Exterior Improvements		\$ 821,575	\$ 70,343	\$ 891,918
33	Utilities		\$ -	\$ -	\$ -
	Partial Credit for Allowances		\$ (150,000)	\$ -	\$ (150,000)
	GENERAL CONDITIONS TOTAL		\$ -	\$ 2,289,099	\$ 2,289,099
	General Conditions (Not-to-Exceed from Attachment B) (Provide breakout split between Site and Building)		\$ -	\$ 2,289,099	\$ 2,289,099
	FEE TOTAL (Based on Direct Cost and General Conditions)		\$ 30,988	\$ 925,763	\$ 956,751
	Fee (Overhead & Profit) [3.00%]	3.00%	\$ 30,988	\$ 925,763	\$ 956,751
	SUBTOTAL CONSTRUCTION COSTS		\$ 1,063,916	\$ 31,784,526	\$ 32,848,442
	OTHER INDIRECTS TOTAL (No fees on these costs)		\$ 66,314	\$ 1,834,172	\$ 1,900,486
	Construction Contingency on Direct Work [3.00%]	3.00%	\$ 30,988	\$ 857,090	\$ 888,078
	Commercial General Liability Insurance [1.14%]	1.14%	\$ 11,775	\$ 325,694	\$ 337,469
	Other Insurances (pollution liability, etc.) [n/a]	0.00%	\$ -	\$ -	\$ -
	Contractor Payment & Performance Bonds [.60%]	0.60%	\$ 6,198	\$ 171,418	\$ 177,616
	Builder's Risk Insurance [1.8%]	0.18%	\$ 1,859	\$ 51,425	\$ 53,284
	Subguard Rate if appropriate [1.50%]	1.50%	\$ 15,494	\$ 428,545	\$ 444,039
	ALL Building Permits/Plan Review Fee/Use Tax - (ALLOWANCE)		\$ -	\$ -	\$ -
	*Preconstruction (Not to Exceed from Attachment B)		\$ -	\$ -	\$ -
	TOTAL CONSTRUCTION COSTS		\$ 1,130,230	\$ 33,618,698	\$ 34,748,928

NOTES:

- 1 INCLUDE A DETAILED BUDGET THAT SUPPORTS THE COSTS IN THIS SUMMARY (YOUR FORMAT)
- 2 Provide a cost for Builder's Risk in the event the Owner requests it be carried by Contractor. (Included Above)
- 3 Provide the actual % Rate for Insurance/Builders Risk/Bond/Fee above directly in the description.
- 4 General Requirements are included with General Conditions.
- 5 Provide a cost for Performance and Payment Bonds in the event the Owner requests it be carried by Contractor. (Included Above)
- 6 Return Attachment A in electronic format. Do not convert to PDF.
- 7 Pricing above (including any estimated escalation) must reflect the proposed schedule presented with the response to this proposal.
- 8 Do not deviate from this format.
- 9 *Preconstruction Fees Included in Bid Package 1 PGMP

Please treat this proprietary information as confidential and privileged material which is intended for the sole viewing of the recipient. Any other distribution is strictly prohibited.

ATTACHMENT A.1

Project Name: Northglenn Civic Center Phase 1 - Bid Package 2
 Estimate Type: GMP
 Project Duration: 18 Months
 Project SF: 87,632
 Estimator: Steve Rademacher

Revision:
 Printed On: B

Description	Quantity	Unit	\$	Total \$	\$ per SQFT
Division 01 GENERAL REQUIREMENTS					
GENERAL CONDITIONS					
SITE AND INFRASTRUCTURE					
GENERAL REQUIREMENTS OVERALL SITE			0.00	0	0.000
DEMOLITION OF EXISTING RECREATION CENTER	1	MONTH	24,177.00	24,177	0.276
RECREATION CENTER					
GENERAL REQUIREMENTS	11	MONTHS	129,424.11	1,423,665	16.246
PERFORMING ARTS THEATRE/SENIOR CENTER					
GENERAL REQUIREMENTS	6.5	MONTHS	129,424.11	841,257	9.600
PRECONSTRUCTION FEE		INCL. ON RECAP	0.00	0	0.000
WINTER CONDITIONS		INCL. IN DCOW	0.00	0	0.000
TOTAL GENERAL CONDITIONS				2,289,099	26.122
Total Division 01 GENERAL REQUIREMENTS				\$2,289,099	0
Division 02 EXISTING CONDITIONS					
SURVEYING					
LAYOUT & SURVEYING		IN BID PACK 1	0.00	0	0.000
TOTAL SURVEYING				0	0.000
INTERIOR DEMOLITION					
INTERIOR DEMOLITION		N/A	0.00	0	0.000
TOTAL INTERIOR DEMOLITION				0	0.000
SITE DEMOLITION					
SITE DEMOLITION		IN BID PACK 1	0.00	0	0.000
TOTAL SITE DEMOLITION				0	0.000
BUILDING DEMOLITION					
BUILDING DEMOLITION	1	SUB	179,700.00	179,700	2.051
DEMO EXISTING RECREATION BLDG AND PERFORMING ARTS THEATER		INCLUDED	0.00	0	0.000
DEMO FOUNDATION		INCLUDED	0.00	0	0.000
TEMPORARY FENCING AT DEMOLITION OF EXISTING REC BUILDING	1,414	LNFT	4.50	6,363	0.073
IMPORT & BACKFILL REMOVED FOUNDATION		INCLUDED	0.00	0	0.000
DUST CONTROL	1	MONTH	2,000.00	2,000	0.023
DEMO PERMIT	1	LSUM	1,500.00	1,500	0.017
HAUL AND DISPOSE		INCLUDED	0.00	0	0.000
MAKE SAFE ELECTRICAL AND UTILITIES	1	LSUM	4,500.00	4,500	0.051
TOTAL BUILDING DEMOLITION				194,063	2.215
Total Division 02 EXISTING CONDITIONS				\$194,063	0
Division 03 CONCRETE					
FOUNDATIONS					
CONCRETE FOUNDATIONS PACKAGE - ALLOWANCE		IN BID PACK 1	0.00	0	0.000
COMMUNITY ROOM WALL EXTENSION		IN BID PACK 1	0.00	0	0.000
CONTINUOUS FOOTING		INCLUDED	0.00	0	0.000
CAST-IN-PLACE WALL WITH 6" EXPOSED AT TOP		INCLUDED	0.00	0	0.000
ALT. A.4 SENIOR PATIO - 12" GRADE BEAM	1	LSUM	4,000.00	4,000	0.046
TOTAL FOUNDATIONS				4,000	0.046
STRUCTURAL PRECAST					
STRUCTURAL PRECAST PANELS AND WALLS		N/A	0.00	0	0.000
TOTAL STRUCTURAL PRECAST				0	0.000
ARCHITECTURAL PRECAST					
RECREATION CENTER		N/A	0.00	0	0.000
ARCHITECTURAL			0.00	0	0.000
PRECAST CAPS AT TRASH ENCLOSURE			34.00	0	0.000
INSTALL			0.00	0	0.000
TOTAL ARCHITECTURAL PRECAST				0	0.000
INTERIOR FLATWORK					
BUILDING FLATWORK	1	SUB	1,040,795.00	1,040,795	11.877
RECREATION CENTER					
FLATWORK			0.00	0	0.000
12" SLAB ON VOID #6 TOP/#5 BTM 12" O.C.E.W. ON 12" VOID		INCLUDED	0.00	0	0.000
10" SLAB ON VOID W/#5 T&B 9" O.C.E.W. ON 8" VOID		INCLUDED	0.00	0	0.000
10" ELEV. STRUCT. SLAB W/#5 T&B AT 10" O.C.E.W.		INCLUDED	0.00	0	0.000
12" ELEV. STRUCT. SLAB W/#5 T&B AT 10" O.C.E.W.		INCLUDED	0.00	0	0.000
10" ELEV. STRUCT. POOL DECK W/#5 T&B AT 12" O.C.E.W.		INCLUDED	0.00	0	0.000
8" ELEV. STRUCT. POOL DECK W/#5 T&B AT 12" O.C.E.W.		INCLUDED	0.00	0	0.000
FORMING FOR ELVATED STRUCTURAL DECK		INCLUDED	0.00	0	0.000
6.5" AVG. DEPTH TOPPING SLAB AT POOL DECK		INCLUDED	0.00	0	0.000
SWIRL CONCRETE FINISH POOL DECK		INCLUDED	0.00	0	0.000
6" RTU TOPPING SLAB		INCLUDED	0.00	0	0.000
6" DEPTH TOPPING SLAB FITNESS AREA		INCLUDED	0.00	0	0.000
6" COMPOSITE SLAB AT LOCKER ROOM #3 AT 16" O.C.E.W.		INCLUDED	0.00	0	0.000
6" FIBER REINFORCED SLAB AT RUNNING TRACK		INCLUDED	0.00	0	0.000
5.5" COMPOSITE SLAB #3 AT 16" O.C.E.W.		INCLUDED	0.00	0	0.000
ALT. A.5 SUN DECK - 6" SLAB ON GRADE	1	LSUM	9,120.00	9,120	0.104
GYM FLOOR FILL/LEVELING		INCLUDED	0.00	0	0.000
FORM EDGES		INCLUDED	0.00	0	0.000
BLOCKOUTS		INCLUDED	0.00	0	0.000
FINE GRADING		INCLUDED	0.00	0	0.000
VAPOR BARRIER - 15 MIL		INCLUDED	0.00	0	0.000
EXPANSION MATERIAL, CURE AND MISC. ACCESSORIES		INCLUDED	0.00	0	0.000
CONCRETE MATERIAL		INCLUDED	0.00	0	0.000
REBAR MATERIAL		INCLUDED	0.00	0	0.000

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
PLACE AND TIE REBAR	INCLUDED		0.00	0	0.000
SAWCUTTING	INCLUDED		0.00	0	0.000
DRILL AND DOWEL	INCLUDED		0.00	0	0.000
STAIRS AND LANDINGS	INCLUDED		0.00	0	0.000
RTU PADS	INCLUDED		0.00	0	0.000
LAYOUT	INCLUDED		0.00	0	0.000
WORKING FOREMAN	INCLUDED		0.00	0	0.000
FORKLIFT AND FUEL	INCLUDED		0.00	0	0.000
SKIDSTEER, W/ ATTACHMENTS AND FUEL	INCLUDED		0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
FLATWORK			0.00	0	0.000
12" SLAB ON VOID W/5 T&B 9"O.C.E.W. ON 12" VOID	INCLUDED		0.00	0	0.000
12" SLAB ON 12" VOID AT COMMUNITY PATIO	INCLUDED		0.00	0	0.000
ALT. A.4 SENIOR PATIO - 10" SLAB ON VOID	1	LSUM	7,182.00	7,182	0.082
6" RTU TOPPING SLAB	INCLUDED		0.00	0	0.000
5.5" COMPOSITE SLAB #3 AT 16" O.C.E.W.	INCLUDED		0.00	0	0.000
6" COMPOSITE SLAB #3 AT 16" O.C.E.W.	INCLUDED		0.00	0	0.000
FORM EDGES	INCLUDED		0.00	0	0.000
BLOCKOUTS	INCLUDED		0.00	0	0.000
FINE GRADING	INCLUDED		0.00	0	0.000
12" VOID MATERIAL AT WEST PATIO	INCLUDED		0.00	0	0.000
VAPOR BARRIER - 15 MIL (INCLUDES VB AT CRAWL SPACE)	INCLUDED		0.00	0	0.000
EXPANSION MATERIAL, CURE AND MISC. ACCESSORIES	INCLUDED		0.00	0	0.000
CONCRETE MATERIAL	INCLUDED		0.00	0	0.000
REBAR MATERIAL	INCLUDED		0.00	0	0.000
PLACE AND TIE REBAR	INCLUDED		0.00	0	0.000
SAWCUTTING	INCLUDED		0.00	0	0.000
DRILL AND DOWEL	INCLUDED		0.00	0	0.000
STAIRS AND LANDINGS	INCLUDED		0.00	0	0.000
RTU PADS	INCLUDED		0.00	0	0.000
LAYOUT	INCLUDED		0.00	0	0.000
WORKING FOREMAN	INCLUDED		0.00	0	0.000
FORKLIFT AND FUEL	INCLUDED		0.00	0	0.000
SKIDSTEER, W/ ATTACHMENTS AND FUEL	INCLUDED		0.00	0	0.000
TOTAL INTERIOR FLATWORK				1,057,087	12.063
CONCRETE MISCELLANEOUS					
RECREATION CENTER	IN BID PACK 1		0.00	0	0.000
TOTAL CONCRETE MISCELLANEOUS				0	0.000
Total Division 03 CONCRETE				\$1,061,097	
Division 04 MASONRY					
UNIT MASONRY					
MASONRY	1	SUB	2,649,000.00	2,649,000	30.229
RECREATION CENTER					
6" CMU WALL 9' HIGH w/NO REINFORCING	INCLUDED		0.00	0	0.000
8" CMU WALL 9' HIGH w/# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
8" CMU WALL 32'-4" HIGH w/# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
8" CMU WALL 16'-8" HIGH w/# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
8" CMU WALL 16'-6" HIGH w/# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
8" CMU WALL 14' HIGH w/# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
12" CMU WALL 36' HIGH w/2-# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
12" CMU WALL 30' HIGH w/2-# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
12" CMU WALL (SLIDE POP-UP) 10' HIGH w/2-# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
12" CMU WALL 40'-2" HIGH w/2-# 7 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
12" CMU WALL 38'-4" HIGH w/2-# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
12" CMU W/BRICK VENEER 32' HIGH w/2-# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
8" CMU WALL 32'-0" HIGH w/# 4 @ 2'-0" O.C. AT ELEVATOR	INCLUDED		0.00	0	0.000
PREMIUM FOR DRY BLOCK ADDITIVE	INCLUDED		0.00	0	0.000
FOAM FILL AT BLOCK CORE	N/A		0.00	0	0.000
CMU WALL BRACING	INCLUDED		0.00	0	0.000
SLAB CONNECTION POINTS FOR BRACING	40	EACH	161.32	6,453	0.074
CRANE FOR LOADING MATERIALS AT HIGH INTERIOR WALLS	1	MONTH	29,200.00	29,200	0.333
REBAR REINFORCING AT CMU	INCLUDED		0.00	0	0.000
4" CMU VENEER WITH GRADATION PER 2/A302	INCLUDED		0.00	0	0.000
THERMAX CJ WITH LIQUID ARMOR JOINT TREATMENT	INCLUDED		0.00	0	0.000
TYVEK OR SIMILAR VAPOR BARRIER	IN DIV. 7		0.00	0	0.000
MONUMENT SIGN	IN DIV. 32		0.00	0	0.000
INSTALL STONE AT MONUMENT SIGN	INCLUDED		0.00	0	0.000
ENGRAVED STONE AT MEMORIAL WALKWAY 'SOME, GAVE, ALL'	6	EACH	545.00	3,270	0.037
LAYOUT MASONRY WORK	210	MHRS	68.04	14,288	0.163
PERFORMING ARTS THEATRE/SENIOR CENTER					
12" CMU WALL 40'-2" HIGH w/2-# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
12" CMU WALL 50'-2" HIGH w/2-# 6 @ 2'-0" O.C. FULLY GROUTED	INCLUDED		0.00	0	0.000
12" CMU WALL 36' HIGH w/2-# 6 @ 2'-0" O.C. FULLY GROUTED	INCLUDED		0.00	0	0.000
12" CMU WALL 16' HIGH w/2-# 6 @ 2'-0" O.C. FULLY GROUTED	INCLUDED		0.00	0	0.000
8" CMU WALL 16'-0" HIGH w/# 6 @ 2'-0" O.C.	INCLUDED		0.00	0	0.000
8" CMU WALL 32'-0" HIGH w/# 6 @ 2'-0" O.C. AT ELEVATOR	INCLUDED		0.00	0	0.000
PREMIUM FOR DRY BLOCK ADDITIVE	INCLUDED		0.00	0	0.000
FOAM FILL AT BLOCK CORE	N/A		0.00	0	0.000
CMU WALL BRACING	INCLUDED		0.00	0	0.000
SLAB CONNECTION POINTS FOR BRACING	36	EACH	161.32	5,808	0.066
REBAR REINFORCING AT CMU	INCLUDED		0.00	0	0.000
4" CMU VENEER WITH GRADATION PER 2/A302	INCLUDED		0.00	0	0.000
THERMAX CJ WITH LIQUID ARMOR JOINT TREATMENT	SQFT		0.00	0	0.000
LAYOUT MASONRY WORK	100	MHRS	68.04	6,804	0.078
TOTAL UNIT MASONRY				2,714,823	30.980
MASONRY MISCELLANEOUS					
SAFETY EQUIPMENT - MASONRY	1	LSUM	9,164.80	9,165	0.105
GRADE FOR SCAFFOLDING	84,600	SQFT	0.25	21,150	0.241
DAILY CLEAN-UP - MASONRY	28	WKS	1,531.49	42,882	0.489

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
DUMPSTERS	16	EACH	425.00	6,800	0.078
TEMPORARY HEAT FOR MASONRY TENTING	1	LSUM	23,400.00	23,400	0.267
TEMPORARY ENCLOSURE AT SCAFFOLD	1	LSUM	11,740.00	11,740	0.134
ADDITIONAL MOB. FOR SITE MASONRY	1	EACH	1,500.00	1,500	0.017
TEMP. BRACING	80	EACH	250.00	20,000	0.228
FORKLIFT AND FUEL	7	MTHS	3,150.00	22,050	0.252
TOTAL MASONRY MISCELLANEOUS				158,687	1.811
Total Division 04 MASONRY				\$2,873,510	

Division 05 METALS

STRUCTURAL STEEL

STRUCTURAL AND MISC. STEEL	1	SUB	2,527,983.00	2,527,983	28.848
RECREATION CENTER			0.00	0	0.000
C12 x 20.7 FLOOR BEAM AT TRACK - ROLLED		INCLUDED	0.00	0	0.000
HSS 3 x 3 x 3/8 COLUMN 12' H AT TRACK		INCLUDED	0.00	0	0.000
HSS 6 x 6 x 3/8 COLUMN 16' H		INCLUDED	0.00	0	0.000
HSS 6 x 6 x 3/8 COLUMN 21' H		INCLUDED	0.00	0	0.000
W 10 x 15 ELEVATOR HOIST BEAM		INCLUDED	0.00	0	0.000
W 10 x 17 FLOOR BEAM W/ 3/4" SHEAR STUDS @ 12"		INCLUDED	0.00	0	0.000
W 10 x 45 FLOOR BEAM AT PUMP ROOM		INCLUDED	0.00	0	0.000
W 12 x 21 FLOOR BEAM AT PERIMETER OF TRACK		INCLUDED	0.00	0	0.000
W 14 x 26 ROOF BEAM AT 5'-0" O.C. POOL MECHANICAL		INCLUDED	0.00	0	0.000
W 14 x 26 ROOF BEAM AT LOBBY/FITNESS HIGH ROOF		INCLUDED	0.00	0	0.000
W 14 x 26 ROOF BEAM AT PRESCHOOL		INCLUDED	0.00	0	0.000
W 16 x 26 FLOOR BEAM W/ 3/4" SHEAR STUD @ 12"		INCLUDED	0.00	0	0.000
W 18 x 40 ROOF BEAM		INCLUDED	0.00	0	0.000
W 18 x 40 ROOF BEAM AT LOBBY/FITNESS HIGH ROOF		INCLUDED	0.00	0	0.000
W 18 x 50 FLOOR BEAM W/ 3/4" SHEAR STUD @ 12"		INCLUDED	0.00	0	0.000
W 8 x 10 FLOOR BEAM W/3/4" SHEAR STUDS @ 12"		INCLUDED	0.00	0	0.000
W 30 x 108 OPERABLE PARTITION SUPPORT BEAM		INCLUDED	0.00	0	0.000
L 4 x 4 x 1/4 ROOF ANGLE		INCLUDED	0.00	0	0.000
L 4 x 4 x 3/8 ROOF OPENING FRAME		INCLUDED	0.00	0	0.000
L 4 x 4 x 3/8 FLOOR OPENING FRAME		INCLUDED	0.00	0	0.000
L 4 x 4 x 1/4 FLOOR ANGLE		INCLUDED	0.00	0	0.000
BEAM PENETRATIONS AS CALLED OUT IN PLANS FOR MECHANICAL		INCLUDED	0.00	0	0.000
EMBEDS & ANCHOR BOLTS		IN BID PACK 1	0.00	0	0.000
SAFETY EQUIPMENT - STEEL ERECTION	1	LSUM	5,800.00	5,800	0.066
UNLOAD & DISTRIBUTE STEEL ITEMS	322	MHRS	55.66	17,923	0.205
SAFETY CABLING	600	LNFT	7.13	4,278	0.049
MAINTAIN AND REMOVE SAFETY CABLE	600	LNFT	1.68	1,008	0.012
SITE IMPROVEMENTS FOR CRANE ACCESS	1	LSUM	5,572.83	5,573	0.064
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
HSS 3 x 3 x 3/8 COLUMN 12' H AT CATWALK		INCLUDED	0.00	0	0.000
HSS 3 x 3 x 3/8 COLUMN 12' H AT FLY ROOF		INCLUDED	0.00	0	0.000
HSS 6 x 6 x 3/8 COLUMN 16' H		INCLUDED	0.00	0	0.000
HSS 6 x 6 x 3/8 COLUMN 19' H		INCLUDED	0.00	0	0.000
HSS 6 x 6 x 3/8 COLUMN 31' H		INCLUDED	0.00	0	0.000
HSS 8 x 8 x 3/8 COLUMN 12' H AT CANOPY		INCLUDED	0.00	0	0.000
HSS 4 x 4 x 1/4 AT PROSCENIUM WALL		INCLUDED	0.00	0	0.000
W 10 x 15 ELEVATOR HOIST BEAM		INCLUDED	0.00	0	0.000
W 10 x 17 FLOOR BEAM W/ 3/4" SHEAR STUDS @ 12"		INCLUDED	0.00	0	0.000
W 14 x 26 ROOF BEAM AT BREEZEWAY		INCLUDED	0.00	0	0.000
W 14 x 26 ROOF BEAM AT FLY ROOF		INCLUDED	0.00	0	0.000
W 16 x 26 FLOOR BEAM W/ 3/4" SHEAR STUD @ 12"		INCLUDED	0.00	0	0.000
W 18 x 40 ROOF BEAM		INCLUDED	0.00	0	0.000
W 18 x 50 FLOOR BEAM W/ 3/4" SHEAR STUD @ 12"		INCLUDED	0.00	0	0.000
W 18 x 55 ROOF BEAM		INCLUDED	0.00	0	0.000
W 27 x 55 DOUBLE ROOF BEAM		INCLUDED	0.00	0	0.000
W 30 x 108 OPERABLE PARTITION SUPPORT BEAM		INCLUDED	0.00	0	0.000
CATWALK CHANNEL AND GRATING		INCLUDED	0.00	0	0.000
FLY ROOF CHANNEL AND WALKING GRID		INCLUDED	0.00	0	0.000
GABLE STL TRUSS 32' SPAN 3:12 PITCH @ 12' O.C.		INCLUDED	0.00	0	0.000
SIGNAGE SUPPORT - CANOPY		INCLUDED	0.00	0	0.000
L 4 x 4 x 3/8 ROOF OPENING FRAME		INCLUDED	0.00	0	0.000
L 4 x 4 x 3/8 FLOOR OPENING FRAME		INCLUDED	0.00	0	0.000
L 4 x 4 x 1/4 ROOF ANGLE		INCLUDED	0.00	0	0.000
L 4 x 4 x 1/4 FLOOR ANGLE		INCLUDED	0.00	0	0.000
BOLTED STEEL PARAPET HSS BRACING AND FLANGES		INCLUDED	0.00	0	0.000
BEAM PENETRATIONS AS CALLED OUT IN PLANS FOR MECHANICAL		INCLUDED	0.00	0	0.000
EMBEDS & ANCHOR BOLTS		IN BID PACK 1	0.00	0	0.000
SAFETY EQUIPMENT - STEEL ERECTION	1	LSUM	4,900.00	4,900	0.056
UNLOAD & DISTRIBUTE STEEL ITEMS	286	MHRS	55.66	15,919	0.182
SAFETY CABLING	1,380	LNFT	7.13	9,697	0.111
MAINTAIN AND REMOVE SAFETY CABLE	1,380	LNFT	1.68	2,285	0.026
SITE IMPROVEMENTS FOR CRANE ACCESS	1	LSUM	5,572.80	5,573	0.064
TOTAL STRUCTURAL STEEL				2,600,939	29.680

STEEL JOIST

RECREATION CENTER		INCL. ABOVE	0.00	0	0.000
12N 84" DEEP GIRDER JOIST (32 LBS/LF)		INCLUDED	0.00	0	0.000
14 KCS OPEN WEB STEEL JOIST (8LBS/LF)		INCLUDED	0.00	0	0.000
22 KCS OPEN WEB STEEL JOIST (12.5 LBS/LF)		INCLUDED	0.00	0	0.000
24 K7 OPEN WEB STEEL JOIST (10.1 LBS/LF)		INCLUDED	0.00	0	0.000
40 LH10 LONG SPAN JOIST (21LBS/LF)		INCLUDED	0.00	0	0.000
EXTEND FITNESS FLOOR JOISTS THROUGH GYM WALL FOR TRACK	1	LSUM	15,000.00	15,000	0.171
52 DLH10 DEEP LONG SPAN JOIST (30LBS/LF)		INCLUDED	0.00	0	0.000
88SLH17 LONG SPAN JOIST DOUBLE PITCH (30LBS/LF)		INCLUDED	0.00	0	0.000
GABLE SJI TRUSS AT HIGH ROOF (95 LBS/LF)		INCLUDED	0.00	0	0.000
SAFETY EQUIPMENT - STEEL ERECTION	1	LSUM	1,380.00	1,380	0.016
UNLOAD & DISTRIBUTE STEEL ITEMS	96	MHRS	55.66	5,343	0.061
PERFORMING ARTS THEATRE/SENIOR CENTER		INCL. ABOVE	0.00	0	0.000
THEATRE - 14 KCS OPEN WEB STEEL JOIST (8LBS/LF)		INCLUDED	0.00	0	0.000

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
TOTAL STEEL JOIST					
THEATRE - 20 K7 OPEN WEB STEEL JOIST (8LBS/LF)		INCLUDED	0.00	0	0.000
THEATRE - 22 KCS OPEN WEB STEEL JOIST (12.5 LBS/LF)		INCLUDED	0.00	0	0.000
THEATRE - 32 LH10 LONG SPAN JOIST (21LBS/LF)		INCLUDED	0.00	0	0.000
THEATRE - 60" DEEP GIRDER JOIST (23 LBS/LF)		INCLUDED	0.00	0	0.000
THEATRE - S-JI JOIST AT SENIOR ACTIVITY (45LBS/LF)		INCLUDED	0.00	0	0.000
SAFETY EQUIPMENT - STEEL ERECTION	1	LSUM	7,140.00	7,140	0.081
UNLOAD & DISTRIBUTE STEEL ITEMS	136	MHRS	55.66	7,570	0.086
TOTAL STEEL JOIST				36,433	0.416
METAL DECKING					
RECREATION CENTER		INCL. ABOVE	0.00	0	0.000
1 1/2" 20GA GALV. ROOF DECK AT INDOOR PLAY AND CHILD CARE		INCLUDED	0.00	0	0.000
1 1/2" 20GA GALV. ROOF DECK AT FITNESS MECH. ROOF		INCLUDED	0.00	0	0.000
1 1/2" 20GA GALV. ROOF DECK AT POOL MECH.		INCLUDED	0.00	0	0.000
1 1/2" 20GA VL GALV COMPOSITE DECK AT LOCKER ROOMS/LOBBY		INCLUDED	0.00	0	0.000
1 1/2" 20GA VL GALV COMPOSITE DECK AT FITNESS INTERIOR AND DECK		INCLUDED	0.00	0	0.000
2" 16 GA VL GALV COMPOSIT DECK AT RUNNING TRACK		INCLUDED	0.00	0	0.000
3" 18 GA PAINTED ROOF DECK IN NATATORIUM		INCLUDED	0.00	0	0.000
3" 18GA PAINTED ACOUSTIC ROOF DECK IN GYM		INCLUDED	0.00	0	0.000
3" 18GA SLOPED PAINTED ACOUSTIC ROOF DECK AT FITNESS AREA		INCLUDED	0.00	0	0.000
SAFETY EQUIPMENT - STEEL ERECTION	1	LSUM	5,000.00	5,000	0.057
UNLOAD & DISTRIBUTE STEEL ITEMS	96	MHRS	55.74	5,351	0.061
SAFETY CABLING	2,350	LNFT	5.45	12,808	0.146
LAYOUT AND CUT PENETRATIONS	1	LSUM	4,620.00	4,620	0.053
PERFORMING ARTS THEATRE/SENIOR CENTER		INCL. ABOVE	0.00	0	0.000
1 1/2" 20GA GALV. ROOF DECK OVER THEATRE AND HALLWAY		INCLUDED	0.00	0	0.000
1 1/2" 20GA GALV. ROOF DECK AT LOW ROOF		INCLUDED	0.00	0	0.000
1 1/2" 20GA TYPE B ROOF DECK AT SCENE SHOP		INCLUDED	0.00	0	0.000
1 1/2" 20GA VL GALV COMPOSITE DECK		INCLUDED	0.00	0	0.000
3" 18 GA SLOPED PAINTED ROOF DECK IN LOBBY		INCLUDED	0.00	0	0.000
SAFETY EQUIPMENT - STEEL ERECTION	1	LSUM	5,000.00	5,000	0.057
UNLOAD & DISTRIBUTE STEEL ITEMS	80	MHRS	55.74	4,459	0.051
SAFETY CABLING	2,190	LNFT	7.13	15,615	0.178
MAINTAIN AND REMOVE SAFETY CABLE	2,190	LNFT	1.68	3,679	0.042
LAYOUT AND CUT PENETRATIONS	1	LSUM	4,620.00	4,620	0.053
TOTAL METAL DECKING				61,152	0.688
STEEL FABRICATIONS					
SITE			0.00	0	0.000
3 SETS TRASH ENCLOSURE GATES		INCLUDED	0.00	0	0.000
DUST COLLECTOR GATES		INCLUDED	0.00	0	0.000
TOT LOT STAIR RAILING		INCLUDED	0.00	0	0.000
BOLLARDS		INCLUDED	0.00	0	0.000
MISC. SITE STEEL		INCLUDED	0.00	0	0.000
RECREATION CENTER			0.00	0	0.000
ROOF ACCESS LADDER		INCLUDED	0.00	0	0.000
GUARD RAIL RUNNING TRACK		INCLUDED	0.00	0	0.000
GUARD RAIL - FITNESS		INCLUDED	0.00	0	0.000
GUARD RAIL - FITNESS DECK		INCLUDED	0.00	0	0.000
GUARD RAIL - LOBBY/REC STAIRS		INCLUDED	0.00	0	0.000
GUARD RAIL - SINGLE LINE HANDRAIL AT LOBBY/REC AND WEST STAIR		INCLUDED	0.00	0	0.000
6'-0" X 6'-0" METAL PAN STAIR LANDING W/INSIDE VERTICAL PICKET RAIL		INCLUDED	0.00	0	0.000
6'-0" WIDE METAL PAN STAIR RISERS W/INSIDE VERTICAL PICKET RAIL		INCLUDED	0.00	0	0.000
5'-0" WIDE METAL PAN STAIR LANDING		INCLUDED	0.00	0	0.000
5'-0" WIDE METAL PAN STAIR RISERS		INCLUDED	0.00	0	0.000
1 1/2" STD PIPE WALL RAIL (SLOPED)		INCLUDED	0.00	0	0.000
CUSTOM OPEN WALL METAL LOUVERS		INCLUDED	0.00	0	0.000
ANCHOR BOLTS & CONCRETE EMBEDS		INCLUDED	0.00	0	0.000
MASONRY EMBEDS		INCLUDED	0.00	0	0.000
DETAILING & SHOP DRAWINGS		INCLUDED	0.00	0	0.000
MISCELLANEOUS METALS		INCLUDED	0.00	0	0.000
SAFETY EQUIPMENT - STEEL ERECTION	1	LSUM	2,500.00	2,500	0.029
UNLOAD & DISTRIBUTE STEEL ITEMS	160	MHRS	55.66	8,906	0.102
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
C:10 - OTIS ELEVATOR ILO THYSSENKRUPP, ADD STEEL AT LANDINGS	1	LSUM	3,369.00	3,369	0.038
ROOF ACCESS LADDER		INCLUDED	0.00	0	0.000
GUARD RAIL AT PATIO		INCLUDED	0.00	0	0.000
GUARD RAIL (SLOPED) THEATER LOBBY		INCLUDED	0.00	0	0.000
GUARD RAIL (SLOPED)		INCLUDED	0.00	0	0.000
GUARD RAIL THEATRE LOBBY		INCLUDED	0.00	0	0.000
GUARD RAIL - LOBBY STAIRS		INCLUDED	0.00	0	0.000
GUARD RAIL - SINGLE LINE HANDRAIL AT LOBBY AND WEST STAIR		INCLUDED	0.00	0	0.000
ALT. A.4 SENIOR PATIO - GUARD RAIL AT PERIMETER	1	LSUM	17,929.00	17,929	0.205
RIGGING RAILING AT CATWALK		INCLUDED	0.00	0	0.000
GUARD RAIL		INCLUDED	0.00	0	0.000
6'-0" X 6'-0" METAL PAN STAIR LANDING W/INSIDE VERTICAL PICKET RAIL		INCLUDED	0.00	0	0.000
6'-0" WIDE METAL PAN STAIR RISERS W/INSIDE VERTICAL PICKET RAIL		INCLUDED	0.00	0	0.000
5'-0" X 6'-0" METAL PAN STAIR LANDING		INCLUDED	0.00	0	0.000
5'-0" WIDE METAL PAN STAIR RISERS		INCLUDED	0.00	0	0.000
1 1/2" STD PIPE WALL RAIL (SLOPED)		INCLUDED	0.00	0	0.000
MISCELLANEOUS METALS	1	LSUM	16,000.00	16,000	0.183
SAFETY EQUIPMENT - STEEL ERECTION	1	LSUM	2,000.00	2,000	0.023
UNLOAD & DISTRIBUTE STEEL ITEMS	120	MHRS	55.66	6,679	0.076
TOTAL STEEL FABRICATIONS				57,383	0.655
Total Division 05 METALS				\$2,755,907	
Division 06 WOOD & PLASTIC					
ROUGH CARPENTRY AND FRAMING					
RECREATION CENTER			0.00	0	0.000
INTERIOR BLOCKING			0.00	0	0.000
LAYOUT	70	MHRS	59.32	4,152	0.047
2X4'S	400	LNFT	2.83	1,132	0.013
2X6'S AT WINDOW AND DOOR OPENINGS	2,197	LNFT	3.35	7,360	0.084

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
2X6'S WALL BACKING	550	LNFT	3.35	1,843	0.021
PLYWOOD FOR TEMPORARY CLOSURES	5,286	SQFT	6.39	33,778	0.385
PLYWOOD AT MECHANICAL, ELECTRICAL, DATA ROOMS	982	SQFT	6.39	6,275	0.072
SCAFFOLD 'DANCE FLOOR' OVER LAP POOL FOR CEILING WORK	6	MONTHS	7,346.00	44,076	0.503
DELIVERY, SET-UP, TEAR DOWN	1	LSUM	28,709.00	28,709	0.339
SCAFFOLD 'DANCE FLOOR' OVER LEIRURE POOL FOR CEILING WORK	6	MONTHS	6,382.00	38,172	0.436
DELIVERY, SET-UP, TEAR DOWN	1	LSUM	25,728.00	25,728	0.294
ROOF BLOCKING			0.00	0	0.000
LAYOUT	80	MHRS	55.66	3,340	0.038
2X2'S	1,829	LNFT	2.88	4,902	0.056
2X4'S	420	LNFT	3.25	1,365	0.016
2X6'S	640	LNFT	2.93	1,875	0.021
2X8'S	118	LNFT	3.70	437	0.005
2X10'S	267	LNFT	4.14	1,105	0.013
2X12'S	878	LNFT	4.49	3,942	0.045
PLYWOOD / OSB SHEATHING AT BACK A PARAPET	7,316	SQFT	4.71	34,458	0.393
PLYWOOD OVER ROOF OPENINGS	3,795	SQFT	4.71	17,874	0.204
PLYWOOD AT FASCIA	582	SQFT	7.63	4,517	0.052
HOISTING EQUIPMENT & FUEL	3	MNTH	3,150.00	9,450	0.108
MANLIFT	3	MNTH	1,500.00	4,500	0.051
ROUGH CARPENTRY FOREMAN	1	LSUM	51,371.81	51,372	0.586
DAILY CLEAN-UP - FRAMING	12	WKS	1,531.49	18,378	0.210
ROUGH CARPENTRY HARDWARE AND HOLD DOWNS	53,019	SQFT	0.06	3,181	0.036
DUMPSTERS	2	EACH	425.00	850	0.010
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
INTERIOR BLOCKING			0.00	0	0.000
LAYOUT	60	MHRS	59.32	3,559	0.041
2X4'S WALL BACKING	180	LNFT	2.63	509	0.006
2X6'S AT WINDOW AND DOOR OPENINGS	1,184	LNFT	3.35	3,889	0.044
2X6'S WALL BACKING	450	LNFT	3.35	1,508	0.017
PLYWOOD FOR TEMPORARY CLOSURES	1,553	SQFT	6.39	9,824	0.113
PLYWOOD AT MECHANICAL, ELECTRICAL, DATA ROOMS	482	SQFT	6.39	3,080	0.035
PLYWOOD OVER PROSCENIUM WALL TUBE STEEL FRAMING	1,504	SQFT	6.39	9,611	0.110
STAGE FLOOR/REHEARSAL FLOOR		IN FLOORING	0.00	0	0.000
SCAFFOLD 'DANCE FLOOR' OVER THEATRE SEATING FOR CEILING WORK	6	MONTHS	5,028.00	30,168	0.344
DELIVERY, SET-UP, TEAR DOWN	1	LSUM	20,057.00	20,057	0.229
ROOF BLOCKING			0.00	0	0.000
LAYOUT	50	MHRS	55.66	2,783	0.032
2X2'S	2,128	LNFT	2.88	5,703	0.065
2X4'S	380	LNFT	3.25	1,235	0.014
2X6'S	400	LNFT	3.60	1,440	0.016
2X8'S	330	LNFT	4.04	1,333	0.015
2X10'S	496	LNFT	4.39	2,177	0.025
2X12'S	818	LNFT	4.81	4,018	0.046
PLYWOOD / OSB SHEATHING AT BACK A PARAPET	8,512	SQFT	6.39	54,392	0.621
PLYWOOD OVER ROOF OPENINGS	880	SQFT	6.39	4,345	0.050
PLYWOOD AT FASCIA	300	SQFT	8.79	2,037	0.023
HOISTING EQUIPMENT & FUEL	2	MNTH	3,150.00	6,300	0.072
MANLIFT	2	MNTH	1,500.00	3,000	0.034
ROUGH CARPENTRY FOREMAN	1	LSUM	41,097.45	41,097	0.469
DAILY CLEAN-UP - FRAMING	8	WKS	1,531.49	12,252	0.140
ROUGH CARPENTRY HARDWARE AND HOLD DOWNS	34,813	SQFT	0.08	2,077	0.024
DUMPSTERS	2	EACH	425.00	850	0.010
TOTAL ROUGH CARPENTRY AND FRAMING				891,123	6.631
ARCHITECTURAL MILLWORK					
ARCHITECTURAL MILLWORK	1	SUB	640,600.00	640,600	7.310
RECREATION CENTER			0.00	0	0.000
MILLWORK PACKAGE			0.00	0	0.000
WALL PANELING		INCLUDED	0.00	0	0.000
PLAM BASE CABINETS		INCLUDED	0.00	0	0.000
PLAM UPPER CABINETS		INCLUDED	0.00	0	0.000
PLAM TALL CASEWORK		INCLUDED	0.00	0	0.000
PLAM WALL WITH MAGNETIC BACKING IN HALL 113		INCLUDED	0.00	0	0.000
BALTIC BIRCH BENCH W/CUBBIES - INDOOR PLAY		INCLUDED	0.00	0	0.000
BALTIC BIRCH BENCH W/CUBBIES - FITNESS STUDIOS		INCLUDED	0.00	0	0.000
RECEPTION DESK W/METAL LAMINATE, TRANSACTION COUNTER		INCLUDED	0.00	0	0.000
WOOD FRAME AND BACK FOR CITY PLAQUE DISPLAY		INCLUDED	0.00	0	0.000
WD1 GATES - INDOOR PLAY, PRESCHOOL		INCLUDED	0.00	0	0.000
WPC1 COMPOSITE SLAT BENCHES W/STAINLESS STEEL SUPPORTS		INCLUDED	0.00	0	0.000
SOLID SURFACE COUNTER TOPS		INCLUDED	0.00	0	0.000
BALLET BARRE - FITNESS STUDIO		INCLUDED	0.00	0	0.000
SWING GATE, WOOD		INCLUDED	0.00	0	0.000
WALL CAP, WOOD		INCLUDED	0.00	0	0.000
PROTECT CASEWORK AFTER INSTALL	320	LNFT	9.90	3,168	0.036
CAULK CASEWORK / COUNTERTOPS	1	LSUM	2,476.34	2,476	0.028
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
MILLWORK PACKAGE			0.00	0	0.000
PLAM BASE CABINETS		INCLUDED	0.00	0	0.000
PLAM UPPER CABINETS		INCLUDED	0.00	0	0.000
PLAM COUNTER TOPS		INCLUDED	0.00	0	0.000
BOX OFFICE/BAR COUNTER AND CABINETS		INCLUDED	0.00	0	0.000
SOLID SURFACE COUNTER TOPS		INCLUDED	0.00	0	0.000
PLAM SHELF - DRESSING ROOM		INCLUDED	0.00	0	0.000
MAPLE BACKBOARD W/COAT HOOKS		INCLUDED	2.00	0	0.000
WD1 GATES - SOUND CONTROL		INCLUDED	0.00	0	0.000
OPEN CUBBIES, 24X24 - GREEN ROOM		INCLUDED	0.00	0	0.000
BALLET BARRE - REHEARSAL ROOM		INCLUDED	0.00	0	0.000
WOOD FRAME AND BACK FOR CITY PLAQUE DISPLAY		INCLUDED	0.00	0	0.000
WALL CAP, WOOD		INCLUDED	0.00	0	0.000
PHENOLIC PANELING AT HALF WALL - BOX OFFICE		INCLUDED	0.00	0	0.000
RECEPTION DESK W/METAL LAMINATE, TRANSACTION COUNTER		INCLUDED	0.00	0	0.000

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
PROTECT CASEWORK AFTER INSTALL	500	LNFT	9.90	4,950	0.056
CAULK CASEWORK / COUNTERTOPS	1	LSUM	1,931.07	1,931	0.022
TOTAL ARCHITECTURAL MILLWORK				653,125	7.453
Total Division 06 WOOD & PLASTIC				\$1,234,248	0
Division 07 THERMAL & MOISTURE PROTECTION					
DAMPPROOFING AND WATERPROOFING					
DAMPPROOFING AND WATERPROOFING	1	SUB	45,936.00	45,936	0.524
RECREATION CENTER			0.00	0	0.000
BITUMINOUS DAMPPROOFING		INCLUDED	0.00	0	0.000
UNDERSLAB RIGID INSULATION		N/A	0.00	0	0.000
FOUNDATION INSULATION		INCLUDED	0.00	0	0.000
SHEET WATER PROOFING AT POOL PUMP PIT		INCLUDED	0.00	0	0.000
SHEET WATER PROOFING AT ELEVATOR PIT		INCLUDED	0.00	0	0.000
DRAINAGE BOARD		INCLUDED	0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
BITUMINOUS DAMPPROOFING		INCLUDED	0.00	0	0.000
UNDERSLAB RIGID INSULATION		N/A	0.00	0	0.000
FOUNDATION INSULATION		INCLUDED	0.00	0	0.000
SHEET WATER PROOFING AT CONCRETE RETAINING WALLS		N/A	0.00	0	0.000
SHEET WATER PROOFING AT ELEVATOR PIT	400	SQFT	4.52	1,808	0.021
DRAINAGE BOARD		INCLUDED	0.00	0	0.000
TOTAL DAMPPROOFING AND WATERPROOFING				47,744	0.545
THERMAL AND SOUND INSULATION					
INSULATION PACKAGE	1	SUB	36,259.00	36,259	0.414
RECREATION CENTER			0.00	0	0.000
THERMAX CI WITH LIQUID ARMOR JOINT TREATMENT		IN OTHER	0.00	0	0.000
C.8a - THERMAX CI WITH LIQUID ARMOR AT BERRIDGE CEE-LOK PANELS	1	SUB	19,260.00	19,260	0.220
CEILING THERMAL BATTS AT SOFFIT AREAS		INCLUDED	0.00	0	0.000
ACOUSTICAL SOUND BATTS - WALLS		W/ DRYWALL	0.00	0	0.000
R-13 BATT INSULATION AT EXTERIOR WALLS		INCLUDED	0.00	0	0.000
LIQUID VAPOR BARRIER		N/A	0.00	0	0.000
FOAMED-IN-PLACE INS. AT NATATORIUM ROOF LINE/BEAM POCKETS	1	SUB	24,788.00	24,788	0.283
AIR INFILTRATION FOAM AT OPENINGS	53,019	SQFT	0.13	6,892	0.079
VAPOR RETARDER AT CRAWL SPACE	1	LSUM	17,899.46	17,899	0.204
CONFINED SPACE SAFETY	1	LSUM	11,090.01	11,090	0.127
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
THERMAX CI WITH LIQUID ARMOR JOINT TREATMENT		IN OTHER	0.00	0	0.000
CEILING THERMAL BATTS AT SOFFIT AREAS		INC. ABOVE	0.00	0	0.000
ACOUSTICAL SOUND BATTS - WALLS		W/ DRYWALL	0.00	0	0.000
R-13 BATT INSULATION		INCL. ABOVE	0.00	0	0.000
LIQUID VAPOR BARRIER		N/A	0.00	0	0.000
AIR INFILTRATION FOAM AT OPENINGS	34,613	SQFT	0.13	4,500	0.051
VAPOR RETARDER AT CRAWL SPACE	1	LSUM	22,084.96	22,085	0.252
CONFINED SPACE SAFETY	1	LSUM	11,090.01	11,090	0.127
TOTAL THERMAL AND SOUND INSULATION				153,863	1.756
FIRE STOPPING					
RECREATION CENTER			0.00	0	0.000
FIRE STOPPING - FLOOR SLAB EDGE	1	SUB	21,609.00	21,609	0.247
MASONRY FIRE STOPPING - 2HR WALLS	136	LNFT	48.60	6,610	0.075
FIRE STOPPING - 1 HR WALLS	325	LNFT	21.44	6,988	0.080
PENETRATIONS	50	EACH	21.80	1,090	0.012
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
FIRE STOPPING - FLOOR SLAB EDGE	1	SUB	14,394.80	14,395	0.164
MASONRY FIRE STOPPING - 2HR WALLS	136	LNFT	48.60	6,610	0.075
FIRE STOPPING - 1 HR WALLS	215	LNFT	21.44	4,610	0.053
PENETRATIONS	40	EACH	21.80	872	0.010
TOTAL FIRE STOPPING				62,764	0.716
METAL ROOFING & WALL PANELS					
METAL ROOFING & WALL PANELS	1	SUB	321,700.00	321,700	3.671
RECREATION CENTER			0.00	0	0.000
BERRIDGE CEE-LOK METAL WALL PANELS		INCLUDED	0.00	0	0.000
C.8a - BERRIDGE CEE-LOK WALL PANELS ILO OKO SKIN AT POOL MECH	1	SUB	82,972.00	82,972	0.947
Z FURRING AND SUBSTRATES		INCLUDED	0.00	0	0.000
WARRANTY: 5-YEARS ON FINISH & WATERPROOFING		NOT AVAILABLE	0.00	0	0.000
KNOTWOOD ALUMINUM WALL & SOFFIT PANELS	1	SUB	162,271.00	162,271	1.852
C.7a - DELETE KNOTWOOD CEILING PANELS AT WEST FITNESS AREA	(1)	SUB	-19,414.00	19,414	0.222
6" WIDE x 18'-6" LONG WOOD GRAIN - KEC 150		INCLUDED	0.00	0	0.000
Z FURRING AND SUBSTRATES		INCLUDED	0.00	0	0.000
STANDING SEAM METAL ROOFING PANELS		INCLUDED	0.00	0	0.000
SNOW GUARDS		INCLUDED	0.00	0	0.000
INSULATION AND NAIL BASE		INCLUDED	0.00	0	0.000
ICE AND WATER SHIELD		INCLUDED	0.00	0	0.000
WARRANTY: 5-YEARS ON FINISH & WATERPROOFING		INCLUDED	0.00	0	0.000
BUILDING ENVELOPE TESTING & INSPECTION (WATER INTRUSION)	2	EACH	350.01	700	0.008
MOCK-UP	1	SUB	12,085.00	12,085	0.138
RTU SCREENS - UNIT MOUNTED (NOW HAVE PARAPET WALLS)		N/A	0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
METAL WALL PANELS TO MATCH STANDING SEAM ROOF		INCLUDED	0.00	0	0.000
Z FURRING AND SUBSTRATES		INCLUDED	0.00	0	0.000
WARRANTY: 5-YEARS ON FINISH & WATERPROOFING		NOT AVAILABLE	0.00	0	0.000
KNOTWOOD ALUMINUM WALL & SOFFIT PANELS		INC. ABOVE	0.00	0	0.000
6" WIDE x 18'-6" LONG WOOD GRAIN - KEC 150		INCLUDED	0.00	0	0.000
Z FURRING AND SUBSTRATES		INCLUDED	0.00	0	0.000
STANDING SEAM METAL ROOFING PANELS		INCLUDED	0.00	0	0.000
INSULATION AND NAIL BASE		INCLUDED	0.00	0	0.000
ICE AND WATER SHIELD		INCLUDED	0.00	0	0.000
WARRANTY: 5-YEARS ON FINISH & WATERPROOFING		INCLUDED	0.00	0	0.000
BUILDING ENVELOPE TESTING & INSPECTION (WATER INTRUSION)	2	EACH	1,850.01	3,700	0.042
RTU SCREENS - UNIT MOUNTED (NOW HAVE PARAPET WALLS)		N/A	0.00	0	0.000
TOTAL METAL ROOFING & WALL PANELS				602,842	6.879

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
COMPOSITE PANEL SIDING					
RECREATION CENTER					
PHENOLIC WALL PANELS	1	SUB	450,596.00	450,596	5.142
MANU: FUNDERMAX; N CORE EXT PANEL SYS		INCLUDED	0.00	0	0.000
TYPE A PANEL: SOLID PANEL		INCLUDED	0.00	0	0.000
THERMAX CI WITH LIQUID ARMOR JOINT TREATMENT	1	SUB	233,145.00	233,145	2.861
Z FURRING AND SUBSTRATES		INCLUDED	0.00	0	0.000
PAINTED AS REQUIRED TO CONCEAL APPEARANCE		INCLUDED	0.00	0	0.000
FIBER CEMENT PANEL CLADDING (INTERIOR AND EXTERIOR)	1	SUB	697,523.00	697,523	7.960
MANU: RIEDER / SOUND SOLUTIONS, OKO SKIN PANEL SYS		INCLUDED	0.00	0	0.000
CONCEALED FASTENER		INCLUDED	0.00	0	0.000
SHEET METAL FLASHING		INCLUDED	0.00	0	0.000
C.1a - DELETE OKO SKIN AT REC CENTER ELEVATOR INTERIOR	(1)	SUB	29,011.00	-29,011	-0.331
C.8a - DELETE OKO SKIN AT MECHANICAL ROOM EXTERIOR WALLS	(1)	SUB	258,084.00	-258,084	-2.945
C.12 - EXPOSED FASTENER ILO CONCEALED FASTENERS	(1)	SUB	150,000.00	-150,000	-1.712
MOCK-UP	1	SUB	30,000.00	30,000	0.342
PERFORMING ARTS THEATRE/SENIOR CENTER					
PHENOLIC WALL PANELS		INCL. ABOVE	0.00	0	0.000
MANU: FUNDERMAX; N CORE EXT PANEL SYS		INCLUDED	0.00	0	0.000
TYPE A PANEL: SOLID PANEL		INCLUDED	0.00	0	0.000
TYPE B PANEL: PERFORATED, 3/16" DIA. AT 1/2" SPACING		INCLUDED	0.00	0	0.000
THERMAX CI WITH LIQUID ARMOR JOINT TREATMENT		INC. ABOVE	0.00	0	0.000
Z FURRING AND SUBSTRATES		INCLUDED	0.00	0	0.000
PAINTED AS REQUIRED TO CONCEAL APPEARANCE		INCLUDED	0.00	0	0.000
OKO SKIN FIBER CEMENT PANELS		INCLUDED	0.00	0	0.000
WOOD TONE PANELS		INCLUDED	0.00	0	0.000
FIBER CEMENT PANEL CLADDING		INCL. ABOVE	0.00	0	0.000
MANU: RIEDER / SOUND SOLUTIONS, OKO SKIN PANEL SYS		INCLUDED	0.00	0	0.000
CONCEALED FASTENER		INCLUDED	0.00	0	0.000
SHEET METAL FLASHING		INCLUDED	0.00	0	0.000
TOTAL COMPOSITE PANEL SIDING				974,169	11.117
MEMBRANE ROOFING					
RECREATION CENTER					
MEMBRANE ROOFING	1	SUB	657,962.00	657,962	7.508
60 MIL TPO, WHITE FULLY ADHERED		INCLUDED	0.00	0	0.000
R-30 INSULATION		INCLUDED	0.00	0	0.000
1/2" DENS DECK COVER BOARD		INCLUDED	0.00	0	0.000
RUBBER WALK PADS		INCLUDED	0.00	0	0.000
ROOF EXPANSION JOINTS		INCLUDED	0.00	0	0.000
WARRANTY: 20-YEAR		INCLUDED	0.00	0	0.000
ADD FOR 2" HAIL DAMAGE COVERAGE OF 20-YEAR WARRANTY	1	LSUM	20,186.00	20,186	0.230
SAFETY MEASURES FOR ROOFING / LEADING EDGE PROTECTION	1	LSUM	4,372.83	4,373	0.050
SNOW REMOVAL FOR ROOF WORK	40	MHRS	76.57	3,063	0.035
SHARPS CLEANUP	40	MHRS	38.29	1,532	0.017
DUMPSTERS	3	EACH	425.00	1,275	0.015
PERFORMING ARTS THEATRE/SENIOR CENTER					
MEMBRANE ROOFING	1	SUB	0.00	0	0.000
60 MIL TPO, WHITE, FULLY ADHERED		INCLUDED	0.00	0	0.000
R-30 INSULATION		INCLUDED	0.00	0	0.000
1/2" DENS DECK COVER BOARD		INCLUDED	0.00	0	0.000
RUBBER WALK PADS		INCLUDED	25.00	0	0.000
ROOF EXPANSION JOINTS		INCLUDED	0.00	0	0.000
WARRANTY: 20-YEAR		INCL. ABOVE	0.00	0	0.000
SAFETY MEASURES FOR ROOFING / LEADING EDGE PROTECTION	1	LSUM	3,872.83	3,873	0.044
SNOW REMOVAL FOR ROOF WORK	40	MHRS	153.15	6,126	0.070
SHARPS CLEANUP	40	MHRS	38.29	1,532	0.017
DUMPSTERS	3	EACH	425.00	1,275	0.015
TOTAL MEMBRANE ROOFING				701,197	8.002
FLASHING AND SHEET METAL					
RECREATION CENTER					
FLASHING AND SHEET METAL PACKAGE	1	SUB	89,600.00	89,600	1.022
12" COPING CAP		INCLUDED	0.00	0	0.000
14" COPING CAP		INCLUDED	0.00	0	0.000
16" COPING CAP		INCLUDED	0.00	0	0.000
20" COPING CAP		INCLUDED	0.00	0	0.000
FASCIA FLASHINGS		INCLUDED	0.00	0	0.000
MISC. ROOF FLASHINGS	1	LSUM	6,860.00	6,860	0.078
MISC. FLASHINGS	1	LSUM	6,520.00	6,520	0.074
FLEXIBLE FLASHING AT WINDOW AND DOOR OPENINGS	2,197	LNFT	7.20	15,818	0.181
PERFORMING ARTS THEATRE/SENIOR CENTER					
FLASHING AND SHEET METAL PACKAGE	1	SUB	0.00	0	0.000
12" COPING CAP		INCLUDED	0.00	0	0.000
14" COPING CAP		INCLUDED	0.00	0	0.000
16" COPING CAP		INCLUDED	0.00	0	0.000
18" COPING CAP		INCLUDED	0.00	0	0.000
20" COPING CAP		INCLUDED	0.00	0	0.000
FASCIA FLASHINGS		INCLUDED	0.00	0	0.000
MISC. ROOF FLASHINGS	1	LSUM	6,020.00	6,020	0.069
MISC. FLASHINGS	1	LSUM	5,180.00	5,180	0.059
FLEXIBLE FLASHING AT WINDOW AND DOOR OPENINGS	1,164	LNFT	7.20	8,381	0.096
TOTAL FLASHING AND SHEET METAL				138,379	1.579
ROOF ACCESSORIES					
RECREATION CENTER					
ROOF ACCESS HATCH 30"X36"	1	SUB	38,155.00	38,155	0.435
HOISTING		INCLUDED	0.00	0	0.000
BLOCKING	21	EACH	150.00	3,150	0.036
BLOCKING	21	EACH	77.00	1,617	0.018
PERFORMING ARTS THEATRE/SENIOR CENTER					
ROOF ACCESS HATCH 30"X36"	1	SUB	0.00	0	0.000
SMOKE VENTS		INCLUDED	0.00	0	0.000
HOISTING	6	EACH	150.00	900	0.010
BLOCKING	6	EACH	77.00	462	0.005

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
TOTAL ROOF ACCESSORIES				44,284	0.505
PEDESTAL PAVER SYSTEM AND WATERPROOFING					
RECREATION CENTER	SEE ALT. A.2		0.00	0	0.000
ROOF DECK PAVERS - FITNESS PATIO	SEE ALT. A.2		0.00	0	0.000
PROTECTION MAT	INCLUDED		0.00	0	0.000
WARRANTY: 3-YEAR	INCLUDED		0.00	0	0.000
TOTAL PEDESTAL PAVER SYSTEM AND WATERPROOFING				0	0.000
SPRAY APPLIED FIREPROOFING					
SPRAY APPLIED FIREPROOFING	1 SUB		120,000.00	120,000	1.369
POOL EQUIPMENT ROOM ROOF SPRAY APPLIED FIREPROOFING	INCLUDED		0.00	0	0.000
PRE-SCHOOL ROOF SPRAY APPLIED FIREPROOFING	INCLUDED		0.00	0	0.000
LOCKER ROOM/FITNESS AREA ROOF SPRAY APPLIED FIREPROOFING	INCLUDED		0.00	0	0.000
LOCKER ROOM/FITNESS AREA 2ND FLOOR SPRAY APPLIED FIREPROOFING	INCLUDED		0.00	0	0.000
FIREPROOFING TOUCH-UP	1 LSUM		2,085.60	2,086	0.024
TOTAL SPRAY APPLIED FIREPROOFING				122,086	1.393
EXPANSION CONTROL					
4" EXTERIOR WALL SYSTEM	64 LNFT		60.00	3,840	0.044
4" FLOOR SYSTEM	10 LNFT		50.00	500	0.006
4" INTERIOR WALL SYSTEM	64 LNFT		60.00	3,840	0.044
4" CEILING SYSTEM	120 LNFT		60.00	7,200	0.082
4" ROOF SYSTEM	120 LNFT		65.00	7,800	0.089
LAYOUT / BLOCKOUTS	24 MHRS		68.04	1,633	0.019
TOTAL EXPANSION CONTROL				24,813	0.283
JOINT SEALANTS					
JOINT SEALANTS	1 SUB		72,000.00	72,000	0.822
SITE			0.00	0	0.000
JOINT SEALANTS	INCLUDED		0.40	0	0.000
MISC. CAULKING	80 MHRS		54.30	4,344	0.050
RECREATION CENTER			0.00	0	0.000
JOINT SEALANTS	INCLUDED		0.00	0	0.000
MISC. CAULKING	80 MHRS		54.30	4,344	0.050
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
JOINT SEALANTS	INCLUDED		0.00	0	0.000
MISC. CAULKING	40 MHRS		54.30	2,172	0.025
TOTAL JOINT SEALANTS				82,660	0.946
Total Division 07 THERMAL & MOISTURE PROTECTION				\$2,955,001	0
Division 08 DOORS & WINDOWS					
HOLLOW METAL DOORS & FRAMES					
DOORS/FRAMES/HARDWARE	1 SUB		309,112.00	309,112	3.527
RECREATION CENTER			0.00	0	0.000
SINGLE HM DOOR FRAME 3'X7'	INCLUDED		0.00	0	0.000
DBL HM DOOR FRAME 6'X7'	INCLUDED		0.00	0	0.000
SIDELIGHT PREMIUM	INCLUDED		0.00	0	0.000
ALUMINUM DOOR FRAMES			0.00	0	0.000
HOLLOW METAL DOORS	INCLUDED		0.00	0	0.000
UNLOAD AND SORT FRAMES AND DOORS	143 EACH		42.00	6,006	0.069
MISC. PREP FOR HM FRAMES AND DOORS	64 MHRS		55.66	3,562	0.041
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
SINGLE HM DOOR FRAME 3'X7'	INCLUDED		0.00	0	0.000
DBL HM DOOR FRAME 6'X7'	INCLUDED		0.00	0	0.000
OVERSIZE DBL HM FRAME - 4' X 12'	INCLUDED		0.00	0	0.000
SIDELIGHT PREMIUM	INCLUDED		0.00	0	0.000
STC RATED OPENINGS	1 LSUM		28,100.00	28,100	0.321
HOLLOW METAL DOORS	INCLUDED		0.00	0	0.000
OVERSIZE DBL HM DOOR - 4' X 12'	INCLUDED		0.00	0	0.000
MISC. PREP FOR HM FRAMES AND DOORS	50 MHRS		55.66	2,783	0.032
TOTAL HOLLOW METAL DOORS & FRAMES				349,563	3.989
WOOD DOORS					
RECREATION CENTER			0.00	0	0.000
SOLID CORE WOOD DOORS	INCL. ABOVE		0.00	0	0.000
"BIRCH OR RED OAK"	INCL. ABOVE		0.00	0	0.000
FACTORY FINISHED	INCL. ABOVE		0.00	0	0.000
STILE AND RAIL DOORS	INCL. ABOVE		0.00	0	0.000
UNLOAD AND SORT FRAMES AND DOORS	82 EACH		25.20	2,066	0.024
PROTECT DOORS	82 EACH		26.80	2,198	0.025
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
SOLID CORE WOOD DOORS	INCL. ABOVE		0.00	0	0.000
"BIRCH OR RED OAK"	INCL. ABOVE		0.00	0	0.000
FACTORY FINISHED	INCL. ABOVE		0.00	0	0.000
STILE AND RAIL DOORS	INCL. ABOVE		0.00	0	0.000
TOTAL WOOD DOORS				4,264	0.049
ALUMINUM FRAMED OPENINGS					
RECREATION CENTER			0.00	0	0.000
SINGLE ALUMINUM DOOR FRAME 3'X7'	INCL. ABOVE		0.00	0	0.000
DBL ALUMINUM DOOR FRAME 6'X7'	INCL. ABOVE		0.00	0	0.000
UNLOAD AND SORT FRAMES AND DOORS	56 EACH		42.00	2,352	0.027
MISC. PREP FOR FRAMES AND DOORS	24 MHRS		55.66	1,336	0.015
TOTAL ALUMINUM FRAMED OPENINGS				3,688	0.042
DOOR HARDWARE					
RECREATION CENTER			0.00	0	0.000
DOOR HARDWARE FOR HM AND WOOD DOORS	INCL. ABOVE		800.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
DOOR HARDWARE	INCL. ABOVE		800.00	0	0.000
TOTAL DOOR HARDWARE				0	0.000
DOOR/FRAME/HARDWARE INSTALLATION					
RECREATION CENTER			0.00	0	0.000
DOOR / FRAME / HARDWARE INSTALLATION	281 EACH		184.80	51,929	0.593
COORDINATION	1 LSUM		2,520.00	2,520	0.029
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
DOOR / FRAME / HARDWARE INSTALLATION	INCLUDED		0.00	0	0.000
COORDINATION	1	LSUM	2,184.00	2,184	0.025
TOTAL DOOR/FRAME/HARDWARE INSTALLATION				56,633	0.646
ACCESS DOORS					
RECREATION CENTER			0.00	0	0.000
ACCESS DOORS	20	EACH	173.64	3,473	0.040
C.14 - NON- FIRE RATED FLOOR ACCESS DOOR	1	EACH	1,388.96	1,389	0.016
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
ACCESS DOORS	16	EACH	173.64	2,778	0.032
C.14 - NON- FIRE RATED FLOOR ACCESS DOOR	1	EACH	1,388.96	1,389	0.016
FIRE RATED FLOOR ACCESS DOOR	1	EACH	4,524.29	4,524	0.052
TOTAL ACCESS DOORS				13,513	0.154
OVERHEAD DOORS					
PERFORMING ARTS THEATRE/SENIOR CENTER	1	SUB	24,651.00	24,651	0.281
WOOD COILING COUNTERTOP GRILLES - 6' T X 12' W	INCLUDED		0.00	0	0.000
MANUAL OPERATION	INCLUDED		0.00	0	0.000
SECTIONAL OVERHEAD DOORS - 10' T X 8' W	INCLUDED		0.00	0	0.000
ELECTRIC OPERATOR	INCLUDED		0.00	0	0.000
OVERHEAD COILING DOOR AT FIRE WALL - 8' T X 8' W	INCLUDED		0.00	0	0.000
FUSEABLE LINK RELEASE DEVICE	INCLUDED		0.00	0	0.000
TOTAL OVERHEAD DOORS				24,651	0.281
SOLATUBES AND SKYLIGHTS					
RECREATION CENTER	1	SUB	34,737.00	34,737	0.396
METAL-FRAMED DOME SKYLIGHTS	INCLUDED		0.00	0	0.000
CURBS	INCLUDED		0.00	0	0.000
BLOCKING AND BACKING	456	LNFT	6.54	2,982	0.034
CUT PENETRATION IN ROOF DECK	456	LNFT	6.54	2,982	0.034
TOTAL SOLATUBES AND SKYLIGHTS				40,701	0.464
FIBERGLASS SANDWICH PANEL ASSEMBLIES					
RECREATION CENTER	N/A		0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
TOTAL FIBERGLASS SANDWICH PANEL ASSEMBLIES				0	0.000
ALUMINUM STOREFRONT, GLAZING AND WINDOWS					
ALUMINUM STOREFRONT, GLAZING AND WINDOWS	1	SUB	1,054,030.00	1,054,030	12.028
RECREATION CENTER			0.00	0	0.000
EXTERIOR ALUMINUM STOREFRONT	INCLUDED		0.00	0	0.000
INTERIOR ALUMINUM STOREFRONT	INCLUDED		0.00	0	0.000
EXTERIOR CURTAIN WALL	INCLUDED		0.00	0	0.000
OKALUX TRANSLUCENT GLAZING	INCLUDED		0.00	0	0.000
FINISH COLOR: CLEAR ANODIZED	INCLUDED		0.00	0	0.000
MEDIUM STYLE STOREFRONT DOORS	INCLUDED		0.00	0	0.000
STOREFRONT DOOR HARDWARE	1	LSUM	170,000.00	170,000	1.940
HC OPERATOR	INCLUDED		0.00	0	0.000
ALUMINUM SILLS	INCLUDED		0.00	0	0.000
ALUMINUM BREAK METAL AND FLASHING	INCLUDED		0.00	0	0.000
FULL LENGTH MIRRORS IN LOCKER/WEIGHT ROOMS	INCLUDED		0.00	0	0.000
INTERIOR GLAZING	INCLUDED		0.00	0	0.000
DOOR/SIDELIGHT GLAZING	INCLUDED		0.00	0	0.000
FINAL GLASS CLEANING	15,434	SQFT	0.30	4,630	0.053
PRELIMINARY LAYOUT AND FINAL VERIFICATION	1	LSUM	3,360.00	3,360	0.038
UNLOAD AND SORT WINDOWS	1	LSUM	3,398.27	3,398	0.039
BUILDING ENVELOPE TESTING & INSPECTION (WATER INTRUSION)	3	EACH	1,850.01	5,550	0.063
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
EXTERIOR ALUMINUM STOREFRONT	INCLUDED		0.00	0	0.000
INTERIOR ALUMINUM STOREFRONT	INCLUDED		0.00	0	0.000
EXTERIOR CURTAIN WALL	INCLUDED		0.00	0	0.000
FINISH COLOR: CLEAR ANODIZED	INCLUDED		0.00	0	0.000
MEDIUM STYLE STOREFRONT DOORS	INCLUDED		0.00	0	0.000
45 MIN RATED FRAMES AND DOORS AT THEATRE OFFICES	INCLUDED		0.00	0	0.000
HC OPERATOR	INCLUDED		0.00	0	0.000
ALUMINUM SILLS	INCLUDED		0.00	0	0.000
ALUMINUM BREAK METAL AND FLASHING	INCLUDED		0.00	0	0.000
ALUMINUM SUNSHADE	INCLUDED		0.00	0	0.000
FULL LENGTH MIRRORS IN DRESSING/GREEN/REHEARSAL ROOMS	INCLUDED		0.00	0	0.000
INTERIOR GLAZING	INCLUDED		0.00	0	0.000
DOOR/SIDELIGHT GLAZING	INCLUDED		0.00	0	0.000
SUNSHADE AT PRE-SCHOOL ENTRY	INCLUDED		0.00	0	0.000
ALUMINUM SUNSHADE WITH LOUVERS ATTACHED TO BUILDING	INCLUDED		0.00	0	0.000
SUNSHADE AT TOT LOT BUILDING ENTRY	INCLUDED		0.00	0	0.000
ALUMINUM SUNSHADE WITH LOUVERS ATTACHED TO BUILDING	INCLUDED		0.00	0	0.000
WALKWAY COVER AT COMMUNITY ROOM PATIO	INCLUDED		0.00	0	0.000
ALUMINUM SUNSHADE WITH VERTICAL LOUVERS AT NORTH END	IN DIV. 10		0.00	0	0.000
SUNSHADE WEST SIDE OF THEATRE ENTRY	INCLUDED		0.00	0	0.000
ALUMINUM CANOPY ATTACHED TO BUILDING	IN DIV. 10		0.00	0	0.000
SUNSHADE AT SENIOR PATIO	INCLUDED		0.00	0	0.000
ALUMINUM SUNSHADE WITH LOUVERS ATTACHED TO BUILDING	INCLUDED		0.00	0	0.000
MOCK-UP	INCLUDED		0.00	0	0.000
FINAL GLASS CLEANING	9,602	SQFT	0.30	2,881	0.033
PRELIMINARY LAYOUT AND FINAL VERIFICATION	1	LSUM	2,520.00	2,520	0.029
UNLOAD AND SORT WINDOWS	1	LSUM	2,923.70	2,924	0.033
BUILDING ENVELOPE TESTING & INSPECTION (WATER INTRUSION)	2	EACH	1,850.01	3,700	0.042
TOTAL ALUMINUM STOREFRONT, GLAZING AND WINDOWS				1,252,993	14.298
Total Division 08 DOORS & WINDOWS				\$1,746,006	0

Division 09 FINISHES

DRYWALL

DRYWALL PACKAGE	1	SUB	1,035,730.00	1,035,730	11.819
RECREATION CENTER			0.00	0	0.000
COLD FORMED FRAMING			0.00	0	0.000
6" M.S. 8'H EXT. WALL DENSGLASS 2-SIDES	INCLUDED		0.00	0	0.000

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
8" M.S. 16'H EXT. WALL DENSGLOSS/GYP E.S.		INCLUDED	0.00	0	0.000
8" M.S. 20'H EXT. WALL DENSGLOSS/GYP E.S.		INCLUDED	0.00	0	0.000
8" M.S. 36'H EXT. WALL DENSGLOSS/GYP E.S.		INCLUDED	0.00	0	0.000
INTERIOR NON LOAD BEARING WALLS			0.00	0	0.000
6" M.S. 10'H W/GYP 2-SIDES, SOUND BATTS		INCLUDED	0.00	0	0.000
3 5/8 X 25 GA MS, 10'H (1) 3/4" PLYWOOD		INCLUDED	0.00	0	0.000
3 5/8 X 20 GA MS, 13'H (1) 5/8 GYP EA SIDE		INCLUDED	0.00	0	0.000
SOUND BATTS		INCLUDED	0.00	0	0.000
DROP CEILING METAL FRAMING		INCLUDED	0.00	0	0.000
EXTERIOR SOFFIT FRAMING - HAT CHANNEL AND GYP BOARD		INCLUDED	0.00	0	0.000
LEVEL 4 FINISH		INCLUDED	0.00	0	0.000
LEVEL 5 FINISH INCLUDED AT WALL COVERING AREA ONLY		INCLUDED	0.00	0	0.000
TEXTURE FINISHES		NOT INCLUDED	0.22	0	0.000
TILE BACKER BOARD		INCLUDED	0.00	0	0.000
MISC. PATCHING	60	MHRS	55.86	3,340	0.038
LAYOUT OF WALLS	12,818	SQFT	0.42	5,384	0.061
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
COLD FORMED FRAMING			0.00	0	0.000
8" M.S. 16'H EXT. WALL DENSGLOSS/GYP E.S.		INCLUDED	0.00	0	0.000
8" M.S. 17'-6" H EXT. WALL DENSGLOSS/GYP E.S.		INCLUDED	0.00	0	0.000
8" M.S. 18'-0" H EXT. WALL DENSGLOSS/GYP E.S.		INCLUDED	0.00	0	0.000
8" M.S. 21'H EXT. WALL DENSGLOSS/GYP E.S.		INCLUDED	0.00	0	0.000
8" M.S. 22'H EXT. WALL DENSGLOSS/GYP E.S.		INCLUDED	0.00	0	0.000
INTERIOR NON LOAD BEARING WALLS			0.00	0	0.000
3 5/8 X 25 GA MS, 10'H (1) 3/4" PLYWOOD		INCLUDED	0.00	0	0.000
3 5/8 X 25 GA MS, 10'H (1) 5/8 GYP ONE SIDE		INCLUDED	0.00	0	0.000
3 5/8 X 20 GA MS, 13'H (1) 5/8 GYP EA SIDE		INCLUDED	0.00	0	0.000
3 5/8 X 20 GA MS, 10'H (1) 5/8 GYP ONE SIDE (ANGLED TO STAGE)		INCLUDED	0.00	0	0.000
3 5/8 X 20 GA MS, 16'H (1) 5/8 GYP ONE SIDE		INCLUDED	0.00	0	0.000
3 5/8 X 20 GA MS, 16'H (1) 5/8 GYP ONE SIDE		INCLUDED	0.00	0	0.000
3 5/8 X 20 GA MS, 16'H CHASE WALL (1) 5/8 GYP BOTH SIDES		INCLUDED	0.00	0	0.000
6" M.S. 10'H W/GYP 2-SIDES, SOUND BATTS		INCLUDED	0.00	0	0.000
SOUND BATTS		INCLUDED	0.00	0	0.000
FRAMED/GYP CEILING REFLECTIVE SECTIONS IN THEATER		INCLUDED	0.00	0	0.000
DROP CEILING METAL FRAMING		INCLUDED	0.00	0	0.000
EXTERIOR SOFFIT FRAMING - HAT CHANNEL AND GYP BOARD		INCLUDED	0.00	0	0.000
LEVEL 4 FINISH		INCLUDED	0.00	0	0.000
LEVEL 5 FINISH		NOT INCLUDED	0.00	0	0.000
TEXTURE FINISHES		NOT INCLUDED	0.22	0	0.000
TILE BACKER BOARD		INCLUDED	0.00	0	0.000
MISC. PATCHING	80	MHRS	55.66	4,453	0.051
LAYOUT OF WALLS	31,818	SQFT	0.42	13,364	0.153
TOTAL DRYWALL				1,062,271	12.122
TILING					
TILING	1	SUB	351,872.00	351,872	4.015
RECREATION CENTER			0.00	0	0.000
FLOORS		BELOW	0.00	0	0.000
POR1, Dal Tile, KEYSTONES DK21 WHEAT BLEND, 1x1 TILES (12X12 SHEET)		INCLUDED	0.00	0	0.000
POR3, Marazzi, ALTERATIONS, WOVEN SLATE, 12X24 FLOOR		INCLUDED	0.00	0	0.000
POR4, Dal Tile, KEYSTONES CUSTOM MOSAIC BLEND, 12X12		INCLUDED	0.00	0	0.000
WALLS		BELOW	0.00	0	0.000
PORB1, Dal Tile Base, KEYSTONES, WHEAT BLEND		INCLUDED	0.00	0	0.000
PORB3, Marazzi, ALTERATIONS, WOVEN SLATE		INCLUDED	0.00	0	0.000
WALL TILE PATTERNS PER SCHEDULE SHEET A901		INCLUDED	0.00	0	0.000
CWT-1 THROUGH CWT-17		INCLUDED	0.00	0	0.000
Schluter Trim		INCLUDED	0.00	0	0.000
WATERPROOF MEMBRANE		INCLUDED	0.00	0	0.000
EPOXY GROUT		INCLUDED	0.00	0	0.000
GROUT SEALER		INCLUDED	0.00	0	0.000
FLOOR PREP	5,983	SQFT	0.05	299	0.003
FLOOR PROTECTION	5,983	SQFT	0.33	1,974	0.023
PERFORMING ARTS THEATRE/SENIOR CENTER			0.50	0	0.000
FLOORS		BELOW	0.00	0	0.000
POR2, Dal Tile, INVOKE, EVENING VEIL ID04, 6X24 & 12X24		INCLUDED	0.00	0	0.000
POR3, Marazzi, ALTERATIONS, WOVEN SLATE, 12X24 FLOOR		INCLUDED	0.00	0	0.000
PORB3, Marazzi, ALTERATIONS, WOVEN SLATE		INCLUDED	0.00	0	0.000
QT, DAL TILE, QUARRY, ARID GRAY 0Q42, 6X6 MONOLITHIC		INCLUDED	0.00	0	0.000
QTB, DAL TILE, QUARRY, ARID GRAY 0Q42, 5X6 COVE BASE		INCLUDED	0.00	0	0.000
WALLS		BELOW	0.00	0	0.000
PORB1, Dal Tile Base, KEYSTONES, WHEAT BLEND		INCLUDED	0.00	0	0.000
PORB3, Marazzi, ALTERATIONS, WOVEN SLATE		INCLUDED	0.00	0	0.000
WALL TILE PATTERNS PER SCHEDULE SHEET A901		INCLUDED	0.00	0	0.000
CWT-1 THROUGH CWT-17		INCLUDED	0.00	0	0.000
Schluter Trim		INCLUDED	0.00	0	0.000
WATERPROOF MEMBRANE		INCLUDED	0.00	0	0.000
EPOXY GROUT		INCLUDED	0.00	0	0.000
GROUT SEALER		INCLUDED	0.00	0	0.000
FLOOR PREP	5,817	SQFT	0.05	291	0.003
FLOOR PROTECTION	5,817	SQFT	0.33	1,920	0.022
TOTAL TILING				356,356	4.067
HARDWOOD FLOORING					
HARDWOOD FLOORING	1	SUB	182,000.00	182,000	2.077
RECREATION CENTER			0.00	0	0.000
WDF1 (gym), ROBBINS, SPORTWOOD BIO-CHANNEL STAR		INCLUDED	0.00	0	0.000
SAND AND APPLY FINISH		INCLUDED	0.00	0	0.000
WDF2 (flenss), ROBBINS, SPORTWOOD BIO-CUSHION		INCLUDED	0.00	0	0.000
SAND AND APPLY FINISH		INCLUDED	0.00	0	0.000
GYM FLOOR SPORTS LINE PAINTING	1	LSUM	8,000.00	8,000	0.091
PLATFORM FLOOR, PLTFM-FLR1 (stage)		INCLUDED	0.00	0	0.000
SAND AND APPLY FINISH		INCLUDED	0.00	0	0.000
VENT COVE BASE AT WALLS		INCLUDED	0.00	0	0.000

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
5" ALUMINUM SADDLES AT DOORS	INCLUDED		0.00	0	0.000
PLATFORM FLOOR, PLTFM-FLR1 (rehearsal)	INCLUDED		0.00	0	0.000
SAND AND APPLY FINISH	INCLUDED		0.00	0	0.000
VENT COVE BASE AT WALLS	INCLUDED		0.00	0	0.000
5" ALUMINUM SADDLES AT DOORS	INCLUDED		0.00	0	0.000
MOISTURE TEST (BASED ON 1 / 1000 SF)	16 EACH		150.00	2,400	0.027
MOISTURE PROTECTION	16,030 SQFT		0.22	3,527	0.040
FLOOR PREP / FLOAT	16,030 SQFT		0.55	8,817	0.101
FLOOR PROTECTION	16,030 SQFT		0.70	11,221	0.128
TOTAL HARDWOOD FLOORING				215,965	2.464
RESILIENT FLOORING					
RECREATION CENTER			0.00	0	0.000
RESILIENT FLOORING	1 SUB		90,716.00	90,716	1.035
VTF1, UNINTERRUPTED, WOOD, EARTHY CHESTNUT, ASHLAR	INCLUDED		0.00	0	0.000
RF1-4 RUBBER FLOORING	INCLUDED		0.00	0	0.000
RB1, VINYL BASE - COVED OR STRAIGHT	1 SUB		9,462.00	9,462	0.108
VBR, VENTED RUBBER BASE	INCLUDED		0.00	0	0.000
ATHLETIC FLOORING			0.00	0	0.000
RAF1, ENCORE, BEAST; 10.5MM, BLUE JAYS, ES103	1 SUB		38,574.00	38,574	0.440
RAF2, ENCORE, BEAST; 10.5MM, MOCHA LATTE, ES43A	INCLUDED		0.00	0	0.000
RAF3, ROBBINS SPORT SURFACES, PULASTIC CLASSIC 110	1 SUB		40,000.00	40,000	0.456
RAF4, ROBBINS SPORT SURFACES, PULASTIC CLASSIC 110	INCLUDED		0.00	0	0.000
RAF5, ROBBINS SPORT SURFACES, PULASTIC CLASSIC 110	INCLUDED		0.00	0	0.000
RAFB - ENCORE, 16" HIGH BASE, COLOR TO MATCH ADJACENT FLOORING	INCLUDED		0.00	0	0.000
MOISTURE TEST (BASED ON 1 / 1000 SF)	12 EACH		150.00	1,800	0.021
MOISTURE PROTECTION	11,358 SQFT		0.22	2,499	0.029
FLOOR PREP / FLOAT	11,358 SQFT		0.55	6,247	0.071
FLOOR PROTECTION	11,358 SQFT		0.70	7,951	0.091
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
RESILIENT FLOORING	BELOW		0.00	0	0.000
VTF1, INTERFACE, NATURAL WOOD GRAINS, WASHED MAPLE A00211, ASHLAR	INCL. ABOVE		0.00	0	0.000
RB1, VINYL BASE - COVED OR STRAIGHT	INCL. ABOVE		0.00	0	0.000
VBR, Vented Rubber Base	INCLUDED		0.00	0	0.000
INDOOR PROTECTIVE FLOORING			0.00	0	0.000
NO FAULT RUBBER FLOORING - INDOOR PLAY	634 SQFT		25.00	15,850	0.181
MOISTURE TEST (BASED ON 1 / 1000 SF)	10 EACH		150.00	1,500	0.017
MOISTURE PROTECTION	10,226 SQFT		0.22	2,250	0.026
FLOOR PREP / FLOAT	10,226 SQFT		0.55	5,624	0.064
FLOOR PROTECTION	10,226 SQFT		0.70	7,158	0.082
FLOOR PROTECTION	10,226 SQFT		0.70	7,158	0.082
TOTAL RESILIENT FLOORING				236,789	2.702
CARPET					
CARPET	1 SUB		30,626.00	30,626	0.349
RECREATION CENTER			0.00	0	0.000
EMAT1, STEP REPEAT SR899, 24X24, MONOLITHIC	INCLUDED		0.00	0	0.000
CARPET 1-8, 10 TILE	INCLUDED		0.00	0	0.000
CARPET 9 - ROLLED GOODS	INCLUDED		0.00	0	0.000
MOISTURE TEST (BASED ON 1 / 1000 SF)	2 EACH		150.00	300	0.003
MOISTURE PROTECTION	1,802 SQFT		0.22	396	0.005
FLOOR PREP	1,802 SQFT		0.18	324	0.004
FLOOR PROTECTION	1,802 SQFT		0.70	1,261	0.014
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
EMAT1, MARLITE, STEP REPEAT SR899, 24X24, MONOLITHIC	INCLUDED		0.00	0	0.000
CPT-1, INTERFACE DRIFTWOOD, ALDER, 25CMX1M, ASHLAR	INCLUDED		0.00	0	0.000
CPT-9, SHAW CONTRACT, STYLUS 5A216, CHARCOAL 15557, BROADLOOM 12'	INCLUDED		0.00	0	0.000
WALK-OFF CARPET TILE	INCLUDED		0.00	0	0.000
MOISTURE TEST (BASED ON 1 / 1000 SF)	5 EACH		150.00	750	0.009
MOISTURE PROTECTION	4,722 SQFT		0.22	1,039	0.012
FLOOR PREP	4,722 SQFT		0.18	850	0.010
FLOOR PROTECTION	4,722 SQFT		0.70	3,305	0.038
TOTAL CARPET				38,881	0.443
POLISHED OR SEALED CONCRETE					
POLISHED AND SEALED CONCRETE	1 SUB		43,870.00	43,870	0.501
RECREATION CENTER			0.00	0	0.000
SCONC, SEALED CONCRETE W/ SLIP RESISTANT TOP ADDITIVE	INCLUDED		0.00	0	0.000
STCONC1, AMERIPOLISH W/ SLIP RESISTANT TOP ADDITIVE - BLACK	INCLUDED		0.00	0	0.000
STCONC2, AMERIPOLISH W/ SLIP RESISTANT TOP ADDITIVE - SLATE BLUE	INCLUDED		0.00	0	0.000
STCONC3, AMERIPOLISH W/ SLIP RESISTANT TOP ADDITIVE - SAND	INCLUDED		0.00	0	0.000
MOISTURE TEST (BASED ON 1 / 1000 SF)	8 EACH		150.00	1,200	0.014
MOISTURE PROTECTION	7,627 SQFT		0.22	1,678	0.019
FLOOR PREP	7,627 SQFT		0.18	1,373	0.016
FLOOR PROTECTION	7,627 SQFT		1.46	11,135	0.127
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
SCONC, SEALED CONCRETE W/ SLIP RESISTANT TOP ADDITIVE	INCLUDED		0.00	0	0.000
MOISTURE TEST (BASED ON 1 / 1000 SF)	10 EACH		150.00	1,500	0.017
MOISTURE PROTECTION	10,430 SQFT		0.22	2,295	0.026
FLOOR PREP	10,430 SQFT		0.18	1,877	0.021
FLOOR PROTECTION	10,430 SQFT		1.46	15,228	0.174
TOTAL POLISHED OR SEALED CONCRETE				80,156	0.915
ACOUSTICAL CEILINGS					
ACOUSTICAL CEILINGS AND ACOUSTIC TREATMENTS	1 SUB		280,000.00	280,000	3.195
RECREATION CENTER			0.00	0	0.000
ACOUSTIC CEILINGS			0.00	0	0.000
SAT-1 CLOUD, SUSPENDED ACOUSTICAL TILE 2X2 W/ xx GRID	INCLUDED		0.00	0	0.000
SAT-1, SUSPENDED ACOUSTICAL TILE 2X2 W/ xx GRID	INCLUDED		0.00	0	0.000
SAT-3, SUSPENDED ACOUSTICAL TILE 2X4 W/ xx GRID	INCLUDED		0.00	0	0.000
C.7a - SAT-3 ILO KNOTWOOD METAL PANEL CEILING AT WEST FITNESS	1 LSUM		3,426.00	3,426	0.039
ACOUSTICAL TREATMENTS			0.00	0	0.000
LAPENDARY PANELS AT LEISURE POOL AREA - 60% COVERAGE	INCLUDED		0.00	0	0.000
LAPENDARY PANELS AT LAP POOL AREA - 60% COVERAGE	INCLUDED		0.00	0	0.000
AWP2 - ACOUSTIC PANELS AT GYMNASIUM - 12' x 8' PANELS	INCLUDED		0.00	0	0.000

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
AWP2 - ACOUSTIC PANELS IN NATATORIUM - 12' x 8' PANELS		INCLUDED	0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
ACOUSTIC CEILINGS			0.00	0	0.000
SAT-1, SUSPENDED ACOUSTICAL TILE 2X2 W/ xx GRID		INCLUDED	0.00	0	0.000
SAT-2, SUSPENDED ACOUSTICAL TILE 2X4 WASHABLE W/ 15/16 GRID		INCLUDED	0.00	0	0.000
SAT-3, SUSPENDED ACOUSTICAL TILE 2X4 W/ xx GRID		INCLUDED	0.00	0	0.000
ACOUSTICAL TREATMENTS			0.00	0	0.000
2" OWENS CORNING SELECTSOUND AT THEATRE DECK		INCLUDED	0.00	0	0.000
AIP2 - 2" G&O ACOUSTIC IMPACT PANELS AT BACK OF THEATRE SEATING		INCLUDED	0.00	0	0.000
AIP-x, 2" IMPACT RESISTANT ACOUSTICAL INSULATION PANELS		INCLUDED	0.00	0	0.000
DEMOUNTABLE 2" THICK SOUND ABSORBING WALL PANELS - THRUST		INCLUDED	0.00	0	0.000
TOTAL ACOUSTICAL CEILINGS				283,426	3.234
ACRYLIC PLASTER CEILINGS					
RECREATION CENTER	1	SUB	76,999.00	76,999	0.879
C.15 - DELETE ACRYLIC PLASTER CEILINGS IN GUARD/AQUATICS ROOMS	(1)	LSUM	10,780.00	-10,780	-0.123
LOCKER ROOMS/FAMILY LOCKERS / CABANAS		INCLUDED	0.00	0	0.000
LOCKER ROOM CIRCULATION		INCLUDED	0.00	0	0.000
TOTAL ACRYLIC PLASTER CEILINGS				66,219	0.756
PAINTING					
PAINTING PACKAGE	1	SUB	415,899.00	415,899	4.746
SITE			0.00	0	0.000
BOLLARDS		N/A	0.00	0	0.000
SITE ENCLOSURE STEEL		INCLUDED	0.00	0	0.000
MISC. STEEL		INCLUDED	0.00	0	0.000
RECREATION CENTER			0.00	0	0.000
DRYWALL WALLS		INCLUDED	0.00	0	0.000
DRYWALL CEILINGS		INCLUDED	0.00	0	0.000
EXPOSED STRUCTURE AT GYM AND UNDERSIDE OF TRACK		INCLUDED	0.00	0	0.000
EXPOSED STEEL STRUCTURE AT NATATORIUM EPOXY		INCLUDED	0.00	0	0.000
ACCENT PAINT AT NATATORIUM JOISTS	1	SUB	13,500.00	13,500	0.154
CMU WALLS AT NATATORIUM EPOXY W/ BLOCK FILLER		INCLUDED	0.00	0	0.000
INTERIOR CMU WALLS GRAFFITTI COATINGS		INCLUDED	0.00	0	0.000
WALLCOVERING AT RECEPTION DESK		INCLUDED	0.00	0	0.000
ALT.C.1a - DELETE OKO SKIN AT REC CENTER ELEVATOR, PAINT CMU	1	LSUM	2,185.00	2,185	0.025
C.15 - HIGH PERFORMANCE PAINT AT CEILINGS IN GUARD/AQUATICS ROOMS	1	LSUM	2,136.00	2,136	0.024
EXTERIOR		INCLUDED	0.00	0	0.000
DOORS & FRAMES		INCLUDED	0.00	0	0.000
INTERIOR STAINING		INCLUDED	0.00	0	0.000
WATER REPELLANTS / GRAFITTI COATING		INCLUDED	0.00	0	0.000
CUSTOM METAL LOUVERS		INCLUDED	0.00	0	0.000
STAIRS AND RAILINGS		INCLUDED	0.00	0	0.000
GUARDRAILS		INCLUDED	0.00	0	0.000
MINOR TOUCHUPS	1	LSUM	2,997.40	2,997	0.034
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
DRYWALL WALLS		INCLUDED	0.00	0	0.000
DRYWALL CEILINGS		INCLUDED	0.00	0	0.000
EXPOSED CEILINGS		INCLUDED	0.00	0	0.000
CMU WALLS W/BLACK STAIN IN THEATRE		INCLUDED	0.00	0	0.000
STAGE FLOOR		INCLUDED	0.00	0	0.000
EXTERIOR		INCLUDED	0.00	0	0.000
DOORS & FRAMES		INCLUDED	0.00	0	0.000
INTERIOR STAINING		INCLUDED	0.00	0	0.000
WATER REPELLANTS / GRAFITTI COATING		INCLUDED	0.00	0	0.000
STAIRS AND RAILINGS		INCLUDED	0.00	0	0.000
GUARDRAILS		INCLUDED	0.00	0	0.000
ALT. A.4 SENIOR PATIO - PAINT CUSTOM STEEL RAILING	1	LSUM	1,800.00	1,800	0.021
MINOR TOUCHUPS	1	LSUM	2,760.12	2,760	0.031
TOTAL PAINTING				441,257	5.035
FINISHES MISCELLANEOUS					
DAILY CLEAN-UP - FINISHES	14	WKS	3,062.98	42,882	0.489
WEATHER PROTECTION - FINISHES	3	MONTH	4,000.00	12,000	0.137
TEMPORARY HEAT EQUIPMENT RENTAL (NOV.-APRIL)	87,632	SQFT	0.24	21,032	0.240
TEMPORARY HEATER PROPANE (NOV. - APRIL / \$1.53 PER GAL)	87,632	SQFT	0.96	84,127	0.960
SEAL OPENINGS FOR HEATING	1	LSUM	840.00	840	0.010
DUMPSTERS	8	EACH	425.00	3,400	0.039
TOTAL FINISHES MISCELLANEOUS				164,281	1.875
Total Division 09 FINISHES				\$2,945,571	0
Division 10 SPECIALTIES					
TOILET PARTITIONS AND ACCESSORIES					
TOILET PARTITIONS AND ACCESSORIES	1	SUB	102,782.00	102,782	1.173
RECREATION CENTER			0.00	0	0.000
TOILET COMPARTMENTS			0.00	0	0.000
SOLID PHENOLIC DURALINE			0.00	0	0.000
URINAL SCREENS		INCLUDED	0.00	0	0.000
TOILET PARTITIONS		INCLUDED	0.00	0	0.000
TOILET ACCESSORIES			0.00	0	0.000
GRAB BARS		INCLUDED	0.00	0	0.000
TP HOLDER / DISPENSER		INCLUDED	0.00	0	0.000
SOAP DISPENSER		INCLUDED	0.00	0	0.000
HANDS FREE AIR DRYER		INCLUDED	0.00	0	0.000
PAPER TOWEL / WASTE RECEPTACLE		INCLUDED	0.00	0	0.000
NAPKIN DISPENSER		INCLUDED	0.00	0	0.000
NAPKIN DISPOSAL		INCLUDED	0.00	0	0.000
SHOWER SEAT, SOLID PHENOLIC, REVERSIBLE		INCLUDED	0.00	0	0.000
ROD, SHOWER CURTAIN, HOOKS		INCLUDED	0.00	0	0.000
BABY CHANGING STATIONS		INCLUDED	0.00	0	0.000
MIRRORS 18" WIDE X 36" TALL		IN DIV. 8	0.00	0	0.000
MIRRORS 36" WIDE X 48" TALL		IN DIV. 8	0.00	0	0.000
INSTALL OWNER FURNISHED ACCESSORIES	40	EACH	16.80	672	0.008

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
BLOCKING AND BACKING	74	EACH	16.44	1,217	0.014
LOCKERS	1	SUB	81,406.00	81,406	0.929
PHENOLIC DOUBLE OR MULTIPLE OPENINGS WITH CARD LOCK SYSTEM		INCLUDED	0.00	0	0.000
PHENOLIC SINGLE TIER WITH CARD LOCK SYSTEM		INCLUDED	0.00	0	0.000
FAMILY LOCKER AND SHOWER BENCHES		IN MILLWORK	0.00	0	0.000
MEN'S / WOMEN'S LOCKER AREA BENCHES		IN MILLWORK	0.00	0	0.000
UNLOAD/INVENTORY, COORDINATION AND LAYOUT	1	LSUM	1,673.70	1,674	0.019
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
TOILET COMPARTMENTS		INCL. ABOVE	0.00	0	0.000
SOLID PHENOLIC DURALINE			0.00	0	0.000
URINAL SCREENS		INCLUDED	0.00	0	0.000
TOILET PARTITIONS		INCLUDED	0.00	0	0.000
TOILET ACCESSORIES		INCL. ABOVE	0.00	0	0.000
GRAB BARS		INCLUDED	0.00	0	0.000
TP HOLDER / DISPENSER		INCLUDED	0.00	0	0.000
SOAP DISPENSER		INCLUDED	0.00	0	0.000
HANDS FREE AIR DRYER		INCLUDED	0.00	0	0.000
PAPER TOWEL / WASTE RECEPTACLE		INCLUDED	0.00	0	0.000
NAPKIN DISPENSER		INCLUDED	0.00	0	0.000
NAPKIN DISPOSAL		INCLUDED	0.00	0	0.000
ROD, SHOWER CURTAIN, HOOKS		INCLUDED	0.00	0	0.000
BABY CHANGING STATIONS		INCLUDED	0.00	0	0.000
MIRRORS 18" WIDE X 36" TALL		IN DIV. 8	0.00	0	0.000
MIRRORS 36" WIDE X 48" TALL		IN DIV. 8	0.00	0	0.000
INSTALL OWNER FURNISHED ACCESSORIES	42	EACH	16.80	706	0.008
BLOCKING AND BACKING	82	EACH	16.44	1,348	0.015
TOTAL TOILET PARTITIONS AND ACCESSORIES				188,805	2.166
SIGNAGE					
INTERIOR AND BUILDING EXTERIOR SIGNAGE	1	SUB	55,323.00	55,323	0.631
MONUMENT AND MEMORIAL SIGNAGE	1	SUB	66,026.00	66,026	0.753
SITE			0.00	0	0.000
VETERANS MEMORIAL MONUMENT BLADE SIGN		INCLUDED	0.00	0	0.000
MEMORIAL PLAZA SERVICE BRANCH MONUMENTS		INCLUDED	0.00	0	0.000
PARKING SIGNS		IN SITE SCOPE	0.00	0	0.000
RECREATION CENTER			0.00	0	0.000
SIGNAGE / GRAPHICS		INCLUDED	0.00	0	0.000
ROOM IDENTIFICATION SIGNS		INCLUDED	0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
SIGNAGE / GRAPHICS		INCLUDED	0.00	0	0.000
ROOM IDENTIFICATION SIGNS		INCLUDED	0.00	0	0.000
TOTAL SIGNAGE				121,349	1.385
VISUAL DISPLAY SURFACES					
VISUAL DISPLAY SURFACES	1	SUB	5,000.00	5,000	0.057
FRAMELESS MARKERBOARDS		INCLUDED	0.00	0	0.000
TACK BOARDS		N/A	0.00	0	0.000
TOTAL VISUAL DISPLAY SURFACES				5,000	0.057
PROTECTIVE COVERS					
TOT LOT SHADE COVER	1	SUB	43,590.00	43,590	0.497
ENGINEERED FOUNDATION		INCLUDED	0.00	0	0.000
ERECTION		INCLUDED	0.00	0	0.000
TOTAL PROTECTIVE COVERS				43,590	0.497
ALUMINUM SHADE COVERS					
ALUMINUM SHADE COVERS	1	SUB	80,631.00	80,631	0.920
CANTILEVERED CANOPY AT SCENE SHOP		INCLUDED	0.00	0	0.000
INSTALLATION		INCLUDED	0.00	0	0.000
CANTILEVERED SUNSCREEN AT COMMUNITY PATIO		INCLUDED	0.00	0	0.000
INSTALLATION		INCLUDED	0.00	0	0.000
TOTAL ALUMINUM SHADE COVERS				80,631	0.920
LOUVERS					
RECREATION CENTER			0.00	0	0.000
FIXED METAL LOUVERS	1	LSUM	9,360.00	9,360	0.107
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
FIXED METAL LOUVERS	1	LSUM	7,680.00	7,680	0.088
TOTAL LOUVERS				17,040	0.194
FIRE EXTINGUISHERS AND CABINETS					
FIRE EXTINGUISHERS AND CABINETS	1	SUB	5,688.00	5,688	0.065
RECREATION CENTER			0.00	0	0.000
FIRE EXTINGUISHERS - 10 LB ABC		INCLUDED	0.00	0	0.000
FIRE EXTINGUISHER CABINETS		INCLUDED	0.00	0	0.000
BLOCKING AND BACKING	10	EACH	27.86	277	0.003
INSTALL FE AND CAB.	10	EACH	28.44	284	0.003
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
FIRE EXTINGUISHERS - 10 LB ABC		INCLUDED	0.00	0	0.000
FIRE EXTINGUISHER CABINETS		INCLUDED	0.00	0	0.000
BLOCKING AND BACKING	6	EACH	27.86	166	0.002
INSTALL FE AND CAB.	6	EACH	28.44	171	0.002
TOTAL FIRE EXTINGUISHERS AND CABINETS				6,586	0.075
OPERABLE PARTITION					
HORIZONTAL FOLDING OPERABLE PARTITIONS	1	SUB	86,594.00	86,594	0.988
RECREATION CENTER			0.00	0	0.000
MODERCO FOLDING PARTITION - SIGNATURE 842 PAIRED PANELS		INCLUDED	0.00	0	0.000
SOUND RATED TO: STC 55		INCLUDED	0.00	0	0.000
OVERHEAD SUPPORT	20	LNFT	25.00	500	0.006
DRILL BEAM	20	LNFT	10.90	218	0.002
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
MODERCO FOLDING PARTITION - SIGNATURE 842 PAIRED PANELS		INCL. ABOVE	58.40	0	0.000
SOUND RATED TO: STC 55		INCLUDED	0.00	0	0.000
OVERHEAD SUPPORT	88	LNFT	25.00	2,200	0.025
DRILL BEAM	88	LNFT	10.90	959	0.011
TOTAL OPERABLE PARTITION				90,471	1.032
WALL PROTECTION					

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
WALL PROTECTION	1	SUB	23,684.00	23,684	0.270
RECREATION CENTER			0.00	0	0.000
WALL SURFACE PROTECTION			0.00	0	0.000
FRP IN JANITOR CLOSET		INCLUDED	0.00	0	0.000
CORNER GUARDS - SS		INCLUDED	0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
WALL SURFACE PROTECTION			0.00	0	0.000
FRP IN JANITOR CLOSET, AND CATERING KITCHEN		INCLUDED	0.00	0	0.000
CORNER GUARDS - SS		INCLUDED	0.00	0	0.000
TOTAL WALL PROTECTION				23,684	0.270

Total Division 10 SPECIALTIES

\$578,156

Division 11 EQUIPMENT

LOADING DOCK LIFTS

LOADING DOCK LIFT	1	SUB	15,294.00	15,294	0.175
MANU: RITE-HITE, MODEL LRL		INCLUDED	0.00	0	0.000
HYDRAULIC LOADING DOCK SCISSOR LIFT, 2500 LB	1	EACH	0.00	0	0.000
REMOVEDLY LOCATED CONTROL STATION		INCLUDED	0.00	0	0.000
WARRANTY: 2 YEARS		INCLUDED	0.00	0	0.000
ELECTRICAL CONTROL WIRING INSTALLATION	1	SUB	0.00	0	0.000
INSTALLATION	1	SUB	0.00	0	0.000
TOTAL LOADING DOCK LIFTS				15,294	0.175

KITCHEN EQUIPMENT

PERFORMING ARTS THEATRE/SENIOR CENTER	1	LSUM	47,642.00	47,642	0.544
BAR/BOX OFFICE - 3 EA 48" SS UNDERCOUNTER COMM. REFRIGERATORS		INCLUDED	0.00	0	0.000
CATERING KITCHEN EQUIPMENT		BELOW	16.80	0	0.000
THREE COMPARTMENT STAINLESS STEEL SINK		IN PLUMBING	0.00	0	0.000
21" X 18" DRAINBOARD		IN PLUMBING	0.00	0	0.000
PRE-RINSE FAUCET ASSEMBLY, WITH ADD-ON FAUCET		IN PLUMBING	0.00	0	0.000
DRAIN, LEVER/TWIST WASTE SINK DRAIN		IN PLUMBING	0.00	0	0.000
MOBIL HEATED CABINET		INCLUDED	0.00	0	0.000
64" x 36" WORK TABLE WITH UNDER-CABINETS		INCLUDED	0.00	0	0.000
3 EA REACH-IN REFRIGERATOR		INCLUDED	0.00	0	0.000
SINGLE DOOR REACH-IN FREEZER		INCLUDED	0.00	0	0.000
COMMERCIAL DISHWASHER		INCLUDED	0.00	0	0.000
3 EA UNDER COUNTER REFRIGERATOR		INCLUDED	0.00	0	0.000
ICE MAKER W/BIN		INCLUDED	0.00	0	0.000
ICE BIN		INCLUDED	0.00	0	0.000
FREIGHT		INCLUDED	0.00	0	0.000
INSTALLATION		INCLUDED	0.00	0	0.000
UNLOAD/INVENTORY, COORDINATION AND LAYOUT	1	LSUM	3,471.60	3,472	0.040
TOTAL KITCHEN EQUIPMENT				51,114	0.583

POOL EQUIPMENT ROOM - HOISTING EQUIPMENT

TROLLEY HOIST - GRAINGER MODEL 0300/3KP82	1	EACH	4,500.00	4,500	0.051
INSTALLATION	1	LSUM	1,340.00	1,340	0.015
TOTAL POOL EQUIPMENT ROOM - HOISTING EQUIPMENT				5,840	0.067

RESIDENTIAL APPLIANCES

RESIDENTIAL APPLIANCES	1	SUB	16,733.00	16,733	0.191
RECREATION CENTER			0.00	0	0.000
PRE-SCHOOL - DISHWASHER, SIDE-BY-SIDE REFRIGERATOR		INCLUDED	0.00	0	0.000
POOLSIDE CLASSROOM - DISHWASHER, 2 EA UNDERCOUNTER REFRIGE		INCLUDED	0.00	0	0.000
GUARD OFFICE - REFRIGERATOR, C-TOP ICE MACHINE, MICROWAVE		INCLUDED	0.00	0	0.000
INSTALLATION		INCLUDED	0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
SENIOR LOUNGE - DISHWASHER, UNDERCOUNTER REFRIGERATOR		INCLUDED	0.00	0	0.000
GREEN ROOM - DISHWASHER, MICROWAVE, REFRIGERATOR		INCLUDED	0.00	0	0.000
ADMIN BREAK ROOM - DISHWASHER, MICROWAVE, REFRIGERATOR		INCLUDED	0.00	0	0.000
INSTALLATION		INCLUDED	0.00	0	0.000
TOTAL RESIDENTIAL APPLIANCES				16,733	0.191

THEATER EQUIPMENT

THEATRE EQUIPMENT AND LIGHTING	1	SUB	797,953.00	797,953	9.106
THEATRICAL DIMMING AND CONTROL SYSTEM			0.00	0	0.000
CIRCUIT DIMMER RACKS		INCLUDED	0.00	0	0.000
CIRCUIT RELAY PANEL		INCLUDED	0.00	0	0.000
NETWORKING CABLE (BELDEN 9729 AND 1583A)		INCLUDED	0.00	0	0.000
PROGRAMMING		INCLUDED	0.00	0	0.000
THEATRICAL COUNTERWEIGHT RIGGING SYSTEM			0.00	0	0.000
C.16 - DELETE 2 EA POWER ASSIST ELECTRICS LINE SETS	(1)	SUB	28,000.00	-28,000	-0.320
RIGGING TRUSSES		INCLUDED	0.00	0	0.000
HOIST EQUIPMENT		INCLUDED	0.00	0	0.000
ROPE, CABLE, HARDWARE		INCLUDED	0.00	0	0.000
SCENE SHOP			0.00	0	0.000
FIXED SCENE SHOP EQUIPMENT		BY OWNER	0.00	0	0.000
STAGE CURTAINS AND DRAPERIES			0.00	0	0.000
HARDWARE		INCLUDED	0.00	0	0.000
INSTALLATION		INCLUDED	0.00	0	0.000
THEATRICAL LIGHTING FIXTURES AND ACCESSORIES			0.00	0	0.000
PROFESSIONAL LEVEL THEATER LIGHTING		INCLUDED	0.00	0	0.000
AUDIO VISUAL SYSTEMS	1	SUB	338,832.00	338,832	3.867
VIDEO MONITORS		INCLUDED	0.00	0	0.000
SOUND AMPLIFICATION		INCLUDED	0.00	0	0.000
MIXING BOARD		INCLUDED	0.00	0	0.000
SPEAKERS		INCLUDED	0.00	0	0.000
VIDEO PROJECTION AND SCREEN SYSTEM		INCLUDED	0.00	0	0.000
REMOTE OPERATION		INCLUDED	0.00	0	0.000
DROP-DOWN SCREEN		INCLUDED	0.00	0	0.000
SCISSOR LIFT(S) AT FORESTAGE/PIT	1	SUB	102,000.00	102,000	1.164
FIXED AUDIENCE SEATING	1	SUB	71,031.00	71,031	0.811
FOLD-UP CUSHIONED SEATING		INCLUDED	0.00	0	0.000
PLASTIC BACKS, AND ARM REST		INCLUDED	0.00	0	0.000
ROW, AND SEAT NUMBER MEDALLIONS		INCLUDED	0.00	0	0.000

Description	Quantity	Unit \$	Total \$	\$ per SQFT
INSTALLATION	INCLUDED	0.00	0	0.000
UNLOAD/INVENTORY, COORDINATION AND LAYOUT	1 LSUM	7,368.50	7,369	0.084
TOTAL THEATER EQUIPMENT			1,289,185	14.711
GYM EQUIPMENT				
RECREATION CENTER	1 SUB	78,773.00	78,773	0.899
COURT BASKETBALL GOALS	INCLUDED	0.00	0	0.000
FORWARD FOLDING, ELECTRIC HOIST	INCLUDED	0.00	0	0.000
ELECTRIC HEIGHT ADJUSTER	INCLUDED	0.00	0	0.000
72" x 42" GLASS BACKBOARD	INCLUDED	0.00	0	0.000
SIDE FOLDING, ELECTRIC HOIST	INCLUDED	0.00	0	0.000
HEIGHT ADJUSTER	INCLUDED	0.00	0	0.000
WALL SAFETY PADS 24" x 72"	INCLUDED	0.00	0	0.000
(4) AT EACH BACKSTOP	INCLUDED	0.00	0	0.000
MAT HOIST SYSTEM	SEE ALT. A.3	0.00	0	0.000
DOUBLE MAT CAPABLE	SEE ALT. A.3	0.00	0	0.000
VOLLEYBALL EQUIPMENT	INCLUDED	0.00	0	0.000
SUSPENDED VOLLEYBALL NET AND STANCHIONS	INCLUDED	0.00	0	0.000
OVERHEAD SUPPORT	INCLUDED	0.00	0	0.000
PORTABLE FOLD-UP REFEREE STAND	INCLUDED	0.00	0	0.000
NET POST PADDING	INCLUDED	0.00	0	0.000
DIVIDER CURTAIN	INCLUDED	0.00	0	0.000
VERTICAL LIFT, ELECTRIC HOIST	INCLUDED	0.00	0	0.000
MESH/SEE THRU UPPER SECTION	INCLUDED	0.00	0	0.000
SCOREBOARDS (BASED ON DAKTRONICS 6B-2101-RA-PV)	INCLUDED	0.00	0	0.000
MODEL 5010 WIRELESS CONTROLLERS	INCLUDED	0.00	0	0.000
BASKETBALL, VOLLEYBALL, AND WRESTLING FEATURES	INCLUDED	0.00	0	0.000
TIP 'N ROLL BLEACHERS	OWNER FF&E	0.00	0	0.000
3 ROWS X 15' - SEATING CAPACITY 30 PPL EACH	OWNER FF&E	0.00	0	0.000
UNLOAD/ INVENTORY, COORDINATION AND LAYOUT	1 LSUM	1,673.70	1,674	0.019
TOTAL GYM EQUIPMENT			80,447	0.918
Total Division 11 EQUIPMENT			\$1,458,613	0
Division 12 FURNISHINGS				
WINDOW TREATMENTS				
WINDOW TREATMENTS	1 SUB	31,710.00	31,710	0.362
RECREATION CENTER		0.00	0	0.000
WT1 MANUAL SINGLE ROLLER SHADES	INCLUDED	0.00	0	0.000
WT2 ROLLER SHADES W/FASCIA	INCLUDED	0.00	0	0.000
ELECTRIC ROLLER SHADES	INCLUDED	0.00	0	0.000
WT3 DUAL MANUAL ROLLER SHADES W/FASCIA	INCLUDED	0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER		0.00	0	0.000
WT1 MANUAL SINGLE ROLLER SHADES	INCLUDED	0.00	0	0.000
WT2 ROLLER SHADES W/FASCIA	INCLUDED	0.00	0	0.000
ELECTRIC ROLLER SHADES	INCLUDED	0.00	0	0.000
WT3 DUAL MANUAL ROLLER SHADES W/FASCIA	INCLUDED	6.84	0	0.000
TOTAL WINDOW TREATMENTS			31,710	0.362
FLOOR MATS				
RECREATION CENTER		0.00	0	0.000
CARPET TILE ENTRY MAT	IN DIV. 9	0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER		0.00	0	0.000
CARPET TILE ENTRY MAT	IN DIV. 9	0.00	0	0.000
TOTAL FLOOR MATS			0	0.000
Total Division 12 FURNISHINGS			\$31,710	0
Division 13 SPECIAL CONSTRUCTION				
SWIMMING POOLS & AMMENTIES				
RECREATION CENTER	1 SUB	2,322,000.00	2,322,000	26.497
STRUCTURAL SLAB ON VOID REBAR SIZE REDUCTION	(1) SUB	51,400.00	-51,400	-0.587
LAP POOL CONSTRUCTION	BELOW	0.00	0	0.000
CONCRETE GUTTER SYSTEM WITH FLOOR INLETS	INCLUDED	0.00	0	0.000
CONCRETE SURGE TANK FOR LAP POOL	IN FOUNDATION	0.00	0	0.000
RACE LANE AND TARGET TILE	INCLUDED	0.00	0	0.000
WALL MOUNTED ELECTRONIC SCOREBOARD PER A9.4/NATATORIUM	INCLUDED	0.00	0	0.000
LEISURE POOL CONSTRUCTION	INCLUDED	0.00	0	0.000
CONCRETE SURGE TANK FOR LEISURE POOL	INCLUDED	0.00	0	0.000
SKIMMER SYSTEM WITH FLOOR INLETS	INCLUDED	0.00	0	0.000
SLIDE RUNOUT CONCRETE TANK	INCLUDED	0.00	0	0.000
INDOOR/OUTDOOR SLIDE WITH CIP STAIRS	INCLUDED	0.00	0	0.000
LEISURE POOL ACTIVITY FEATURES	INCLUDED	0.00	0	0.000
ITEMS FOR BOTH POOLS	BELOW	0.00	0	0.000
INSTALL POOLS ON CAISSONS INCLUDING VOID UNDER POOL SLAB	INCLUDED	0.00	0	0.000
REINFORCED SHOTCRETE AT VERTICAL WALLS OF POOL	INCLUDED	0.00	0	0.000
FORM AND POUR WALLS/FLOOR OF POOLS	INCLUDED	0.00	0	0.000
PROVIDE FREE DRAINING GRAVEL UNDER POOL FLOOR	INCLUDED	0.00	0	0.000
SCHEDULE 80 PVC UNDERGROUND PIPING IN MECHANICAL ROOM	INCLUDED	0.00	0	0.000
REGENERATIVE MEDIA FILTRATION SYSTEM	INCLUDED	0.00	0	0.000
POOL RECIRCULATION PUMPS AND SLIDE PUMP	INCLUDED	0.00	0	0.000
AUTOMATIC CHEMICAL FEED CONTROLLERS (REMOTE CAPABLE)	INCLUDED	0.00	0	0.000
LIQUID CHLORINE DISENFECTION SYSTEM W/BULK STORAGE TANK	INCLUDED	0.00	0	0.000
ACID FEED SYSTEM	INCLUDED	0.00	0	0.000
ULTRA VIOLET DISENFECTION SYSTEM	INCLUDED	0.00	0	0.000
GAS FIRED POOL HEATERS	INCLUDED	0.00	0	0.000
ADA POOL ACCESS LIFTS	INCLUDED	0.00	0	0.000
POOL SPECIFIC RAILS AND ANCHORS IN POOL DECK	INCLUDED	0.00	0	0.000
HOUSEKEEPING PADS FOR POOL EQUIPMENT	INCLUDED	0.00	0	0.000
DIAMOND BRITE QUARTZ AGGREGATE POOL FINISH	INCLUDED	0.00	0	0.000
CORE DRILLING AND SLEEVES FOR PIPING INSTALLATION	INCLUDED	0.00	0	0.000
START-UP SYSTEM	INCLUDED	0.00	0	0.000
WATER QUALITY BALANCE	INCLUDED	0.00	0	0.000
OWNER TRAINING AND OPERATION INSTRUCTIONS	INCLUDED	0.00	0	0.000
LAYOUT	1 LSUM	2,382.96	2,383	0.027

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
BIM COORDINATION	1	LSUM	10,600.80	10,601	0.121
TOTAL SWIMMING POOLS & AMMENITIES				2,283,584	26.059
Total Division 13 SPECIAL CONSTRUCTION				\$2,283,584	0

Division 14 CONVEYING SYSTEMS

ELEVATOR					
RECREATION CENTER	1	SUB	175,969.00	175,969	2.008
C.10 - OTIS ELEVATOR ILO THYSSENKRUPP	(1)	LSUM	21,369.00	-21,369	-0.244
HYDRAULIC PASSENGER ELEVATOR - 4,500 LB CAPACITY		INCLUDED	0.00	0	0.000
STANDARD PHENOLIC WALL PANELS		INCLUDED	0.00	0	0.000
4'-6" W x 7'-0" H LEFT HAND OPENING DOOR - FRONT/REAR LOADING		INCLUDED	0.00	0	0.000
STAINLESS STEEL HANDRAIL		INCLUDED	0.00	0	0.000
ELEVATOR COORDINATION	1	LSUM	2,721.60	2,722	0.031
TEMP. ELEVATOR USE, AND CAB PROTECTION	1	LSUM	2,132.96	2,133	0.024
RESILIENT TILE FLOORING	75	SQFT	8.00	600	0.007
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
HYDRAULIC PASSENGER ELEVATOR - 4,500 LB CAPACITY		INCLUDED	0.00	0	0.000
STANDARD PHENOLIC WALL PANELS		INCLUDED	0.00	0	0.000
4'-6" W x 7'-0" H LEFT HAND OPENING DOOR		INCLUDED	0.00	0	0.000
STAINLESS STEEL HANDRAIL		INCLUDED	0.00	0	0.000
ELEVATOR COORDINATION	1	LSUM	2,721.60	2,722	0.031
TEMP. ELEVATOR USE, AND CAB PROTECTION	1	LSUM	2,132.96	2,133	0.024
RESILIENT TILE FLOORING	75	SQFT	8.00	600	0.007
TOTAL ELEVATOR				165,510	1.889
Total Division 14 CONVEYING SYSTEMS				\$165,510	0

Division 21 FIRE SUPPRESSION

FIRE SPRINKLER SYSTEM					
FIRE SPRINKLER SYSTEM	1	SUB	267,700.00	267,700	3.055
RECREATION CENTER			0.00	0	0.000
FIRE SPRINKLER SYSTEM		INCLUDED	0.00	0	0.000
DRY / PREACTION SYSTEM		N/A	0.00	0	0.000
BOOSTER PUMP		N/A	0.00	0	0.000
BIM COORDINATION	1	LSUM	6,360.48	6,360	0.073
CAD FEES		INCLUDED	0.00	0	0.000
DESIGN AND CALCULATIONS		INCLUDED	0.00	0	0.000
FIRE LINE INTO BUILDING	1	LSUM	2,500.00	2,500	0.029
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
FIRE SPRINKLER SYSTEM		INCLUDED	0.00	0	0.000
PRE-ACTION SYSTEM AT CONTROL ROOM		N/A	0.00	0	0.000
BOOSTER PUMP		N/A	0.00	0	0.000
CAD FEES		INCLUDED	0.00	0	0.000
DESIGN AND CALCULATIONS		INCLUDED	0.00	0	0.000
TOTAL FIRE SPRINKLER SYSTEM				276,560	3.156
Total Division 21 FIRE SUPPRESSION				\$276,560	0

Division 22 PLUMBING

PLUMBING SYSTEM					
PLUMBING SYSTEM	1	SUB	1,279,309.00	1,279,309	14.599
RECREATION CENTER			0.00	0	0.000
BUILDING UNDERDRAIN SYSTEM		IN BID PACK 1	0.00	0	0.000
DOMESTIC WATER SYSTEM PIPING & EQUIPMENT		INCLUDED	0.00	0	0.000
DOMESTIC WATER HEATERS, PUMPS & SPECIALTIES		INCLUDED	0.00	0	0.000
C.5 - ALTERNATE MANUFACTURER FOR HOT WATER HEATERS	(1)	SUB	7,800.00	-7,800	-0.089
PLUMBING FIXTURES & INSTALLATION		INCLUDED	0.00	0	0.000
SANITARY WASTE & VENT PIPING		INCLUDED	0.00	0	0.000
FLOOR DRAINS		INCLUDED	0.00	0	0.000
TRENCH / BACKFILL / COMPACT		INCLUDED	0.00	0	0.000
STORM PIPING		INCLUDED	0.00	0	0.000
ROOF DRAINS		INCLUDED	0.00	0	0.000
C.4 -PVC ROOF DRAINS ILO CAST IRON	(1)	SUB	24,900.00	-24,900	-0.284
TRENCH / BACKFILL / COMPACT		INCLUDED	0.00	0	0.000
PLUMBING SUBCONTRACTOR OFFICE AND FIELD SUPERVISION		INCLUDED	0.00	0	0.000
DOMESTIC HOT & COLD PIPING INSULATION		INCLUDED	0.00	0	0.000
STORM PIPING INSULATION		INCLUDED	0.00	0	0.000
SUREVOID UNDERGROUND PLUMBING S YSTEM	1	LSUM	5,885.00	5,885	0.067
DUMPSTERS	2	EACH	425.00	850	0.010
BIM COORDINATION	80	MHRS	106.01	8,481	0.097
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
DOMESTIC WATER SYSTEM PIPING & EQUIPMENT		INCLUDED	0.00	0	0.000
DOMESTIC WATER HEATERS, PUMPS & SPECIALTIES		INCLUDED	0.00	0	0.000
PLUMBING FIXTURES & INSTALLATION		INCLUDED	0.00	0	0.000
SANITARY WASTE & VENT PIPING		INCLUDED	0.00	0	0.000
FLOOR DRAINS		INCLUDED	0.00	0	0.000
TRENCH / BACKFILL / COMPACT		INCLUDED	0.00	0	0.000
STORM PIPING		INCLUDED	0.00	0	0.000
ROOF DRAINS		INCLUDED	0.00	0	0.000
TRENCH / BACKFILL / COMPACT		INCLUDED	0.00	0	0.000
COMPRESSED AIR SYSTEM - PIPING AND COMPRESSOR		INCLUDED	0.00	0	0.000
1500 GALLON GREASE TRAP		INCLUDED	0.00	0	0.000
PLUMBING SUBCONTRACTOR OFFICE AND FIELD SUPERVISION		INCLUDED	0.00	0	0.000
DOMESTIC HOT & COLD PIPING INSULATION		INCLUDED	0.00	0	0.000
STORM PIPING INSULATION		INCLUDED	0.00	0	0.000
DUMPSTERS	2	EACH	425.00	850	0.010
BIM COORDINATION	80	MHRS	106.01	8,481	0.097
TOTAL PLUMBING SYSTEM				1,271,156	14.506
Total Division 22 PLUMBING				\$1,271,156	0

Division 23 HVAC

Description	Quantity	Unit \$	Total \$	\$ per SQFT
HVAC SYSTEM				
HVAC SYSTEM	1 SUB	3,620,091.00	3,620,091	41.310
RECREATION CENTER				
HOT WATER BOILERS, PUMPS, VFD'S, SPECIALTIES	INCLUDED	0.00	0	0.000
HOT WATER PIPING SYSTEM	INCLUDED	0.00	0	0.000
HOT WATER COIL CONNECTIONS AND ASSEMBLIES	INCLUDED	0.00	0	0.000
A/C SPLIT SYSTEM FOR IT ROOM	INCLUDED	0.00	0	0.000
NATATORIUM, RTU, AND DE-HUMIDIFICATION SYSTEM	INCLUDED	0.00	0	0.000
SHEET METAL DUCTWORK	INCLUDED	0.00	0	0.000
VAV BOXES AND HOT WATER COILS	INCLUDED	0.00	0	0.000
DUCT ACCESSORIES AND FIRE DAMPERS	INCLUDED	0.00	0	0.000
REMOVE DUCT LINER IN GYM EXCEPT FOR FIRST 20'	(1) SUB	16,100.00	-16,100	-0.184
AIR DISTRIBUTION SA, RA, EA	INCLUDED	0.00	0	0.000
EXHAUST FANS AND LARGE CEILING FANS	INCLUDED	0.00	0	0.000
PIPING & DUCT INSULATION	INCLUDED	0.00	0	0.000
TEST & BALANCE, START UP, PROGRAMMING	INCLUDED	0.00	0	0.000
REMOVE 4 EA LEAK DETECTORS AT BELOW GRADE POOL AREA	(1) SUB	2,500.00	-2,500	-0.029
BAS TEMPERATURE CONTROLS	INCLUDED	0.00	0	0.000
HVAC SUBCONTRACTORS OFFICE AND FIELD SUPERVISION	INCLUDED	0.00	0	0.000
RADON MITIGATION SYSTEM	1 LSUM	30,000.00	30,000	0.342
TEMP. VENTILATION AND FILTER CHANGE DURING CONSTRUCTION	1 LSUM	2,669.75	2,670	0.030
DUMPSTERS	2 EACH	425.00	850	0.010
BIM COORDINATION	80 MHRS	106.01	8,481	0.097
PERFORMING ARTS THEATRE/SENIOR CENTER				
C.3 - REMOVE VIBRATION ISOLATION RAILS AT RTU 4-7	(1) SUB	22,500.00	-22,500	-0.257
C.3 - REMOVE DUCT SPRING ISOLATORS	(1) SUB	21,760.00	-21,760	-0.248
HOT WATER PIPING SYSTEM	INCLUDED	0.00	0	0.000
HOT WATER COIL CONNECTIONS AND ASSEMBLIES	INCLUDED	0.00	0	0.000
THEATRE SOUND ATTENUATION AND VIBRATION	INCLUDED	0.00	0	0.000
A/C SPLIT SYSTEM FOR IT ROOM	INCLUDED	0.00	0	0.000
THEATRE, MULTIPURPOSE, SENIOR CENTER PACKAGED UNITS	INCLUDED	0.00	0	0.000
SHEET METAL DUCTWORK	INCLUDED	0.00	0	0.000
VAV BOXES AND HOT WATER COILS	INCLUDED	0.00	0	0.000
DUCT ACCESSORIES AND FIRE DAMPERS	INCLUDED	0.00	0	0.000
AIR DISTRIBUTION SA, RA, EA	INCLUDED	0.00	0	0.000
EXHAUST FANS AND LARGE CEILING FANS	INCLUDED	0.00	0	0.000
PIPING & DUCT INSULATION	INCLUDED	0.00	0	0.000
TEST & BALANCE, START UP, PROGRAMMING	INCLUDED	0.00	0	0.000
BAS TEMPERATURE CONTROLS	INCLUDED	0.00	0	0.000
HVAC SUBCONTRACTORS OFFICE AND FIELD SUPERVISION	INCLUDED	0.00	0	0.000
RADON MITIGATION SYSTEM	INCLUDED	0.00	0	0.000
TEMP. VENTILATION AND FILTER CHANGE DURING CONSTRUCTION	1 LSUM	1,669.75	1,670	0.019
DUMPSTERS	2 EACH	425.00	850	0.010
BIM COORDINATION	60 MHRS	106.01	6,361	0.073
TOTAL HVAC SYSTEM			3,608,113	41.173
Total Division 23 HVAC			\$3,608,113	

Division 26 ELECTRICAL				
ELECTRICAL				
ELECTRICAL SYSTEM	1 SUB	2,740,938.00	2,740,938	31.278
SITE				
POWER TO EXISTING REC CENTER PARKING LOT AFTER DEMO	1 ALLOWANCE	20,000.00	20,000	0.228
RECREATION CENTER				
LIGHT FIXTURES	INCLUDED	0.00	0	0.000
BUILDING MOUNTED EXTERIOR LIGHTING	INCLUDED	0.00	0	0.000
LIGHTING CONTROLS	INCLUDED	0.00	0	0.000
LOW VOLTAGE GEAR	INCLUDED	0.00	0	0.000
FEEDERS	INCLUDED	0.00	0	0.000
POWER	INCLUDED	0.00	0	0.000
TELE/DATA ROUGH-IN	INCLUDED	0.00	0	0.000
AV AND PA SYSTEM ROUGH-IN	INCLUDED	0.00	0	0.000
FIRE ALARM	INCLUDED	0.00	0	0.000
FIRE ALARM DESIGN & ENGINEERING	INCLUDED	0.00	0	0.000
SOUND AND PAGING ROUGH-IN	INCLUDED	0.00	0	0.000
INTERCOM ROUGH-IN	INCLUDED	0.00	0	0.000
SECURITY AND ACCESS CONTROL ROUGH-IN	INCLUDED	0.00	0	0.000
LIGHTNING PROTECTION	INCLUDED	0.00	0	0.000
GROUNDING	INCLUDED	0.00	0	0.000
MECHANICAL EQUIPMENT CONNECTIONS	INCLUDED	0.00	0	0.000
KITCHEN EQUIPMENT CONNECTIONS	INCLUDED	0.00	0	0.000
POOL EQUIPMENT CONNECTIONS	INCLUDED	0.00	0	0.000
SAFE-OFF EXISTING REC CENTER PRIOR TO DEMOLITION	INCLUDED	0.00	0	0.000
TEMPORARY POWER	INCLUDED	0.00	0	0.000
TEMPORARY LIGHTING	INCLUDED	0.00	0	0.000
DUMPSTERS	4 EACH	425.00	1,700	0.019
BIM COORDINATION	60 MHRS	106.01	6,361	0.073
PERFORMING ARTS THEATRE/SENIOR CENTER				
LIGHT FIXTURES	INCLUDED ABOVE	0.00	0	0.000
LIGHTING CONTROLS	INCLUDED	0.00	0	0.000
LOW VOLTAGE GEAR	INCLUDED	0.00	0	0.000
FEEDERS	INCLUDED	0.00	0	0.000
POWER	INCLUDED	0.00	0	0.000
TELE/DATA ROUGH-IN	INCLUDED	0.00	0	0.000
AV AND PA SYSTEM ROUGH-IN	INCLUDED	0.00	0	0.000
FIRE ALARM	INCLUDED	0.00	0	0.000
FIRE ALARM DESIGN & ENGINEERING	INCLUDED	0.00	0	0.000
SPEAKERS AND SOUND AMPLIFICATION	INCLUDED	0.00	0	0.000
INTERCOM ROUGH-IN	INCLUDED	0.00	0	0.000
SECURITY AND ACCESS CONTROL ROUGH-IN	INCLUDED	0.00	0	0.000
LIGHTNING PROTECTION	INCLUDED	0.00	0	0.000

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
GROUNDING	INCLUDED		0.00	0	0.000
MECHANICAL EQUIPMENT CONNECTIONS	INCLUDED		0.00	0	0.000
TEMPORARY POWER	INCLUDED		0.00	0	0.000
TEMPORARY LIGHTING	INCLUDED		0.00	0	0.000
DUMPSTERS	3 EACH		425.00	1,275	0.015
BIM COORDINATION	40 MHRS		106.01	4,240	0.048
TOTAL ELECTRICAL				2,774,514	31.661
Total Division 26 ELECTRICAL				\$2,774,514	

Division 27 COMMUNICATIONS

COMMUNICATIONS

RECREATION CENTER	1 SUB		77,841.00	77,841	0.888
CABLE MANAGEMENT SYSTEMS	INCLUDED		0.00	0	0.000
STRUCTURED CABLING	INCLUDED		0.00	0	0.000
CABINETS / RACKS / ENCLOSURES	INCLUDED		0.00	0	0.000
DIGITAL PAGING SYSTEM	1 SUB		141,577.00	141,577	1.616
ALT. E.3 - ANALOG PAGING SYSTEM	(1) SUB		88,445.00	-88,445	-0.781
AUDIO / VIDEO SYSTEMS	1 SUB		333,217.00	333,217	3.802
1 YEAR SYSTEM SUPPORT AGREEMENT	1 SUB		12,517.00	12,517	0.143
PUBLIC SAFETY DAS SYSTEM	SEE ALT. E.2		0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER	INCL. ABOVE		0.00	0	0.000
CABLE MANAGEMENT SYSTEMS	INCL. ABOVE		0.00	0	0.000
STRUCTURED CABLING	INCL. ABOVE		0.00	0	0.000
CABINETS / RACKS / ENCLOSURES	INCL. ABOVE		0.00	0	0.000
PAGING SYSTEM	INCL. ABOVE		0.00	0	0.000
AUDIO / VIDEO SYSTEMS	INCL. ABOVE		0.00	0	0.000
INDUCTION HEARING LOOP SYSTEM	INCL. ABOVE		0.00	0	0.000
INSTALLED IN SENIOR CENTER, THEATRE, MULTI PURPOSE AREAS	INCLUDED		0.00	0	0.000
PUBLIC SAFETY DAS SYSTEM	SEE ALT. E.2		0.00	0	0.000
TOTAL COMMUNICATIONS				496,707	5.668
Total Division 27 COMMUNICATIONS				\$496,707	

Division 28 ELECTRONIC SAFETY & SECURITY

SECURITY SYSTEMS

RECREATION CENTER			0.00	0	0.000
ACCESS CONTROL SYSTEM	BY OWNER		0.00	0	0.000
VIDEO SURVEILLANCE	BY OWNER		0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
ACCESS CONTROL SYSTEM	BY OWNER		0.00	0	0.000
VIDEO SURVEILLANCE	BY OWNER		0.00	0	0.000
TOTAL SECURITY SYSTEMS				0	0.000

FIRE DETECTION AND ALARM SYSTEM

RECREATION CENTER			0.00	0	0.000
FIRE ALARM	IN ELECTRICAL		0.00	0	0.000
DESIGN AND ENGINEERING	IN ELECTRICAL		0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER			0.00	0	0.000
FIRE ALARM	IN ELECTRICAL		0.00	0	0.000
DESIGN AND ENGINEERING	IN ELECTRICAL		0.00	0	0.000
TOTAL FIRE DETECTION AND ALARM SYSTEM				0	0.000

Total Division 28 ELECTRONIC SAFETY AND SECURITY \$0

Division 31 EARTHWORK

DRILLED CAISSONS

RECREATION CENTER		IN BID PACK 1	0.00	0	0.000
PERFORMING ARTS THEATRE/SENIOR CENTER		IN BID PACK 1	0.00	0	0.000
ALT. A.4 SENIOR PATIO - 3 EA 18" DRILLED CAISSONS	1 LSUM		2,590.00	2,590	0.030
TOTAL DRILLED CAISSONS				2,590	0.030

EROSION CONTROL

SITE		IN BID PACK 1	0.00	0	0.000
TOTAL EROSION CONTROL				0	0.000

EARTHWORK

SITE		IN BID PACK 1	0.00	0	0.000
IMPORT AND BACKFILL VOID FROM DEMOLITION OF EXSITING REC CENTER	4,070 CUYD		25.00	101,750	1.161
PLACE 6" GRAVEL FOR FUTURE DEVELOPMENT	1,584 TONS		28.75	45,540	0.520
TOTAL EARTHWORK				147,290	1.681

Total Division 31 EARTHWORK \$149,880

Division 32 EXTERIOR IMPROVEMENTS

ASPHALT PAVING

SITE		IN BID PACK 1	0.00	0	0.000
MEMORIAL PARKWAY PAVING		IN BID PACK 1	0.00	0	0.000
TOTAL ASPHALT PAVING				0	0.000

UNIT PAVING

INTERLOCKING CONCRETE UNIT PAVERS	1 SUB		39,984.00	39,984	0.456
MANU: PAVESTONE, HOLLAND STONE 200MM X 80 MM	INCLUDED		0.00	0	0.000
FESTIVAL LAWN PLAZAS	INCLUDED		0.00	0	0.000
VETERANS MEMORIAL PLAZA	INCLUDED		0.00	0	0.000
SALVAGED & NEW DEDICATION PAVERS -CREATIVE ASSUMES \$100% SALVAGED	INCLUDED		0.00	0	0.000
MANUALLY INSTALLED, HERRINGBONE W/ SOLDIER COURSE BORDER	INCLUDED		0.00	0	0.000
BEDDING & JOINT SAND	INCLUDED		0.00	0	0.000
STRUCTUREEDGE ALUM PAVER EDGE RESTRAINTS	INCLUDED		0.00	0	0.000
GEOTEXTILE FABRIC	INCLUDED		0.00	0	0.000
JOINT SAND STABILIZER, TECHNI-SEAL POLYMERIC SAND HP	INCLUDED		0.00	0	0.000
CONCRETE GRASSPAVE	1 SUB		2,672.00	2,672	0.030
6" CLASS 6 AGGREGATE ROAD BASE	INCLUDED		0.00	0	0.000
1" C-33 BEDDING SAND	INCLUDED		0.00	0	0.000
PAVER CELL FILL FOR GRASS - SAND/SOIL AND SOIL PREP	1 LSUM		800.00	800	0.009
CONCRETE EDGE	W/ DIV 3		0.00	0	0.000
MOCK-UP: 7' X 7' (MAY REMAIN AS FINISHED WORK)	INCLUDED		0.00	0	0.000
EXTRA PAVER MATERIALS	INCLUDED		0.00	0	0.000

Description	Quantity	Unit \$	Total \$	\$ per SQFT
CERTIFIED INSTALLER BY ICIPIC	INCLUDED	0.00	0	0.000
TOTAL UNIT PAVING			43,456	0.486
SITE CONCRETE				
SITE	IN BID PACK 1	0.00	0	0.000
TOTAL SITE CONCRETE			0	0.000
MONUMENT SIGN				
SITE		0.00	0	0.000
ALUMINUM SIGN FACE	IN DIV. 10 SIGNS	10,000.00	0	0.000
STAND-OFF PAN CHANNEL LETTERING - BACKLIT	INCLUDED	0.00	0	0.000
TOTAL MONUMENT SIGN			0	0.000
LANDSCAPING AND IRRIGATION				
LANDSCAPING & IRRIGATION PACKAGE	1 SUB	564,097.00	564,097	6.437
C.9 - REDUCE PLANTINGS AND SPECIES SELECTION TARGET	(1) LSUM	25,000.00	-25,000	-0.285
IRRIGATION CONTROLS	INCLUDED	0.00	0	0.000
SLEEPING FOR IRRIGATION AT HARDSCAPE AREAS	IN BID PACK 1	0.00	0	0.000
2" BACKFLOW ASSEMBLY	INCLUDED	0.00	0	0.000
IRRIGATED SOD AND SOIL PREP	INCLUDED	0.00	0	0.000
IRRIGATED SHRUB BED SOIL PREP	INCLUDED	0.00	0	0.000
NON-IRRIGATED SEED AND SOIL PREP (NO COMPOST)	INCLUDED	0.00	0	0.000
MULCH, WOOD, 3" DEPTH & WEED FABRIC	INCLUDED	0.00	0	0.000
LANDSCAPE EDGE, STEEL	INCLUDED	0.00	0	0.000
2" - 4" COBBLE ROCK MULCH & WEED FABRIC	INCLUDED	0.00	0	0.000
1" - 2" PEBBLE	INCLUDED	0.00	0	0.000
TREE, DECIDUOUS, 2" CAL.	INCLUDED	0.00	0	0.000
TREE, ORNAMENTAL, 1.5" CAL.	INCLUDED	0.00	0	0.000
TREE, EVERGREEN, 6" HT.	INCLUDED	0.00	0	0.000
SHRUB, DECIDUOUS, 5 GAL.	INCLUDED	0.00	0	0.000
SHRUB, EVERGREEN, 5 GAL.	INCLUDED	0.00	0	0.000
ORNAMENTAL GRASS, 1 GAL.	INCLUDED	0.00	0	0.000
PERENNIAL, 1 GAL.	INCLUDED	0.00	0	0.000
IRRIGATION, INCL. SOD, ROCK MULCH, AND WOOD MULCH AREAS	INCLUDED	0.00	0	0.000
PLANTER POT SOIL MIX	INCLUDED	0.00	0	0.000
LANDSCAPE RIVER BOULDERS	INCLUDED	0.00	0	0.000
GRANITE BOULDER RETAINING WALL	INCLUDED	0.00	0	0.000
TEMPORARY CRUSHER FINES	INCLUDED	0.00	0	0.000
2 YEAR LANDSCAPE WARRANTY	INCLUDED	0.00	0	0.000
DUMPSTERS	2 EACH	425.00	850	0.010
TOTAL LANDSCAPING AND IRRIGATION			539,947	6.162
FENCES AND GATES				
TOT LOT FENCING	1 SUB	37,797.00	37,797	0.431
ANTI-RAM CABLE BARRIER SYS W/ 72" FIVE RAIL FENCE	INCLUDED	0.00	0	0.000
MANU: AMERISTAR, DESIGNED BY STALWART II MAJESTIC	INCLUDED	0.00	0	0.000
4" WIDE SWING GATE	INCLUDED	0.00	0	0.000
GATE HARDWARE - ALARMED PANIC DEVICES	INCLUDED	0.00	0	0.000
SET POSTS IN CONCRETE	INCLUDED	0.00	0	0.000
MAGNETIC BACKBOARD PICKET FENCE	1 SUB	14,650.00	14,650	0.167
STEEL SUNFLOWER MAGNETIC BLACKBOARDS	INCLUDED	0.00	0	0.000
SUN DECK FENCING AT SLIDE	1 SUB	8,408.00	8,408	0.096
MANU: MONTAGE PLUS, MAJESTIC STYLE BY AMERISTAR / ASSA ABOLY	INCLUDED	0.00	0	0.000
DECORATIVE METAL FENCING	INCLUDED	0.00	0	0.000
4" WIDE SWING GATE	INCLUDED	0.00	0	0.000
GATE HARDWARE - CONFIRM W/ DOOR SCHEDULE	W/ DOOR HDWR	0.00	0	0.000
SET POSTS IN CONCRETE	INCLUDED	0.00	0	0.000
ALT. A.5 SUN DECK - FENCING WITH 8" WIDE DOUBLE SWING GATE	1 LSUM	7,883.00	7,883	0.090
LAYOUT, DUMPSTERS, CLEANUP, ETC	1 LSUM	1,605.40	1,605	0.018
TOTAL FENCES AND GATES			70,343	0.803
RETAINING WALLS				
SITE	N/A	0.00	0	0.000
TOTAL RETAINING WALLS			0	0.000
SITE AMENITIES				
C.9 REDUCE SITE FURNISHINGS THROUGH CHANGED MFG, AND QUANTITIES	(1) LSUM	75,000.00	-75,000	-0.856
BENCHES		0.00	0	0.000
LANDSCAPE FORMS NEOLIVIANO 69" BACKED BENCH	14 EACH	1,776.42	24,870	0.284
TRASH / RECYCLING RECEPTACLES		0.00	0	0.000
FORMS & SURFACES, 36 GALLON - MODEL SLAPX-136S (TRASH)	9 EACH	2,255.73	20,302	0.232
FORMS & SURFACES, 36 GALLON - MODEL SLAPX-136S (RECY)	9 EACH	2,255.73	20,302	0.232
POWDER COAT UPCHARGE	18 EACH	200.00	3,600	0.041
FREIGHT	1 LSUM	2,687.73	2,688	0.031
PICNIC TABLES		0.00	0	0.000
STANDARD PICNIC TABLE, 4-SEAT MODEL BH1840T	2 EACH	6,737.23	13,474	0.154
ACCESSIBLE PICNIC TABLE, 3-SEAT MODEL BH1830T	2 EACH	6,519.73	13,039	0.149
FREIGHT FROM FORMS + SURFACES	1 LSUM	0.00	0	0.000
KIDS HEIGHT PICNIC TABLE, DU MOR TABLE 198-80PL	2 EACH	3,428.73	6,857	0.078
BOLLARDS		0.00	0	0.000
HYDREL 3120C IMPACT RESISTANT 34" X 8" DIA - 2' SQ FOOTER	12 EACH	1,111.32	13,336	0.152
HYDREL 3120C IMPACT RESISTANT 34" X 8" DIA - STD FOOTER	30 EACH	1,111.32	33,340	0.380
HYDREL 3120C IMPACT RESISTANT 34" X 8" DIA W/ LIGHTING	IN ELECTRICAL	0.00	0	0.000
BIEK RACKS		0.00	0	0.000
STD NORTHGLENN BIKE RACK - OFCI	12 EACH	168.64	2,024	0.023
PLANER POTS	1 SUB	25,744.65	25,745	0.294
PRECAST CALIFORNIA PLANTER POTS - ROUND		0.00	0	0.000
MODEL QR-CAL3618P, 3' DIA X 18" H	INCLUDED	0.00	0	0.000
MODEL QR-CAL4818P, 4' DIA X 18" H	INCLUDED	0.00	0	0.000
MODEL QR-CAL6018P, 5' DIA X 18" H	INCLUDED	0.00	0	0.000
PRECAST CALIFORNIA PLANTER POTS - SQUARE		0.00	0	0.000
MODEL QS-CAL3622P, 3' SQ X 22" H	INCLUDED	0.00	0	0.000
MODEL QS-CAL4818P, 4' SQ X 18-1/2" H	INCLUDED	0.00	0	0.000
MODEL QS-CAL6036P, 5' SQ X 36" H	INCLUDED	0.00	0	0.000
TOT LOT PLANTER		0.00	0	0.000
TALL GALV SELF-WATERING PLANTER, 30" X 17" X 23"	3 EACH	179.00	537	0.006
PLANTER FENCING		0.00	0	0.000

Description	Quantity	Unit	Unit \$	Total \$	\$ per SQFT
PROTO PLANTERFENCE, IRON AGE DESIGNS	308	LNFT	95.75	29,491	0.337
LOUNGE FURNITURE			0.00	0	0.000
LOLL DESIGNS, 3 SLAT ADIRONDACK CHAIR AD-3SFC	12	EACH	481.98	5,784	0.066
VECTOR BENCH BY FORMS & SUFACES			0.00	0	0.000
ALUM FRAME W/ POWDERCOAT FINISH		INCLUDED	0.00	0	0.000
OBLIQUE CONFIG, SBVTR-196C-2E-2120AC-1E	2	EACH	3,502.73	7,005	0.080
ADD ON: 8' BENCH, SBVTR-96C-2E-4B	2	EACH	2,442.73	4,885	0.056
FREIGHT	1	LSUM	5,091.73	5,092	0.058
SKATEBOARD RACK			0.00	0	0.000
GROUND CONTROL SYS SKATEDOCK, 10X-SM10X	1	EACH	1,801.73	1,802	0.021
TREE GRATES	1	SUB	10,521.73	10,522	0.120
5' X 10' TREE GRATE, IRON AGE DESIGNS "RAIN"		INCLUDED	0.00	0	0.000
"E" EMBED FOR MOUNTAING		INCLUDED	0.00	0	0.000
TOT LOT PLAYGROUND PACKAGE	1	SUB	35,371.00	35,371	0.404
5' X 10' SANDBOX W/ COVER	1	SUB	688.00	688	0.008
MANU: SANDLOCKSANDBOXES		INCLUDED	0.00	0	0.000
PLAY SAND	1	LSUM	326.57	327	0.004
TRACTOR CLIMBING STRUCTURE		INCLUDED	0.00	0	0.000
MANU: LITTLE TIKES COMMERCIAL		INCLUDED	0.00	0	0.000
CUSTOM BARN PLAY STRUCTURE	1	SUB	16,961.00	16,961	0.194
MANU: SUPERIOR RECREATIONAL, R3FX-30125 MICROBARN		INCLUDED	0.00	0	0.000
INSTALLATION OF BARN STRUCTURE	1	SUB	5,599.73	5,600	0.064
COW GFRC PLAY STRUCTURE		INCLUDED	0.00	0	0.000
MANU: PLAYTIME		INCLUDED	0.00	0	0.000
POURED IN PLACE SAFETY SURFACING		INCLUDED	0.00	0	0.000
SHADE STRUCTURE		IN DIV. 10	0.00	0	0.000
LAYOUT, DUMPSTERS, CLEANUP, ETC	1	LSUM	850.00	850	0.010
SITE			0.00	0	0.000
MEMORIAL PARKWAY & FESTIVAL LAWN			0.00	0	0.000
REMOVE / REPLACE EXIST. MEMORIAL FLAGPOLE & STONE DEDICATION	1	LSUM	8,700.00	8,700	0.099
TOTAL SITE AMENITIES				238,172	2.718
Total Division 32 EXTERIOR IMPROVEMENTS				\$891,918	
Division 33 UTILITIES				0	
WATER SERVICES					
SITE		IN BID PACK 1	0.00	0	0.000
TOTAL WATER SERVICES				0	0.000
SANITARY SEWER SERVICES					
SITE		IN BID PACK 1	0.00	0	0.000
TOTAL SANITARY SEWER SERVICES				0	0.000
STORM SEWER SERVICES					
SITE		IN BID PACK 1	0.00	0	0.000
TOTAL STORM SEWER SERVICES				0	0.000
Total Division 33 UTILITIES				\$0	

ATTACHMENT A.2
DIRECT COST OF WORK COMPARISON

DATE: 2/6/2020



Description	DD SUMMARY	CD SUMMARY	\$ Difference	COMMENTS
Division 01 GENERAL REQUIREMENTS				
GENERAL CONDITIONS	\$ 2,289,099	\$ 2,289,099	\$0	
Division 02 EXISTING CONDITIONS				
SURVEYING	\$ -	\$ -	\$0	
INTERIOR DEMOLITION	\$ -	\$ -	\$0	
SITE DEMOLITION	\$ -	\$ -	\$0	
BUILDING DEMOLITION	\$ 284,764	\$ 194,063	(\$90,691)	Competitive bidding
Division 03 CONCRETE				
FOUNDATIONS	\$ -	\$ 4,000	\$4,000	In Bid Package 1
INTERIOR FLATWORK	\$ 1,087,211	\$ 1,057,097	(\$10,114)	
STRUCTURAL PRECAST	\$ -	\$ -	\$0	
ARCHITECTURAL PRECAST	\$ 2,448	\$ -	(\$2,448)	
CONCRETE MISCELLANEOUS	\$ -	\$ -	\$0	
Division 04 MASONRY				
UNIT MASONRY	\$ 2,910,953	\$ 2,714,823	(\$196,130)	Competitive bidding, added 1-month crane time
MASONRY MISCELLANEOUS	\$ 188,887	\$ 188,887	\$0	
Division 05 METALS				
STRUCTURAL STEEL	\$ 2,470,456	\$ 2,600,939	\$130,483	Added 100 ton of steel from DD's
STEEL JOIST	\$ 21,433	\$ 36,433	\$15,000	
METAL DECKING	\$ 81,152	\$ 81,152	\$0	
STEEL FABRICATIONS	\$ 93,535	\$ 67,383	(\$36,152)	
Division 06 WOOD & PLASTIC				
ARCHITECTURAL MILLWORK	\$ 402,270	\$ 653,125	\$250,855	Added solid sunace at all back of house areas, additional built-in shelving/storage,
ROUGH CARPENTRY AND FRAMING	\$ 559,850	\$ 581,123	\$21,243	
Division 07 THERMAL & MOISTURE PROTECTION				
DAMP PROOFING AND WATERPROOFING	\$ 83,835	\$ 47,744	(\$36,091)	
THERMAL AND SOUND INSULATION	\$ 75,192	\$ 153,863	\$78,671	Added crawl space vapor barrier and confined space req's
PEDESTAL PAVER SYSTEM	\$ -	\$ -	\$0	
FIRE STOPPING	\$ 73,901	\$ 62,764	(\$11,137)	
SPRAY APPLIED FIRE PROOFING	\$ 114,968	\$ 122,086	\$7,118	
EXPANSION CONTROL	\$ 24,813	\$ 24,813	\$0	
METAL ROOFING & WALL PANELS	\$ 422,958	\$ 602,842	\$179,884	Larger interior soffit at Fitness, wall panels at Pool Mech
COMPOSITE PANEL SIDING	\$ 891,303	\$ 974,189	\$82,886	Phenolic and GFRC more expensive than anticipated
MEMBRANE ROOFING	\$ 649,516	\$ 701,197	\$51,681	
FLASHING AND SHEET METAL	\$ 124,907	\$ 138,379	\$13,472	
ROOF ACCESSORIES	\$ 6,908	\$ 44,284	\$37,376	
JOINT SEALANTS	\$ 88,309	\$ 82,860	(\$5,449)	
Division 08 DOORS & WINDOWS				
HOLLOW METAL DOORS & FRAMES	\$ 288,558	\$ 349,563	\$50,905	Added electrified hardware at several doors
WOOD DOORS	\$ -	\$ 4,284	\$4,284	
ALUMINUM FRAMED OPENINGS	\$ -	\$ 3,688	\$3,688	
DOOR HARDWARE	\$ -	\$ -	\$0	
DOOR/FRAME/HARDWARE INSTALLATION	\$ 44,436	\$ 56,633	\$12,197	
ALUMINUM STOREFRONT, GLAZING AND WINDOWS	\$ 1,254,203	\$ 1,252,993	(\$1,210)	
ACCESS DOORS	\$ 6,251	\$ 13,513	\$7,262	
OVERHEAD DOORS	\$ 25,415	\$ 24,651	(\$764)	
SOLATUBES AND SKYLIGHTS	\$ 43,456	\$ 40,701	(\$2,755)	
Division 09 FINISHES				
DRYWALL	\$ 939,353	\$ 1,062,271	\$122,918	Soffits, turing not accounted for in DD's
ACRYLIC PLASTER CEILINGS	\$ 82,095	\$ 66,219	(\$15,876)	VE changed APC to High Performance Paint
ACOUSTICAL CEILINGS	\$ 364,954	\$ 283,426	(\$81,528)	
TILING	\$ 390,841	\$ 356,356	(\$34,585)	
CARPET	\$ 36,918	\$ 38,851	\$1,933	
HARDWOOD FLOORING	\$ 192,848	\$ 215,965	\$23,117	Moved Stage and Rehearsal Flooring from Div. 6
RESILIENT FLOORING	\$ 311,103	\$ 235,789	(\$74,314)	
POLISHED OR SEALED CONCRETE	\$ 80,395	\$ 80,158	(\$239)	
PAINTING	\$ 451,073	\$ 441,257	(\$9,816)	
FINISHES MISCELLANEOUS	\$ 122,745	\$ 164,281	\$41,536	Adjusted for entire building, DD was only Rec Center sf
Division 10 SPECIALTIES				

DIRECT COST OF WORK COMPARISON

DATE: 2/6/2020

Description	DD SUMMARY	CD SUMMARY	\$ Difference	COMMENTS
TOILEY PARTITIONS AND ACCESSORIES	\$ 212,918	\$ 189,805	(\$23,113)	
FIRE EXTINGUISHERS AND CABINETS	\$ 5,888	\$ 6,586	\$888	
LOUVERS	\$ 17,040	\$ 17,040	\$0	
OPERABLE PARTITION	\$ 72,827	\$ 90,471	\$17,844	
SIGNAGE	\$ 53,949	\$ 121,349	\$67,400	Assumed smaller interior signage package
VISUAL DISPLAY SURFACES	\$ 4,416	\$ 5,000	\$584	
PROTECTIVE COVERS	\$ -	\$ 43,590	\$43,590	Was trees at DD budget
ALUMINUM SHADE COVERS	\$ -	\$ 80,631	\$80,631	Added Avadeck Canopy at Scene Shop and Community
WALL PROTECTION	\$ 6,019	\$ 23,884	\$17,865	Patio
Division 11 EQUIPMENT				
KITCHEN EQUIPMENT	\$ 60,819	\$ 51,114	(\$9,705)	
POOL HOISTING EQUIPMENT	\$ 5,840	\$ 5,840	\$0	
THEATER EQUIPMENT	\$ 1,137,874	\$ 1,289,185	\$151,211	Finalized selections on Theatre equipment by DLA
GYM EQUIPMENT	\$ 94,279	\$ 80,447	(\$13,832)	
RESIDENTIAL APPLIANCES	\$ 29,470	\$ 18,733	(\$12,737)	
Division 12 FURNISHINGS				
WINDOW TREATMENTS	\$ 58,095	\$ 31,710	(\$26,385)	
FLOOR MATS	\$ -	\$ -	\$0	
Division 13 SPECIAL SYSTEMS				
SWIMMING POOLS & AMMENITIES	\$ 2,150,864	\$ 2,283,584	\$132,720	Structural changes significant, larger piping, kids slide \$\$\$
Division 14 CONVEYING SYSTEMS				
ELEVATOR	\$ 184,456	\$ 165,510	(\$18,946)	
Division 21 FIRE SUPPRESSION				
FIRE SPRINKLER SYSTEM	\$ 283,466	\$ 276,560	\$13,094	
Division 22 / 23 PLUMBING & HVAC				
PLUMBING AND HVAC	\$ 4,899,304	\$ 4,879,269	(\$20,035)	
Division 26 ELECTRICAL				
ELECTRICAL AND FIRE ALARM	\$ 2,785,634	\$ 2,774,514	(\$11,120)	
Division 27 COMMUNICATIONS				
STRUCTURED CABLING SYSTEMS	\$ 558,807	\$ 498,707	(\$62,900)	
Division 28 ELECTRONIC SAFETY & SECURITY				
SECURITY SYSTEMS AND ACCESS CONTROL	\$ -	\$ -	\$0	
Division 31 EARTHWORK				
CAISSONS AND MICROPILES	\$ -	\$ 2,590	\$2,590	
EROSION CONTROL	\$ -	\$ -	\$0	
EARTHWORK	\$ 147,290	\$ 147,290	\$0	
Division 32 EXTERIOR IMPROVEMENTS				
SITE CONCRETE	\$ -	\$ -	\$0	
ASPHALT PAVING	\$ -	\$ -	\$0	
UNIT PAVING	\$ 36,276	\$ 43,456	\$7,180	
LANDSCAPING AND IRRIGATION	\$ 380,627	\$ 539,947	\$159,320	Added 5% plantings, Granite boulder wall, spray heads
MONUMENT SIGN	\$ 10,000	\$ -	(\$10,000)	
FENCES AND GATES	\$ 35,829	\$ 70,343	\$34,514	
RETAINING WALLS	\$ -	\$ -	\$0	
SITE AMENITIES	\$ 175,731	\$ 238,172	\$62,441	Final site furnishings selection
Division 33 UTILITIES				
WATER SERVICES	\$ -	\$ -	\$0	All utilities in Bid Package 1
SANITARY SEWER SERVICES	\$ -	\$ -	\$0	
STORM SEWER SERVICES	\$ -	\$ -	\$0	
DIRECT COST OF WORK TOTAL:	\$ 30,911,560	\$ 32,025,629	\$1,114,069	

ATTACHMENT A.3

BUDGET TREND LOG



PROJECT: NORTHGLENN CIVIC CENTER - PHASE 1

POTENTIAL SCOPE CHANGES, TRACKING ITEMS AND VALUE ENGINEERING

DATE: February 6, 2020

BTL-01: Based on VE meeting with team 1/28/20 at site construction office

BUDGET GOAL	\$ 43,500,000
CURRENT ESTIMATE	\$ 44,691,069

ITEM#	DESCRIPTION	STATUS	BY	IN DESIGN?	APPROXIMATE AMOUNT	CLARIFICATIONS
REJECTED ITEMS						
A.1	PROVIDE PLATFORMS OF THE SAME DIMENSIONS AND SURFACE FINISH, BUT WITH MANUALLY ADJUSTABLE LEGS AND BRACING TO FIT THE DESIGNED FLOOR DEPRESSION.	R	A		(35,000)	
A.2	ADD PATIO OVER INDOOR PLAY, RE: SECOND FLOOR AREA A PLAN	R	A		11,520	Need answer for door in storefront early
E.1	UL LIGHTNING PROTECTION, RE: E0.00	R	A		42,288	Deemed unnecessary, grounding loop would need to go in early
E.2	EMERGENCY RESPONDER RADIO COVERAGE, RE: E0.00	R	A		43,999	Will test at the end of the project to determine need
T.1	UPGRADE TO POOL VIDEO SYSTEM, RE: T1.01, T3.02, & T3.13	R	A		5,000	If current rough in is good this can be added later
PL.1	SLIDE TIMING SYSTEM AND DISPLAY BOARD	R	A		18,400	If current rough in is good this can be added later
PL.2	SLIDE TOWER STAIR TO BE STEEL CONSTRUCTION ILO CONCRETE	R	A		(83,700)	
TS.1	ENHANCED BAR/BOX OFFICE LIGHTING	R	A		17,500	Different lighting control
C.1	DELETE INTERIOR OKO SKIN CEMENT BOARD SIDING	R	C		(49,290)	
C.2	ALTERNATE POOL AUDIO SYSTEM SPEAKERS AND MICROPHONES	R	C		(19,819)	Concerns about environment affects on equipment
C.7	ACOUSTIC CEILINGS ILO KNOTWOOD PANEL CEILINGS	R	C		(68,516)	
C.8	CMU VENEER I.L.O. OKO SKIN SIDING AT POOL MECHANICAL EXT	R	C		(171,414)	
C.11	DELETE EXISTING REC CENTER DEMO	R	C		(365,530)	
13	CHANGE TWO (2) REDUNDANT 2" BACKFLOW PREVENTERS TO A SINGLE 3" BFP	R	C		(800)	
19	FIXED FLOWN PROJECTION SCREEN - COULD BE PURCHASED AT A LATER DATE	R	C		(14,500)	
PENDING ITEMS						
A.3	ADD JUDO/WRESTLING MAT LIFT, RE: SECOND FLOOR AREA A RCP	P	A		53,673	Paid directly to Northglenn by Judo Club
PL.2a	FIBERGLASS STAIR TOWER	P	C		(40,000)	Not out of the question, still undecided
C.6	DELETE ACCENT PAINT AT JOISTS IN NATATORIUM AND GYM	P	C		(13,500)	
1	SLAB ON VOID FOR PART OF DECK	P	C			Working on adjusted savings
3	GYM ROOF FIRE PROOFING OF STEEL AND DECK	P	C		60,000	
6	FIRE TREATED WOOD IN DETAILS	P	C		0	
8	BACK OF HOUSE THEATRE HALL MILLWORK TO FFE	P	C		(8,400)	
11	REMOVE FLOOR DRAIN ON THE SLIDE TOWER	P	C		(900)	
12	REMOVE TESTING SINK IN POOL MECH	P	C		(1,400)	
15	POSSIBLE REDUCTION IN MILLWORK NUMBER BASED ON BIDDER CLARIFICATIONS	P	C		0	
17	THEATRE EQUIPMENT - POSSIBLE SAVINGS IN BREAKOUT REVIEW	P	C		0	
20	ALTERNATE MFG FOR PROJECTOR AND ENCLOSURE	P	C		0	
ITEMS INCLUDED IN CURRENT ESTIMATE						
A.4	UPGRADE SIZE OF SENIOR PATIO	A	A		42,711	In ADCO Grant, have to include
A.5	ADD SUNDECK AT LEISURE POOL	A	A		17,003	In ADCO Grant, have to include
E.3	ANALOG PAGING SYSTEM ILO DIGITALLY CONTROLLED SYSTEM	A	A		(68,445)	
C.1a	DELETE INTERIOR OKO SKIN AT REC CENTER ELEVATOR ONLY	A	C		(26,846)	Delete Oko Skin panels, and paint CMU with epoxy/block fill

C.3	REMOVE ADDED VIBRATION ISOLATION RTU 4-7	A	C		(44,260)	Delete vibration isolation rails at RTU's and vibration isolation hangars for duct in Theatre.	
C.4	PVC ROOF DRAINS ILO CAST IRON	A	C		(24,900)	This is for roof drains in Gymnasium and Natatorium only	
C.5	ALTERNATE MFG FOR GAS WATER HEATERS	A	C		(7,800)	ATEK to provide submittal for approval of alternate mfg.	
C.7a	ACOUSTIC CEILINGS ILO KNOTWOOD PANEL CEILINGS AT FITNESS AREA ONLY	A	C		(15,988)	Delete Knotwood at the West side of Fitness area only, replace with SAT-3	
C.8a	BERRIDGE METAL PANEL SIDING I.L.O. OKO SKIN SIDING AT POOL MECHANICAL EXTERIOR	A	C		(155,852)	Delete Oko Skin panels at three sides of Pool Mechanical exterior walls, replace with Berridge CeeLok Standing Seam wall panels	
C.9	LANDSCAPING AND SITE FURNISHINGS	A	C		(100,000)	MIG to reduce plantings by \$25K, and Site Furnishings by \$75K	
C.10	OTIS ELEVATOR ILO TK	A	C		(20,000)	Limited steel will need to be added at each landing at Elev. 1	
C.12	EXPOSED FASTENERS AT OKO SKIN	A	C		(150,000)	Delete concealed fastener system, use exposed fastener	
2	REBAR SIZING/SPACING AT LAP POOL - NO CHANGE IN SLAB DEPTH	A	C		(51,400)	JVA provided revised design with #5's and larger spacing	
4	EXTENDED JOISTS FROM FITNESS AREA THROUGH CMU WALL TO SUPPORT TRACK	A	C		15,000	Delete suspended steel track, and replace with cantilevered joists extended from Fitness Area. Structural design required	
5	THEATRE SEAT FABRIC	A	C		11,000	Theatre consultant changed seating fabric to vinyl perforated	
7	HPC ON GYP ILO APC IN GUARD OFFICE CEILINGS	A	C		(8,644)	Delete Acrylic Plaster in Guard/Aquatics Office, paint w/HPC	
9	REMOVE DUCT LINER IN THE GYM EXCEPT FOR THE FIRST 20'	A	C		(16,100)	Design team to provide drawing or sketch of approved duct liner areas to be removed. Assumed is first 20' only	
10	REMOVE 4 LEAK DETECTORS AROUND THE BELOW GRADE POOL AREA	A	C		(2,500)	In crawl space area	
14	ALLOWANCE RETURN FCI	A	C		(150,000)	This number is \$125K from the Rock Excavation Allowance. The remaining balance is now \$0. The other \$25K is from Under Slab Drainage Allowance, leaving \$14,625 for use.	
16	REDUCE FROM FIRE RATED ACCESS DOOR TO NON RATED	A	C		(6,310)	Only needed one Fire Rated Access door	
18	POWER ASSIST ELECTRICS LINE SETS (2 EA) - REPLACE WITH STANDARD LINE SETS	A	C		(28,000)	Delete two (2) of the four (4) total Power Assit Electrics Line Sets.	
TOTAL ACCEPTED ITEMS:					\$	(836,437)	LEGEND A = ACCEPTED O = OWNER P = PENDING A = ARCHITECT R = REJECTED M = MUNICIPALITY GC = GENERAL CONTRACTOR X = ITEM DEPENDENT ON OTHER ITEMS <i>OXIMATE VALUES ARE IN ITALICS</i>
ESTIMATE LESS ACCEPTED ITEMS:					\$	43,854,652	
ITEMS NEEDED TO REACH BUDGET (AFTER ACCEPTED ITEMS ONLY):					\$	354,652	
TOTAL PENDING ITEMS:					\$	52,293	
ESTIMATE LESS ACCEPTED & PENDING ITEMS:					\$	43,906,945	
SAVINGS NEEDED TO REACH BUDGET (AFTER ACCEPTED + PENDING):					\$	406,945	
TOTAL REJECTED ITEMS:					\$	(713,139)	

ATTACHMENT B
NORTHGLENN CIVIC CENTER MASTER PLAN - PHASE I IMPLEMENTATION

DETAILED GENERAL CONDITIONS

Issued Date: 12/20/2018
 Submitted Date: 2/10/2020 FGMP Building BID PACK #2

FIRM NAME: FCI CONSTRUCTORS INC.

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	COMMENTS / CLARIFICATIONS
29	GENERAL CONDITIONS:					
30	PROJECT SUPERVISION TOTAL (On-Site Personnel Only)				\$ 1,818,590.08	
31	Officers of the Company (included in fee)	---	---	---	Included in Fee	
32	Project Executive (included in fee)	---	---	---	Included in Fee	
33	Sr. Project Manager	3028	HR	\$ 103.83	\$ 314,341.60	
34	Project Manager				\$ -	
35	Assistant Project Manager	3114	HR	\$ 74.81	\$ 232,949.12	
36	Sr. Project Engineer				\$ -	
37	Project Engineer/Field Super	2941	HR	\$ 66.63	\$ 195,956.68	
38	Assistant Engineer				\$ -	
39	Senior/General Superintendent	3114	HR	\$ 96.35	\$ 300,027.88	
40	Project Superintendent	2768	HR	\$ 87.22	\$ 241,420.00	
41	Assistant Superintendent				\$ -	
42	Field Engineer	3114	HR	\$ 61.97	\$ 192,977.17	
43	MEP Coordinator	3114	HR	\$ 84.16	\$ 262,067.76	
44	Administrative Support	674	HR	\$ 45.90	\$ 30,930.33	
45	Project Specific Accounting	297	HR	\$ 74.81	\$ 22,217.69	
46	Scheduling		HR		\$ -	
47	Safety Director (not full time on site)	297	HR	\$ 86.54	\$ 25,701.83	
48	Safety Personnel		HR		\$ -	
49	Quality Control Personnel		HR		\$ -	
50	Project Estimator		HR		\$ -	
51	Carpenter Foreman		HR		\$ -	
52	Carpenter	---	---	---	---	Distribute in tasks below
53	Labor Foreman		HR		\$ -	
54	3D Modeling/BIM - (Previously approved Subcontract FCI Self Perform)	0	HR	\$ 69.23	\$ -	
55	[enter other staff positions]		HR		\$ -	
56	[enter other staff positions]		HR		\$ -	
57	PROJECT ON-SITE OFFICE TOTAL				\$ 66,247.00	
58	Office Facilities / Rent (Construction)	0	MOS	\$ 925.00	\$ -	
59	Office Facilities / Rent (Owner & A/E Staff)		MOS		\$ -	Included with Item 58
60	Street/Sidewalk Closure Permits for temporary office facilities		MOS		\$ -	Included with Direct Cost of Work
61	Office Equipment	17	MOS	\$ 250.00	\$ 4,250.00	
62	Office Furniture		LS		\$ -	Included with Item 58
63	Office Mobilization and Demobilization	0	EA	\$ 5,000.00	\$ -	Included in Site PGMP
64	Janitorial	17	MOS	\$ 450.00	\$ 7,650.00	
65	Radios, Communication and Cell Phones	18	MOS	\$ 560.00	\$ 10,080.00	
66	Company Vehicle	---	---	---	---	See Travel Expenses
67	Company Vehicle fuel	---	---	---	---	See Travel Expenses
68	Field Office Staff Parking		MOS		\$ -	Not applicable
69	Courier service	1	LS	\$ 750.00	\$ 750.00	
70	Phone/Internet (T1/DSL) service	10	MOS	\$ 80.00	\$ 800.00	Provided by Owner (site wifi only)
71	On-site Data Processing (Computers, software, IT)	17	MOS	\$ 1,715.00	\$ 29,155.00	
72	Project photos/Webcam, etc.	17	MOS	\$ 229.00	\$ 3,893.00	
73	Office Supplies	17	MOS	\$ 125.00	\$ 2,125.00	
74	Postage/Fed ex	1	LS	\$ 750.00	\$ 750.00	
75	Printing and reproduction	1	LS	\$ 4,094.00	\$ 4,094.00	
76	Drinking Water	18	MOS	\$ 150.00	\$ 2,700.00	
77					\$ -	
78					\$ -	

ATTACHMENT B
NORTHGLENN CIVIC CENTER MASTER PLAN - PHASE I IMPLEMENTATION

DETAILED GENERAL CONDITIONS

Issued Date: 12/20/2018

Submitted Date: 2/10/2020 FGMP Building BID PACK #2

FIRM NAME: FCI CONSTRUCTORS INC.

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL COST	COMMENTS / CLARIFICATIONS
79	TEMPORARY FACILITIES & EQUIPMENT TOTAL				\$ 119,675.00	
80	Electrical distribution		MOS		\$ -	Included with Direct Cost of Work
81	Electrical Utility Connection (Temp offices & jobsite)		EA		\$ -	Included with Direct Cost of Work
82	Electrical consumption costs (Temp offices)	0	MOS	\$ 350.00	\$ -	Owner will pay direct
83	Temporary/Jobsite Lighting		MOS		\$ -	Included with Direct Cost of Work
84	Electrical Generator (GC Compound)	0	MOS	\$ 1,400.00	\$ -	Not Required
85	Fuel for Generator (GC Compound)	0	MOS	\$ 450.00	\$ -	Not Required
86	Water - Construction and Hydrant Use	17	MOS	\$ 350.00	\$ 5,950.00	
87	Temporary Heating and Cooling		MOS		\$ -	Included with Direct Cost of Work
88	Gas/Propane consumption costs		MOS		\$ -	Included with Direct Cost of Work
89	Fire protection (temp. stand pipe, FDC, etc.)		LS		\$ -	Not applicable
90	Sanitation facilities	17	MOS	\$ 1,200.00	\$ 20,400.00	
91	Crane Rental		MOS		\$ -	Included with Direct Cost of Work
92	Crane set-up, tear-down, foundations, pads, rails, etc.		LS		\$ -	Included with Direct Cost of Work
93	Crane Operator		HRS		\$ -	Included with Direct Cost of Work
94	Man & Material Hoist - Equipment Rental		MOS		\$ -	Not applicable
95	Man & Material Hoist - Set-up & Tear-down		EA		\$ -	Not applicable
96	Man & Material Hoist - Operator		MOS		\$ -	Not applicable
97	Temporary use of elevator (protection, extended maint.)	4	MOS	\$ 750.00	\$ 3,000.00	
98	Temporary use of elevator - Operator		MOS		\$ -	Not applicable
99	Forklift (not associated with direct cost of work activities)	10	MOS	\$ 3,250.00	\$ 32,500.00	Includes equipment rental, delivery, and pick-up
100	Skidsteer (not associated with direct cost of work activities)	9	MOS	\$ 2,850.00	\$ 25,650.00	Includes equipment rental, delivery, and pick-up
101	Contractor misc. site equipment	18	MOS	\$ 750.00	\$ 13,500.00	Includes equipment rental, delivery, and pick-up
102	Equipment Operating Expenses	1	LS	\$ 11,200.00	\$ 7,200.00	Fuel, oil, service, maintenance, etc.
103	Temporary stairs, scaffold, landing platforms, ladders, etc.		MOS		\$ -	Included with Direct Cost of Work
104	Temporary Site Fencing (GC Compound)	0	MOS	\$ 109.00	\$ -	Installation, maintenance, rental, and removal
105	Access to the site (including maintenance)		LS		\$ -	Included with Direct Cost of Work
106	Staging and/or storage areas (on and off site)		LS		\$ -	Included with Direct Cost of Work
107	Storage Containers	17	MOS	\$ 450.00	\$ 7,650.00	
108	Construction Signage		LS		\$ -	Included with Direct Cost of Work
109	Rodent and Pest Control		LS		\$ -	Not applicable, Excluded
110	SWMP/Erosion Control/Dust Control/Street Cleaning (Maintenance Only)	17	MOS	\$ 225.00	\$ 3,825.00	Silt fence, tracking pads, BMPs, etc. (Install in D.C.O.W.)
111	Trade Parking, Temporary Parking Lot, Bus, etc.		MOS		\$ -	Not applicable
112					\$ -	
113					\$ -	
114	ENGINEERING TOTAL				\$ -	
115	Initial Building and Periodic Confirmation Layout		HRS		\$ -	Included with Direct Cost of Work
116	Horizontal and Vertical Building controls		HRS		\$ -	Included with Direct Cost of Work
117	Surveying (initial survey, benchmarks, etc.)		LS		\$ -	Included with Direct Cost of Work
118	Existing conditions survey, seismic sensors, etc.		LS		\$ -	Included with Direct Cost of Work
119	Contractor Required 3rd Party Reviews/Consultants		LS		\$ -	Included with Direct Cost of Work
120					\$ -	
121					\$ -	
122	SAFETY & SECURITY TOTAL				\$ 24,890.00	
123	Safety inspections (3rd party)		LS		\$ -	Not applicable
124	Jobsite safety (PPE, first aid, eye wash, etc.)	17	MOS	\$ 580.00	\$ 9,860.00	
125	Perimeter guardrails, safety nets, barricades, etc.		LS		\$ -	Included with Direct Cost of Work
126	Covered sidewalk enclosures		LS		\$ -	Not applicable
127	Fire safety (Fire extinguishers, etc.)	1	LS	\$ 750.00	\$ 750.00	
128	Fire watch		HR		\$ -	Included with Direct Cost of Work
129	Site Protection / Security	17	MOS	\$ 840.00	\$ 14,280.00	Access control, cameras, etc.
130	Security Guard		MOS		\$ -	Not applicable, Excluded
131	Badging, background checks, etc.		LS		\$ -	Not applicable, Excluded
132					\$ -	
133					\$ -	
134	SITE CONDITIONS TOTALS				\$ 101,794.04	
135	Project interim clean-up	1455	HR	\$ 34.46	\$ 50,134.64	Included 20 hrs / wk for 91 weeks
136	Project final clean-up	87632	SF	\$ 0.45	\$ 39,434.40	
137	Small Tools and Consumables	18	MOS	\$ 250.00	\$ 4,500.00	
138	Dumpsters	17	EA	\$ 425.00	\$ 7,225.00	For GC Compound Only
139	Trash Chute		MOS		\$ -	Not applicable
140	Weather protection/Temporary Enclosure		LS		\$ -	Included with Direct Cost of Work
141	Finishes Material/Product Protection		LS		\$ -	Included with Direct Cost of Work
142	Traffic Control, Traffic Signage, and Flagging		LS		\$ -	Included with Direct Cost of Work
143	Temporary dewatering system/equipment		LS		\$ -	Included with Direct Cost of Work
144					\$ -	
145					\$ -	
146	TRAVEL TOTALS (Provide Detailed Assumptions with Cost Breakdown and provide a detailed explanation of the cost in separate attachment).				\$ 134,276.00	
147	Travel Expenses (Including Airfare, Car Rentals, Staff Vehicles, Fuel, Parking, etc.)	18	MOS	\$ 7,457.00	\$ 134,276.00	
148	Housing (including temporary housing, relocation, hotel, etc.)		LS		\$ -	Not applicable
149	Subsistence/Per Diem (including meals)		MOS		\$ -	Not applicable
150					\$ -	
151					\$ -	
152	TOTAL GENERAL CONDITIONS (NOT TO EXCEED)				\$ 2,264,922.12	

NOTES:

- It is the Owner's intent that the General Contractor work under a complete "open book" approach.
- It is the Owner's intent that all General Conditions' costs will be identified and included in this Attachment.
- Do not modify the order of these items. If additional space is required to capture further detail, rows may be added at the bottom of the list under the appropriate headings within the spreadsheet. Please bold all added items.
- General Conditions will become a separate not-to-exceed guarantee within the total GMP.
- All pertinent travel and temporary lodging expenses for the project must be included within the General Conditions and this spreadsheet.
- Leave rows blank that do not apply.
- Return Attachment B in electronic format. Do not convert to PDF.
- General Conditions Costs contingent upon mutually agreed upon contract language

Please treat this proprietary information as confidential and privileged material which is intended for the sole viewing of the recipient. Any other distribution is strictly prohibited.

ATTACHMENT C
NORTHGLENN CIVIC CENTER MASTER PLAN - PHASE I IMPLEMENTATION

LABOR BURDEN RATES

Issued Date: 12/20/2018

Submitted Date: 2/10/2020 FGMP Building BID PACK #2

FIRM NAME: FCI CONSTRUCTORS INC.				2019			2020			2021		
ITEM NO.	SALARIED STAFF POSITION (PRECON)	BASE HOURLY LABOR RATE	BURDEN RATE %	BILLABLE HOURLY RATE	TIME AND HALF HOURLY RATE	DOUBLE TIME HOURLY RATE	BILLABLE HOURLY RATE	TIME AND HALF HOURLY RATE	DOUBLE TIME HOURLY RATE	BILLABLE HOURLY RATE	TIME AND HALF HOURLY RATE	DOUBLE TIME HOURLY RATE
1	Officers of the Company (included in fee)	---	---	---	---	---	---	---	---	---	---	---
2	Project Executive (included in fee)	---	---	---	---	---	---	---	---	---	---	---
3	Sr. Preconstruction Manager	\$ 61.07	68%	\$102.60	---	---	\$102.60	---	---	\$107.73	---	---
4	Preconstruction Manager	\$ 55.18	68%	\$92.70	---	---	\$92.70	---	---	\$97.34	---	---
5	Sr. Estimator	---	---	---	---	---	---	---	---	---	---	---
6	Estimator	\$ 41.98	68%	\$70.53	---	---	\$70.53	---	---	\$74.05	---	---
7	Sr. Project Manager	\$ 61.07	68%	\$102.60	---	---	\$102.60	---	---	\$107.73	---	---
8	Project Manager (Assistant PM)	---	---	---	---	---	---	---	---	---	---	---
9	Sr. Project Engineer	---	---	---	---	---	---	---	---	---	---	---
10	Project Engineer	---	---	---	---	---	---	---	---	---	---	---
11	Assistant Engineer	---	---	---	---	---	---	---	---	---	---	---
12	Senior / General Superintendent	\$ 56.67	68%	\$95.21	---	---	\$95.21	---	---	\$99.97	---	---
13	Project Superintendent	---	---	---	---	---	---	---	---	---	---	---
14	Assistant Superintendent	---	---	---	---	---	---	---	---	---	---	---
15	Field Engineer	---	---	---	---	---	---	---	---	---	---	---
16	M/E/P Coordinator / Estimator	\$ 61.07	68%	\$102.60	---	---	\$102.60	---	---	\$107.73	---	---
17	Administrative Support	---	---	---	---	---	---	---	---	---	---	---
18	Project Specific Accounting	---	---	---	---	---	---	---	---	---	---	---
19	Scheduling	---	---	---	---	---	---	---	---	---	---	---
20	3D Modeling/BIM	\$ 45.24	68%	\$76.00	---	---	\$76.00	---	---	\$79.80	---	---
21	Site Construction Precon Manager	\$ 59.52	68%	\$99.99	---	---	\$99.99	---	---	\$104.99	---	---
22	Enter other staff positions	---	---	---	---	---	---	---	---	---	---	---
ITEM NO.	SALARIED STAFF POSITION (ON-SITE)	BASE HOURLY LABOR RATE	BURDEN RATE %	BILLABLE HOURLY RATE	TIME AND HALF HOURLY RATE	DOUBLE TIME HOURLY RATE	BILLABLE HOURLY RATE	TIME AND HALF HOURLY RATE	DOUBLE TIME HOURLY RATE	BILLABLE HOURLY RATE	TIME AND HALF HOURLY RATE	DOUBLE TIME HOURLY RATE
23	Officers of the Company (included in fee)	---	---	---	---	---	---	---	---	---	---	---
24	Project Executive (included in fee)	---	---	---	---	---	---	---	---	---	---	---
25	Sr. Project Manager	\$ 61.07	68%	\$102.60	---	---	\$102.60	---	---	\$107.73	---	---
26	Project Manager	---	---	---	---	---	---	---	---	---	---	---
27	Assistant Project Manager	\$ 44.00	68%	\$73.92	---	---	\$73.92	---	---	\$77.62	---	---
28	Sr. Project Engineer	---	---	---	---	---	---	---	---	---	---	---
29	Project Engineer	\$ 39.19	68%	\$65.84	---	---	\$65.84	---	---	\$69.13	---	---
30	Assistant Engineer	---	---	---	---	---	---	---	---	---	---	---
31	Senior/General Superintendent	\$ 56.67	68%	\$95.21	---	---	\$95.21	---	---	\$99.97	---	---
32	Project Superintendent	\$ 51.30	68%	\$86.18	---	---	\$86.18	---	---	\$90.49	---	---
33	Assistant Superintendent	---	---	---	---	---	---	---	---	---	---	---
34	Field Engineer	\$ 36.45	68%	\$61.74	---	---	\$61.74	---	---	\$64.30	---	---
35	M/E/P Coordinator	\$ 49.50	68%	\$83.16	---	---	\$83.16	---	---	\$87.31	---	---
36	Administrative Support	\$ 27.00	68%	\$45.36	---	---	\$45.36	---	---	\$47.63	---	---
37	Project Specific Accounting	\$ 44.00	68%	\$73.92	---	---	\$73.92	---	---	\$77.62	---	---
38	Scheduling	---	---	---	---	---	---	---	---	---	---	---
39	Safety Director	\$ 50.80	68%	\$85.51	---	---	\$85.51	---	---	\$89.79	---	---
40	Safety Personnel	---	---	---	---	---	---	---	---	---	---	---
41	Quality Control Personnel	---	---	---	---	---	---	---	---	---	---	---
42	Project Estimator (on site)	---	---	---	---	---	---	---	---	---	---	---
43	3D Modeling/BIM	\$ 40.72	68%	\$68.41	---	---	\$68.41	---	---	\$71.83	---	---
44	Enter other staff positions	---	---	---	---	---	---	---	---	---	---	---
45	Enter other staff positions	---	---	---	---	---	---	---	---	---	---	---

ATTACHMENT C
 NORTHGLENN CIVIC CENTER MASTER PLAN - PHASE I IMPLEMENTATION

LABOR BURDEN RATES

Issued Date: 12/20/2018
 Submitted Date: 7/10/2020 FGMP Building BID PACK #2

CRAFT PERSONNEL POSITION	HOURLY LABOR RATE	BURDEN RATE %	2019			2020			2021		
			TOTAL HOURLY RATE W/BURDEN	TIME AND HALF HOURLY RATE	DOUBLE TIME HOURLY RATE	TOTAL HOURLY RATE W/BURDEN	TIME AND HALF HOURLY RATE	DOUBLE TIME HOURLY RATE	TOTAL HOURLY RATE W/BURDEN	TIME AND HALF HOURLY RATE	DOUBLE TIME HOURLY RATE
46 Carpenter Foreman	\$ 31.78	68%	\$53.39	\$80.09	\$106.78	\$53.39	\$80.09	\$106.78	\$56.06	\$84.09	\$112.12
47 Carpenter	\$ 29.82	68%	\$50.10	\$75.15	\$100.30	\$50.10	\$75.15	\$100.20	\$52.60	\$78.90	\$105.20
48 Labor Foreman	\$ 22.14	68%	\$37.30	\$55.79	\$74.39	\$37.20	\$55.79	\$74.39	\$39.05	\$58.38	\$78.11
49 Laborer	\$ 20.51	68%	\$34.46	\$51.69	\$68.91	\$34.46	\$51.69	\$68.91	\$36.18	\$54.27	\$72.36
50 Hoist / Elevator Operator											
51 Crane Operator											
52 [enter other positions]											
53 [enter other positions]											

- NOTES:
- 1 Provide the applicable rates and labor burden as a percentage for the staff positions listed above. Do not use a blended rate, use actual burden rates per title.
 - 2 The General Conditions estimate for Staff should take into consideration the duration of the Project. Therefore, the staff costs carried forward in Attachment B should represent a blended rate for the duration of the Project.
 - 3 Add any staff positions and applicable rates for individuals not included here that are proposed on the project.
 - 4 No fee markups (overhead or profit, bonuses, gifts, computers or vehicle allowances, etc.) are allowed within these rates.
 - 5 Rates above are subject to pre-audit.
 - 6 For Salaried Individuals, Premium Time is not allowed.
 - 7 Return Attachment C in electronic format. Do not convert to PDF.

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ATTACHMENT D
 RICHMOND CIVIC CENTER MASTER PLAN - PHASE I IMPROVEMENTS

ESTIMATED BIDDING

Issued Date: 11/19/20
 Estimated Date: 11/19/2020 RAMP Estimated Bid Factor: 1.100

Item	Quantity	Unit	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050			
70	Price of Site Occupancy (Included in Fee)	Fee At Fee	0																																		
71	General Contract Construction Fee	Fee At Fee	0																																		
72	Professional Fee	Professional Fee	0																																		
73	Construction Management Fee	Construction Management Fee	0																																		
74	Construction Management Fee	Construction Management Fee	0																																		
75	Construction Management Fee	Construction Management Fee	0																																		
76	Construction Management Fee	Construction Management Fee	0																																		
77	Construction Management Fee	Construction Management Fee	0																																		
78	Construction Management Fee	Construction Management Fee	0																																		
79	Construction Management Fee	Construction Management Fee	0																																		
80	Construction Management Fee	Construction Management Fee	0																																		
81	Construction Management Fee	Construction Management Fee	0																																		
82	Construction Management Fee	Construction Management Fee	0																																		
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92	Construction Management Fee	Construction Management Fee	0																																		
93	Construction Management Fee	Construction Management Fee	0																																		
94	Construction Management Fee	Construction Management Fee	0																																		
95	Construction Management Fee	Construction Management Fee	0																																		
96	Construction Management Fee	Construction Management Fee	0																																		
97	Construction Management Fee	Construction Management Fee	0																																		
98	Construction Management Fee	Construction Management Fee	0																																		
99	Construction Management Fee	Construction Management Fee	0																																		
100	Construction Management Fee	Construction Management Fee	0																																		

1. Include 10% inflation per 1% of equipment, material and labor per month of work on the project for each month of the project.
 2. Include the total hourly cost of the project for each month of work on the project.
 3. Add one hour for additional hours and bid. Use multiplier.
 4. Assume 10 working hours per month of work.

**ATTACHMENT E
NORTHGLENN CIVIC CENTER MASTER PLAN - PHASE I IMPLEMENTATION**

ALLOWANCE LIST, ALTERNATES & UNIT PRICES

Issued Date: 12/20/2018
Submitted Date: 2/10/2020 FGMP Building BID PACK #2

FIRM NAME: FCI CONSTRUCTORS INC.

ALLOWANCE LIST (INCLUDED IN THE COST SUMMARY)

ITEM NO.	DESCRIPTION	AMOUNT
1	Power to existing Rec Center parking lot after building demolition	\$ 20,000
2	Radon Mitigation System	\$ 30,000
3		
4		
5		
6		
7		
8		
9		
10		

**** All allowances include a turnkey scope (purchase and installed)**

ALTERNATES (NOT INCLUDED IN THE COST SUMMARY)

ITEM NO.	DESCRIPTION	AMOUNT
1	See attached Budget Trend Log	
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		

UNIT PRICE LIST - TBD

ITEM NO.	DESCRIPTION	AMOUNT
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

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ATTACHMENT F
NORTHGLENN CIVIC CENTER MASTER PLAN - PHASE I IMPLEMENTATION

RESPONSIBILITY & BUDGET MATRIX

Issued Date: 12/20/2018

Submitted Date: 2/10/2020 FGMP Building BID Pack #2

FIRM NAME: FCI CONSTRUCTORS INC.

ITEM NO.	DESCRIPTION	OWNER	GENERAL CONTRACTOR	ARCHITECT
1	PREDEVELOPMENT			
2	Phase I Environmental Report	X		
3	Phase II Environmental Report	X		
4	Material Management Plan (N/A)	X		
5	Environmental Abatement (N/A)	X		
6	Geotechnical Reports	X		
7	PLAN REVIEW / BUILDING PERMITS			
8	Submit for Permits	X		X
9	General Building Plan Review & Permit Fees	X		
10	Fire Department Plan Review & Permit Fees	X		
11	Sign Plan Review & Permit Fees	X		
12	Fence/Screen Wall Plan Review & Permit Fees	X		
13	Fire Protection Plan Review & Permit Fees		X	
14	Fire Alarm Plan Review & Permit Fees		X	
15	Plumbing Plan Review & Permit Fees		X	
16	Mechanical Plan Review & Permit Fees		X	
17	Electrical Plan Review & Permit Fees		X	
18	State and Federal Stormwater Permit Fees		X	
19	FAA Permits for Cranes		X	
20	Street and Sidewalk Occupancy Permit Fees		X	
21	All other permits not described above but required by AIA 201 or governing AHJ(s)		X	
22	Dewatering Permits (if Applicable)		X	
23	Subcontractor Permits (any/all)		X	
24	Health Department Permit Fees (if Applicable)		X	
25	UTILITIES			
26	Permanent Water Permit & Meter Fees	X		
27	Permanent Water Meter		X	
28	Permanent Sanitary Permit Fees	X		
29	Permanent Storm Water Permit Fee	X		
30	Electrical Service Agreements	X		
31	Electrical Service Coordination		X	
32	Gas Service Fee for New Meter	X		
33	Gas Service Coordination, Meter and Distribution		X	
34	Telephone/Fiber Service Agreements	X		
35	Telephone/Fiber Conduit from Pedestal to DMARK Room		X	
36	Telephone/Fiber Main Wire/Service from Pedestal to DMARK Room		X	
37	Telephone/Fiber Wire/Conduit distribution from DMARK Rooms throughout Building(s)		X	
38	Cable TV Service Agreement	X		
39	Cable TV Raceway from Pedestal to DMARK Closets		X	
40	Cable TV Main Wire/Service from Pedestal to DMARK Closets		X	
41	Cable TV Wire/Conduit distribution from Telephone Rooms throughout Bld.		X	
42	Satellite Service Agreement	X		
43	Satellite Raceway from Dish to Telephone Closets		X	
44	Satellite Main Wire/Service from Dish to Telephone Closets		X	
45	Satellite Wire/Conduit distribution from Telephone Rooms throughout Building		X	
46	Temporary Gas Hook-up and Monthly Usage Fees		X	
47	Temporary Electric Hook-up and Monthly Usage Fees	X	X	
48	Temporary Phone Hook-up and Monthly Usage Fees	X	X	
49	Temporary Water & Sewer Hook-up and Monthly Usage Fees	X	X	
50	All Temporary Heating & Cooling During Construction (including propane bottles, temporary heaters, etc...)		X	
51				
52	TAXES AND DEVELOPMENT FEES			
53	Property Taxes	X		
54	Use Tax (as applicable)	X		
55	All Local, State and Federal Taxes for construction (as applicable)		X	
56				
57	INSURANCE, BUILDERS RISK, BONDS			
58	Owner Controlled Insurance Policy			
59	Contractor Controlled Insurance Policy			
60	Offsite Commercial General Liability Insurance		X	
61	Builders Risk		X	
62	General Contractor Payment & Performance Bond		X	
63	Subcontractor Payment & Performance Bonds			

**ATTACHMENT F
NORTHGLENN CIVIC CENTER MASTER PLAN - PHASE I IMPLEMENTATION**

RESPONSIBILITY & BUDGET MATRIX

Issued Date: 12/20/2018

Submitted Date: 2/10/2020 FGMP Building BID Pack #2

FIRM NAME: FCI CONSTRUCTORS INC.

ITEM NO	DESCRIPTION	OWNER	GENERAL CONTRACTOR	ARCHITECT
64	TESTING AND INSPECTION / QUALITY CONTROL			
65	Coordinate and schedule all testing and inspections		X	
66	Soils Testing & Inspection (cost)	X		
67	Asphalt Testing & Inspection	X		
68	Concrete Testing & Inspection	X		
69	Masonry Testing & Inspection	X		
70	Reinforcing Steel Testing & Inspection	X		
71	Structural Steel Testing & Inspection	X		
72	Exterior Framing Weld/Fasteners Testing & Inspection	X		
73	Fire Resistive Paint Testing & Inspection	X		
74	Fire Rated Joint Testing & Inspection	X		
75	Fire Proofing Testing & Inspection	X		
76	3rd Party Independent Inspections	X		
77	Building Envelope (water intrusion) Testing & Inspection		X	
78	Re-testing & and Re-Inspection Due to Failed Work		X	
79				
80	PRECONSTRUCTION			
81	Schematic Design RFP Pricing (Initial GMP)		X	
82	Design Development Pricing Budget Update		X	
83	50% Construction Document Budget Update		X	
84	100% Construction Document Pricing (Partial/Final GMP)		X	
85	Regular Coordination Meetings	X	X	
86	Construction Feasibility Review / Studies		X	
87	Value Engineering / Alternates		X	
88	Construction Schedule		X	
89	Long Lead Items List		X	
90	Bid Document Reproductions (beyond Arch Provided)		X	
91				
92	CONSTRUCTION			
93	All work per the documents and reasonably inferable for complete project		X	
94	All worker onsite & offsite parking, transportation, and housing in performance with the construction			
95	Temporary protection		X	
96	Printing or Reproduction During Construction		X	
97	City Required Sustainability Requirement Coordination		X	
98	Construction Surveying		X	
99	As-Builts		X	
100	Warranty		X	
101	Special Extended Warranty (i.e. equipment, flooring, etc...)		X	
102	Operation and Maintenance Manuals		X	
103	Prepare Punchlist		X	X
104	Approve Punchlist	X		X
105				
106	FURNITURE, FIXTURES & EQUIPMENT			
107	Furniture (Architect Specify; Owner Supply)	X		
108	Site coordination with Owner Supplied Furnishings		X	
109	Coordinate Data Center Racks & Cabling		X	
110	Coordinate with Owner's Computer Equipment Installation by others		X	
111	Security - Conduit/Wire/Equipment	X	X	
112	Low Voltage- R/I, Conduits, Power, Sleeves, Backing, etc. Contractor to include all wire/cable pulling and terminations required for low-voltage systems.	X	X	
113	Coordinate with Owner's Audio Visual - Equipment		X	
114	Kitchen/Servery & Laundry Equipment (if Applicable)		X	
115	Pool/Jacuzzi/Applicable Systems		X	

NOTES:

1

The Responsibility and Budget Matrix is intended to aid in defining "Gray Areas" of scope between the Owner and General Contractor. This document is NOT inclusive of all of either parties responsibilities and needs to be used in conjunction with the other contract documents.

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ATTACHMENT G

CITY OF NORTHGLENN CIVIC CENTER PHASE 1 – BID PACKAGE 2

Construction Documents

CONSTRUCTION CLARIFICATIONS AND ASSUMPTIONS

Our CD Estimate dated 1/21/2020 is based on Construction Documents dated 12/12/19, Addendum 1 dated 12/20/2019, Responses to Questions dated 1/08/2020 provided by BRS Architecture, and Geotechnical Report dated 6/11/2019 from CTL Thompson, Inc., and the accepted changes noted in Budget Trend Log dated 2/05/2020.

This document is intended to complement the information provided in the detailed estimate.

Note: FCI's GMP includes the accepted items that are changes to the scope in the attached Budget Trend Log based on decisions made by the team (City of Northglenn, BRS, Project One, and FCI) on January 28th at the Owner/Architect/Contractor meeting. The current design documents do not reflect all these changes. FCI Constructors, Inc has provided pricing for the accepted changes based on the limited information available at the time. Any deviations from the Budget Trend Log list of accepted items in the construction documents will void the associated pricing. FCI Constructors reserves the right to acquire updated pricing on any changes made to the construction documents that do not meet the intended criteria of the accepted Budget Trend Log items.

We have carried 3% Contingency to be retained for construction.

Our proposal is based on vertical construction beginning in February 2020 and construction completion in September 2021. We have included an additional month of supervision for demolition of the existing Recreation Center.

Scope Inclusions and Clarifications

- Addendum 2 is not included in this estimate.
- CMU veneer is priced with the gradation shown on Sheet A302, this gradation is also included for structural CMU in the gymnasium on three walls only.
- Spray-Applied Fire Proofing is included for roofs in the Pool Equipment Room, Pre-School, and Fitness Area. 2nd floor fireproofing is included for the locker room area
- The aluminum storefront and curtainwall framing system by Tubelite is priced as clear anodized.
- A Trolley hoist in pool equipment room is included.
- We have included 4 smoke vents at Stage Fly Roof, smoke evacuation system is not included and assumed not required.
- The recommended low Steel Fabricator is AISC certified, their Steel Erector is not AISC certified. Add of \$150K if AISC certified erector if required.
- Utilization of newly installed HVAC systems for finishes during final construction is anticipated. FCI will submit work plans to the design/owner team for approval.

- We have included temporary power and lighting during construction.
- The cost for assisting during commissioning is included, however the cost for hiring a commissioning agent is not included.
- Coordination and arc flash studies are included.
- We have not included pricing for the fiber run from the existing City Hall to the new building. That is being priced as a change order.
- We are including \$30,000 for the mock-up of Fundermax and Oko Skin. This cost is related to overseas production and shipping.
- Door Hardware for all doors is unresolved and FCI is currently carrying a budget number that is not based on an approved specification. FCI is working with the design team to provide a written specification. The specification for door hardware will need to be approved by the design team and may result in a changed cost for this scope. This is NOT an allowance, follow up pricing for Addendum 2 is in progress.
- Our estimate includes assumed STC ratings at Doors, IAC doors/frames are not included.
- Should any accepted VE items effect the overall project schedule, General Conditions and the Construction Schedule will be adjusted once the impacts are known, and FCI has had the opportunity get feedback from our recommended subcontractors.
- We are assuming that FCI will be released to purchase mechanical equipment by February 16th. If that date is not realized, the material escalation is anticipated to be 5%.
- Perforated Fundermax wall panels at the mechanical well over Scene Shop are priced as 3/16" diameter openings at 1/2" spacing. 50% perforation openness is not achievable and is excluded.
- We have included the following Allowances:
 - Power to existing Rec Center parking lot after existing bldg. demo - \$20,000
 - Radon Ready System - \$30,000 (Excludes Pool and Pool Mechanical areas, and all other slab on Void locations)

General Conditions and Requirements Clarifications

- 00 3100 Available Project Information, 1.01: FCI additionally disclaims responsibility for the referenced soils report. The approach to interpreting this document and the Owner/Architect/Engineers translation of it into the contract documents will be covered in our detailed backup provided with our estimate. Scope, means & methods, materials, labor, equipment, additional GC's and subcontracts required above and beyond the proposed detailed estimate in the FGMP will be an additional cost requiring a change order from the owner for cost and schedule extension day for day from when the discovery is made to when the remedy has been 100% resolved/completed in the field.
- 00 3100 Available Project Information, 1.02: FCI additionally disclaims responsibility for the interpretation of this data by authorities having jurisdiction. The detailed estimate in the FGMP will cover the industry standard based on the provided assembly data. Scope, means & methods, materials, labor, equipment, additional GC's and subcontracts required above and beyond the proposed detailed estimate in the FGMP will be an additional cost requiring a change order from the owner for cost and schedule extensions.
- 01 1000 Summary, 1.04 A.1 Warranty: To the best of our abilities this will be required of all components of the project. However, should the specified product conflict with this requirement FCI reserves the right to investigate with the

subcontractor, supplier or product manufacture a solution which may involve additional financial compensation to any of the aforementioned parties and/or FCI Constructors, Inc. Once an agreeable solution is confirmed a change order will be executed for the agreed upon amount.

- 01 2000 Price and Payment Procedures, 1.04 G: Omit requirement for hard-copies, one electronic copy will be provided.
- 01 2000 Price and Payment Procedures, 1.04 H3: The requested is documented in FCI's subcontract pay application that our subcontractors sign. Conditional & Unconditional lien release will continue to be collected from the subcontractors as payments are processed. However, not all subs from every pay application will have executed these by the time of the next pay app.
- 01 4000 Quality Requirements:
 - 1.04C2: 03 3000 Cast-in- Place Concrete – Excluded
 - 1.04C3: 05 2100 Steel Joist Framing - Vulcraft standard only, No Specialty
 - 3.03: Tolerances exist in the industry and are varying from one division to another. If the design does not accommodate the industry standard tolerances, conflicts will exist. Resolution to those conflicts will likely require a contract change. FCI expects the contract to be fairly adjusted to resolve those conflicts.
- 01 4216 Specification Content Conventions, 1.03A: If the selected subcontractor or FCI Self Perform work included in the FGMP complies with a minimum overlapping requirement then it should be acceptable. If the more stringent requirement is required and not included in the FGMP then the owner can decide which requirement to use and pay for cost increase associated with those selections.
- 01 4533 Code-Required Special Inspections and Procedures, 3.05 A5a: Excluded. If an extreme case arises FCI will be willing to work with the owner and sub/supplier to remedy.
- 01 5000 Temporary Facilities and Controls, 1.03 1.04 and 1.12: Excluded, 1.05B: Weekly cleaning is included, not daily.
- 01 7000 Execution and Closeout, 1.06H: Excluded

Summary of Items Not Included in FCI's Proposal which are Anticipated to be By Others:

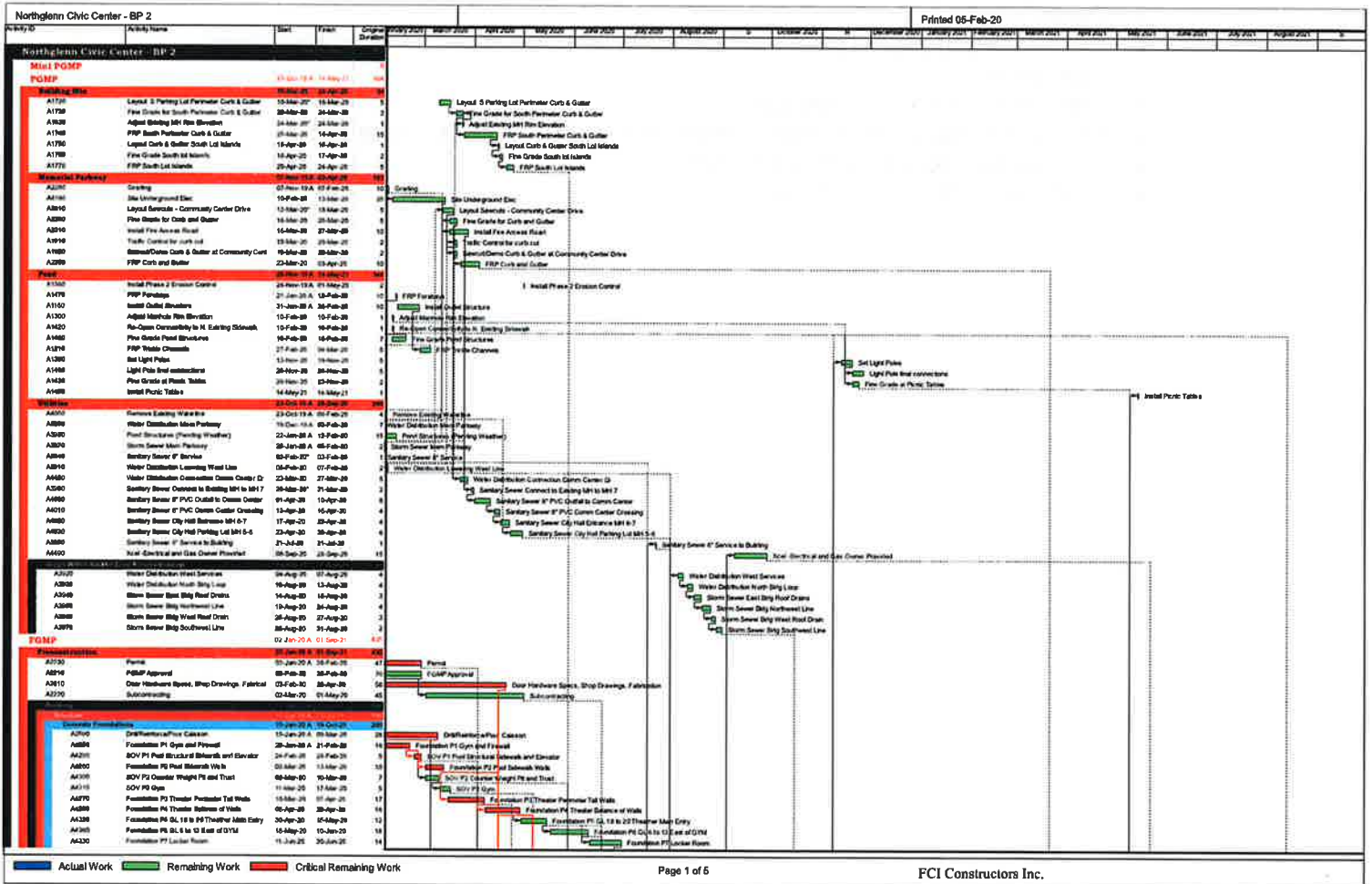
- Utility tap and development fees
- Primary electrical conduit/conductors and all primary transformer work
- Utility charges during construction
- Deductibles for Builder's Risk, if required
- Dry utilities service lines to on-site termination point (gas service, electrical service and phone/data service)
- Fees associated with LEED or any other building certification
- Materials testing & inspections
- Hazardous materials abatement
- Providing or installing Wireless Access Point (WAP) devices
- Security and access control system cabling and devices
- Third party commissioning agent and fees
- Water costs to fill the pools
- Scene shop equipment
- Mat Hoist Equipment

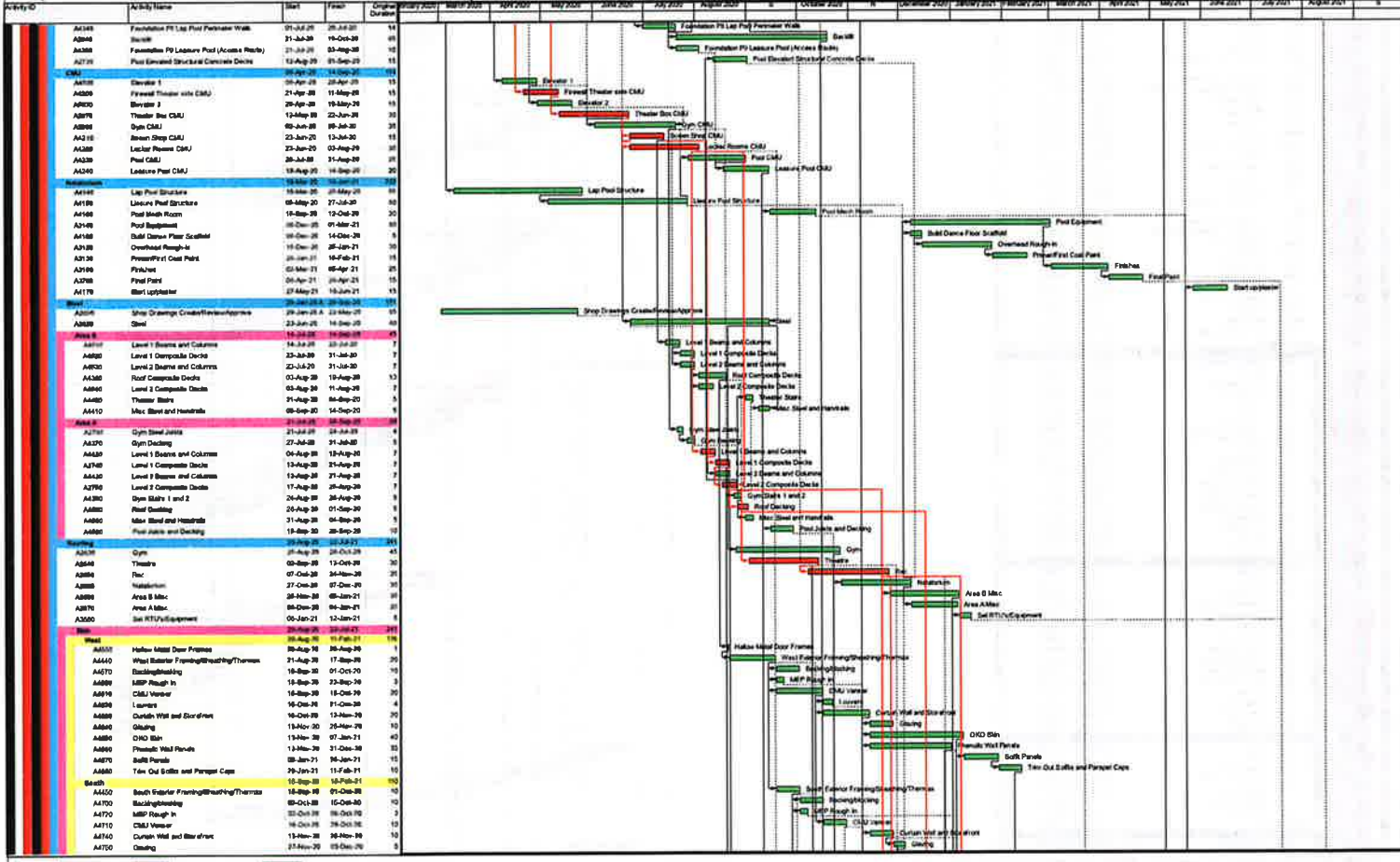
Summary of Items Specifically Excluded from FCI's Proposal:

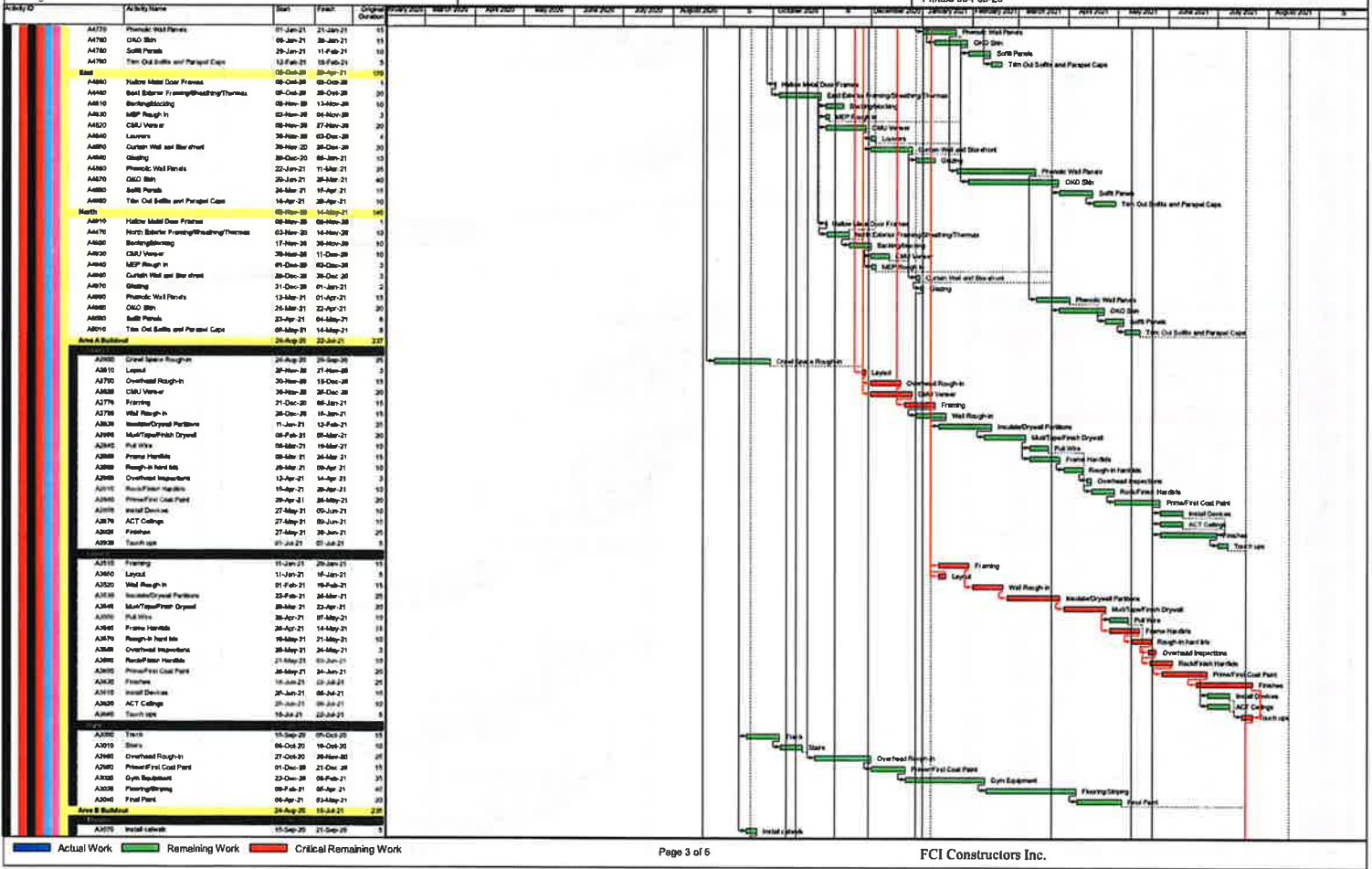
- Colorado State Tax (including RTD and SCFD taxes)

- City of Northglenn Use Tax
- Plan Review and Permit fees outside those identified
- Flood testing of roof
- Hazardous material abatement
- Water booster pumps for domestic and fire sprinkler systems
- Ansul fire suppression systems
- Water curtain/deluge system at Theatre stage
- Emergency power generator
- Smoke evacuation system for theatre
- Loose furnishings, FF&E
- Architectural Concrete
- Underground plumbing void systems
- Photovoltaics
- Duct cleaning (duct systems will be kept clean pre SMACNA duct cleanliness standards)
- Contaminated, unsuitable soils
- First Responder RES/DAS Radio Amplification (see add Alternate E.2)
- Cellular Amplification/Cellular Assist
- UL Lightning Protection System

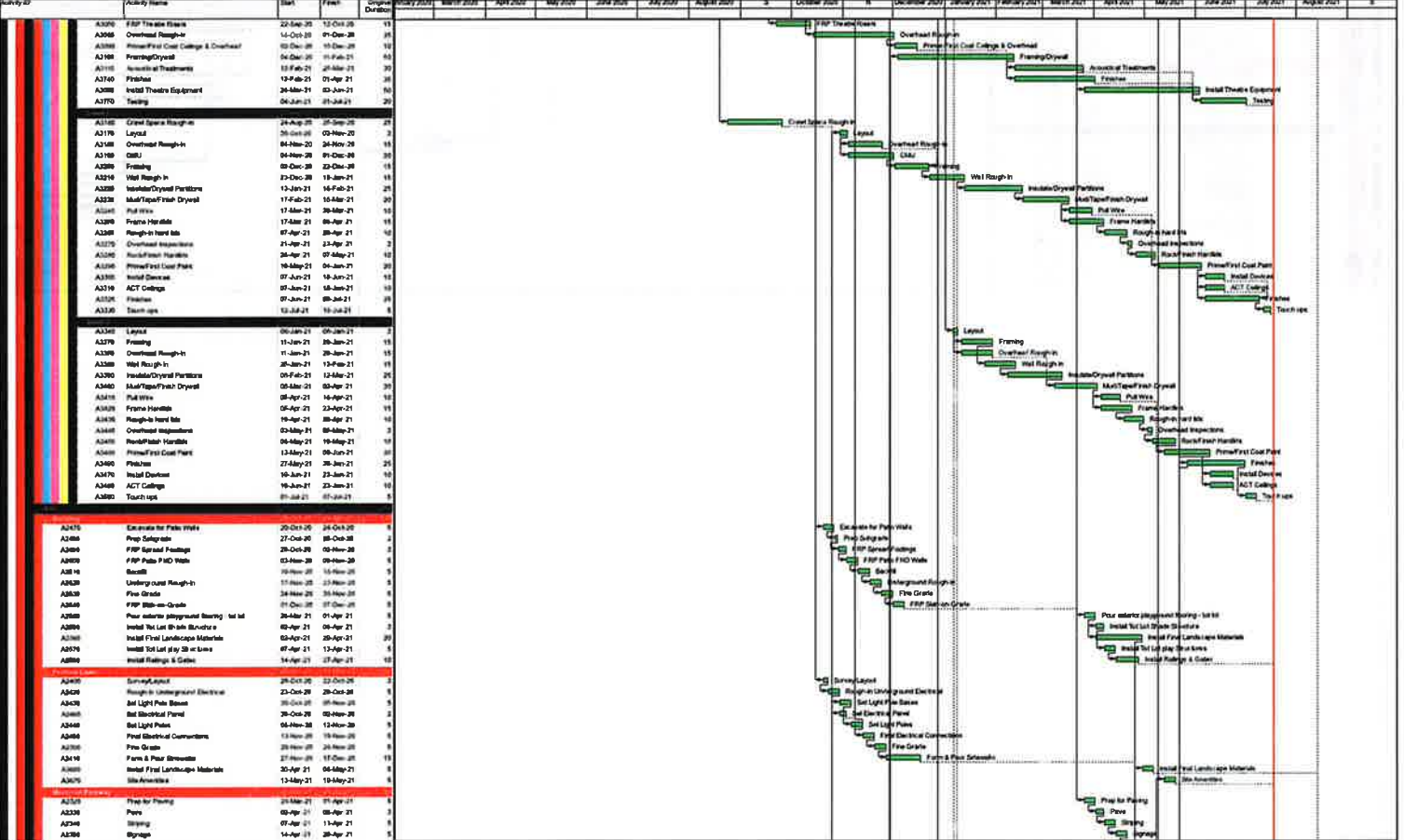
ATTACHMENT H



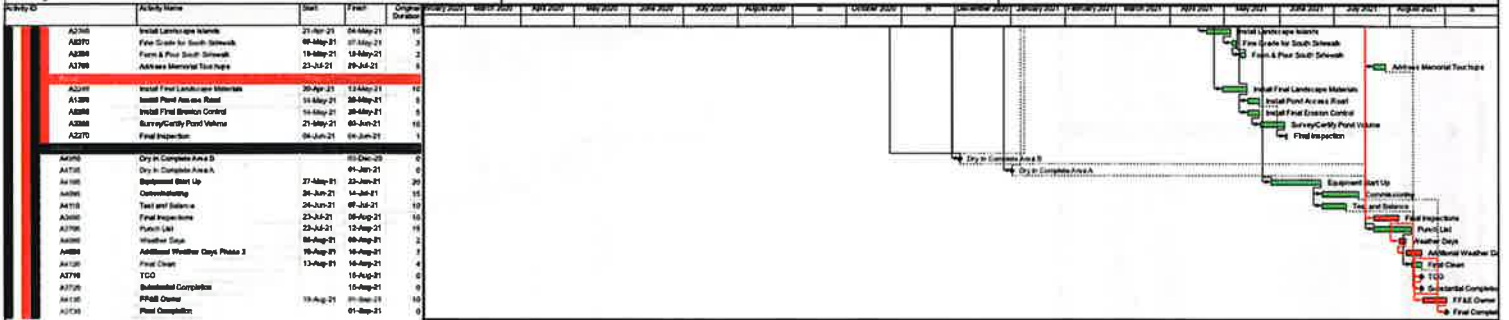




Actual Work Remaining Work Critical Remaining Work



Actual Work Remaining Work Critical Remaining Work



Actual Work Remaining Work Critical Remaining Work

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer any rights to the certificate holder in lieu of such endorsement(s).


PRODUCER USI Colorado, LLC Construction P.O. Box 7050 Englewood, CO 80155 800 873-8500	CONTACT NAME: Client Manager	
	PHONE (A/C, No, Ext): 800 873-8500 FAX (A/C, No): 303-831-5295 E-MAIL ADDRESS: den.contractors@usi.com	
INSURED FCI Constructors, Inc. PO Box 1767 Grand Junction, CO 81502	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A : Arch Insurance Company	11150
	INSURER B : Travelers Property Cas. Co. of America	25674
	INSURER C :	
	INSURER D :	
	INSURER E :	

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	X	X	ZAGLB9220002	10/01/2018	10/01/2019	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 \$
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	X	X	ZACAT9242102	10/01/2018	10/01/2019	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$0	X	X	ZUP15P9635718NF	10/01/2018	10/01/2019	EACH OCCURRENCE \$25,000,000 AGGREGATE \$25,000,000 \$
A	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input checked="" type="checkbox"/> Y/N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		X	ZAWCI9389202	10/01/2018	10/01/2019	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
RE: Job #30-19-008 Right of Way Permit for the Northglenn Civic Center Master Plan Phase I, 1 East Memorial Pkwy, Northglenn, CO 80233
 As required by written contract or written agreement, the City of Northglenn and the City of Northglenn's officers, volunteers and employees are included as Additional Insured as respects General Liability as respects General Liability and Auto Liability but only as respects work performed on behalf of the named insured. The General Liability policy includes separation of insureds.

CERTIFICATE HOLDER City of Northglenn State of Colorado 11701 Community Center Drive Northglenn, CO 80233	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
--	---

“Attachment J”

CONDITIONAL WAIVER AND RELEASE ON PROGRESS PAYMENT

PROJECT: Northglenn Civic Center

On receipt by the undersigned of a check in the sum of \$ 0.00 payable to FCI Constructors, Inc. for the period ending Date, 2019 and when the check has been properly endorsed and has been paid by the bank on which it is drawn, this document becomes effective to release any mechanic’s lien, any state or federal bond right, any private bond right, any claim or payment rights under any similar ordinance, rule or statute related to claim or payment rights for persons in the undersigned’s position that the undersigned has on the job mentioned above located at 1 E. Memorial Pkwy, Northglenn, CO 80233. This release covers a progress payment for all labor, services, equipment or materials furnished to the job site.

Date: _____

Contractor: FCI Constructors, Inc.

By: _____

Nathaniel Sperry
Printed Name

Title: Project Manager

“Attachment J”

UNCONDITIONAL WAIVER AND RELEASE ON FINAL PAYMENT

**PROJECT: Northglenn Civic Center
1 E. Memorial Pkwy., Northglenn, CO 80233**

The undersigned hereby acknowledges receipt of the final payment in the amount of \$ 0.00 for all labor, services, equipment or materials furnished to the above referenced project and hereby releases any Mechanic’s Lien, any state or federal bond right, any private bond right, any claim for payment rights under any similar ordinance, rule or statute related to claim or payment rights for persons in the undersigned’s position that the undersigned has on the job mentioned above.

The undersigned certifies that payments have been made through the period covered by previous payments received to (1) all it’s subcontractors and (2) all it’s suppliers, for all materials and labor used in or in connection with the performance of the Contract. The undersigned further certifies that all Federal, State and local tax laws including Social Security laws, Unemployment Compensation laws and Workmen’s Compensation laws insofar as applicable to the performance of the contract have been complied with.

Dated: _____

Contractor: FCI Constructors, Inc.

By: _____

Title: Project Manager

“Attachment J”

UNCONDITIONAL WAIVER AND RELEASE ON PROGRESS PAYMENT

PROJECT: Northglenn Civic Center
1 E. Memorial Pkwy., Northglenn, CO 80233

The undersigned hereby acknowledges receipt of progress payment in the amount of \$ 0.00 for labor, services, equipment or materials furnished to the above referenced project thru the period of Date, 2019 and hereby releases any Mechanic’s Lien, any state or federal bond right, any private bond right, any claim for payment rights under any similar ordinance, rule or statute related to claim or payment rights for persons in the undersigned’s position that the undersigned has on the job mentioned above.

The undersigned certifies that payments have been made through the period covered by previous payments received to (1) all it’s subcontractors and (2) all it’s suppliers, for all materials and labor used in or in connection with the performance of the Contract. The undersigned further certifies that all Federal, State and local tax laws including Social Security laws, Unemployment Compensation laws and Workmen’s Compensation laws insofar as applicable to the performance of the contract have been complied with.

Dated: _____

Contractor: FCI Constructors, Inc.

By: _____

Title: Project Manager

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ATTACHMENT K: Construction Documents
Northglenn Civic Center, Phase 1
Enumeration of Construction Documents

DESCRIPTION	DATE ISSUED: 12/12/2019	DRAWING #
FIRST FLOOR FINISH PLAN – AREA A		A911
FIRST FLOOR FINISH PLAN – AREA B		A912
SECOND FLOOR FINISH FLOOR PLAN – AREA A		A921
SECOND FLOOR FINISH FLOOR PLAN – AREA B		A922
ENLARGED FINISH PLANS		A930
FIRST FLOOR FURNITURE PLAN – AREA A		A941
FIRST FLOOR FURNITURE PLAN – AREA B		A942
SECOND FLOOR FURNITURE PLAN – AREA A		A951
SECOND FLOOR FURNITURE PLAN – AREA B		A952
SIGNAGE SCHEDULE		A960
SIGNAGE DETAILS		A961
EXTERIOR SIGNAGE DETAILS		A962
FIRST FLOOR SIGNAGE PLAN – AREA A		A971
FIRST FLOOR SIGNAGE PLAN – AREA B		A972
SECOND FLOOR SIGNAGE PLAN – AREA A		A981
SECOND FLOOR SIGNAGE PLAN – AREA B		A982
STRUCTURAL		
GENERAL NOTES		S001
SPECIAL INSPECTIONS		S002
FOUNDATION PLAN – AREA A		S101
FOUNDATION PLAN – AREA B		S102
FIRST FLOOR FRAMING PLAN – AREA A		S111
FIRST FLOOR FRAMING PLAN – AREA B		S112
SECOND FLOOR AND LOW ROOF FRAMING PLAN – AREA A		S121
SECOND FLOOR AND LOW ROOF FRAMING PLAN – AREA B		S122
MAIN ROOF FRAMING PLAN – AREA A		S131
MAIN ROOF FRAMING PLAN – AREA B		S132
SNOW DRIFT LOADING DIAGRAM		S140
HIGH ROOF FRAMING PLAN – AREA A		S141
HIGH ROOF FRAMING PLAN – AREA B		S142
FULL-HEIGHT SECTIONS AREA A		S201
FULL-HEIGHT SECTIONS AREA A		S202
FULL-HEIGHT SECTIONS AREA A		S203
FULL-HEIGHT SECTIONS AREA B		S211
FULL-HEIGHT SECTIONS AREA B		S212
FULL-HEIGHT SECTIONS AREA B		S213
BRACED FRAME ELEVATIONS		S400
BRACED FRAME DETAILS		S401
CMU WALL ELEVATIONS		S411

ATTACHMENT K: Construction Documents
Northglenn Civic Center, Phase 1
Enumeration of Construction Documents

DESCRIPTION	DATE ISSUED: 12/12/2019	DRAWING #
CMU WALL ELEVATIONS		S412
CMU WALL ELEVATIONS		S413
JOIST ELEVATIONS		S421
CONCRETE TYPICAL DETAILS, SECTIONS & SCHEDULES		S501
MASONRY TYPICAL DETAILS, SECTIONS & SCHEDULES		S502
STEEL TYPICAL DETAILS, SECTIONS & SCHEDULES		S503
CFS SCHEDULE AND TYPICAL DETAILS		S504
CFS TYPICAL DETAILS		S505
FOUNDATION/FLOOR DETAILS		S511
FOUNDATION/FLOOR DETAILS		S512
FOUNDATION/FLOOR DETAILS		S513
FOUNDATION/FLOOR DETAILS		S514
FLOOR DETAILS		S521
FLOOR DETAILS		S522
FLOOR DETAILS		S523
FLOOR DETAILS		S524
ROOF DETAILS		S531
ROOF DETAILS		S532
ROOF DETAILS		S534
ROOF DETAILS		S535
ROOF DETAILS		S541
ROOF DETAILS		S542
ROOF DETAILS		S543
ROOF DETAILS		S544
POOL FOUNDATION DETAILS		S601
POOL FOUNDATION DETAILS		S602
POOL FOUNDATION DETAILS		S603
MECHANICAL		
MECHANICAL COVER SHEET – LEGEND, GENERAL NOTES AND SHEET INDEX		MP000
OVERALL CRAWLSPACE HVAC PLAN		M100
FIRST FLOOR HVAC PLAN – AREA A		M111
FIRST FLOOR HVAC PLAN – AREA B		M112
SECOND FLOOR HVAC PLAN – AREA A		M121
SECOND FLOOR HVAC PLAN – AREA B		M122
ROOF HVAC PLAN – AREA A		M131
ROOF HVAC PLAN – AREA B		M132
ENLARGED SCALE MECHANICAL ROOM PLAN		M151
FIRST FLOOR HVAC PIPING PLAN – AREA A		M211
FIRST FLOOR HVAC PIPING PLAN – AREA B		M212

ATTACHMENT K: Construction Documents
Northglenn Civic Center, Phase 1
Enumeration of Construction Documents

DESCRIPTION	DATE ISSUED: 12/12/2019	DRAWING #
SECOND FLOOR HVAC PIPING PLAN – AREA A		M221
SECOND FLOOR HVAC PIPING PLAN – AREA B		M222
HVAC SECTIONS		M300
HVAC SECTIONS		M301
HVAC SECTIONS		M302
HVAC SECTIONS		M303
HVAC CONTROL DRAWINGS		M500
HVAC CONTROL DRAWINGS		M501
SCHEDULES		M600
SCHEDULES		M601
SCHEDULES		M602
HVAC DETAILS		M700
HVAC DETAILS		M701
MECHANICAL OUTSIDE AIR CALCULATIONS		M800
MECHANICAL OUTSIDE AIR CALCULATIONS		M801
MECHANICAL COMCHECK		M900
FIRE PROTECTION AND PLUMBING		
FIRST FLOOR FIRE PROTECTION PLAN		FP110
SECOND FLOOR FIRE PROTECTION PLAN		FP120
UNDERGROUND PLUMBING PLAN – AREA A		P101
UNDERGROUND PLUMBING PLAN – AREA B		P102
FIRST FLOOR PLUMBING PLAN – AREA A		P111
FIRST FLOOR PLUMBING PLAN – AREA B		P112
SECOND FLOOR PLUMBING PLAN – AREA A		P121
SECOND FLOOR PLUMBING PLAN – AREA B		P122
ROOF PLUMBING PLAN – AREA A		P131
ROOF PLUMBING PLAN – AREA B		P132
ENLARGED PLUMBING PLANS		P151
PLUMBING SCHEDULES		P600
PLUMBING DETAILS		P700
PLUMBING ISOMETRICS		P800
PLUMBING ISOMETRICS		P801
ELECTRICAL		
ELECTRICAL COVER SHEET		E0.00
ELECTRICAL SITE PLAN		E0.10
CRAWLSPACE POWER AND LIGHTING PLAN		E1.00
ELECTRICAL FIRST FLOOR POWER PLAN – AREA A		E1.01
ELECTRICAL FIRST FLOOR POWER PLAN – AREA B		E1.02

ATTACHMENT K: Construction Documents
Northglenn Civic Center, Phase 1
Enumeration of Construction Documents

DESCRIPTION	DATE ISSUED: 12/12/2019	DRAWING #
ELECTRICAL SECOND FLOOR POWER PLAN – AREA A		E1.11
ELECTRICAL SECOND FLOOR POWER PLAN – AREA B		E1.12
ELECTRICAL ROOF PLAN – AREA A		E1.31
ELECTRICAL ROOF PLAN – AREA B		E1.32
ELECTRICAL FIRST FLOOR LIGHTING PLAN – AREA A		E2.01
ELECTRICAL FIRST FLOOR LIGHTING PLAN – AREA B		E2.02
ELECTRICAL SECOND FLOOR LIGHTING PLAN – AREA A		E2.21
ELECTRICAL SECOND FLOOR LIGHTING PLAN – AREA B		E2.22
ELECTRICAL FIRST FLOOR THEATRE EQUIPMENT PLAN		E3.01
ELECTRICAL SECOND FLOOR AND CATWALK THEATRE EQUIPMENT PLAN		E3.02
ELECTRICAL FIRST FLOOR POOL MECH ROOM		E3.03
ELECTRICAL LIGHTING CONTROL DETAILS		E4.00
ELECTRICAL DIAGRAM & DETAILS		E4.01
ELECTRICAL DIAGRAM & DETAILS		E4.02
ELECTRICAL ONE-LINE DIAGRAM		E6.00
ELECTRICAL ONE-LINE ADDITIONAL INFORMATION		E6.01
ELECTRICAL SCHEDULES		E7.00
ELECTRICAL SCHEDULES		E7.01
ELECTRICAL PANEL SCHEDULES		E7.10
ELECTRICAL PANEL SCHEDULES		E7.11
ELECTRICAL PANEL SCHEDULES		E7.12
ELECTRICAL PANEL SCHEDULES		E7.13
ELECTRICAL PANEL SCHEDULES		E7.14
ELECTRICAL ENERGY COMPLIANCE		E8.00
TECHNOLOGY		
TECHNOLOGY COVER SHEET		T0.00
TECHNOLOGY FIRST FLOOR PLAN – AREA A		T1.01
TECHNOLOGY FIRST FLOOR PLAN – AREA B		T1.02
TECHNOLOGY SECOND FLOOR PLAN – AREA A		T1.11
TECHNOLOGY SECOND FLOOR PLAN – AREA B		T1.12
TECHNOLOGY MDF/IDF ENLARGED VIEW		T2.00
TECHNOLOGY DETAILS		T3.01
TECHNOLOGY DETAILS		T3.02
TECHNOLOGY FUNCTIONAL DIAGRAMS		T3.11
TECHNOLOGY FUNCTIONAL DIAGRAMS		T3.12
TECHNOLOGY FUNCTIONAL DIAGRAMS		T3.13
TECHNOLOGY FUNCTIONAL DIAGRAMS		T3.14
AV BILL OF MATERIALS		T3.21

ATTACHMENT K: Construction Documents
Northglenn Civic Center, Phase 1
Enumeration of Construction Documents

DESCRIPTION	DATE ISSUED: 12/12/2019	DRAWING #
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AQUATICS

OVERALL AQUATIC LAYOUT	PL100
GENERAL DETAILS AND SCHEDULES	PL101
POOL A – LAP POOL PLAN	PL110
POOL A – LAP POOL DIMENSION PLAN	PL111
POOL A – LAP POOL SECTIONS	PL112
POOL A – LAP POOL DETAILS	PL113
POOL A – LAP POOL BEAM SECTIONS	PL114
POOL B – LEISURE POOL PLAN	PL120
POOL B – LEISURE POOL DIMENSION PLAN	PL121
POOL B – LEISURE POOL SECTIONS	PL122
POOL B – LEISURE POOL DETAILS	PL123
POOL B – SLIDE	PL124
STRUCTURAL PLAN	PL200
STRUCTURAL DETAILS	PL201
STRUCTURAL DETAILS	PL202
STRUCTURAL DETAILS	PL203
OVERALL PIPELINE PLAN	PL300
GENERAL DETAILS	PL301
POOL A – LAP POOL PIPING PLAN	PL310
POOL B – LEISURE POOL SUCTION PIPING PLAN	PL320
POOL B – LEISURE POOL FILTRATION AND SLIDE PIPING PLAN	PL321
POOL B – LEISURE POOL SKIMMER PIPING PLAN	PL322
POOL B – LEISURE POOL PROPULSION, ACTIVITY, JET, AIR PIPING PLAN	PL323
MECHANICAL ROOM PLAN	PL400
MECHANICAL ROOM 3D	PL401
MECHANICAL DETAILS	PL402
MECHANICAL DETAILS	PL403
MECHANICAL DETAILS	PL404
REGENERATIVE MEDIA SCHEMATIC	PL405
POOL A LAP POOL P&ID	PL510
POOL A LAP POOL ELECTRICAL SCHEMATIC	PL511
POOL B LEISURE POOL P&ID	PL520
POOL B LEISURE POOL ELECTRICAL SCHEMATIC	PL521

THEATRE

AV SYSTEMS – LEGEND	AV000
AV SYSTEMS – FIRST FLOOR AREA B	AV112
AV SYSTEMS – SECOND FLOOR AREA B	AV122
AV SYSTEMS – FIRST FLOOR AREA B – REFLECTED CEILING PLAN	AV212

ATTACHMENT K: Construction Documents
Northglenn Civic Center, Phase 1
Enumeration of Construction Documents

DESCRIPTION	DATE ISSUED: 12/12/2019	DRAWING #
AV SYSTEMS – SECOND FLOOR AREA B – REFLECTED CEILING PLAN		AV222
AV SYSTEMS – THEATRE SECTIONS		AV401
AV SYSTEMS – AUDIO ONE-LINE DIAGRAM		AV501
AV SYSTEMS – NETWORK AND VIDEO ONE-LINE DIAGRAM		AV502
AV SYSTEMS – PLATE DETAILS		AV512
AV SYSTEMS – RACK DETAILS		AV521
AV SYSTEMS – INTERIOR ELEVATIONS		AV600
AV SYSTEMS – INTERIOR ELEVATIONS		AV601
AV SYSTEMS – INTERIOR ELEVATIONS		AV602
AV SYSTEMS – SPEAKER AIMING DETAILS		AV801
THEATRE SYSTEMS LEGEND		TS000
THEATRE SYSTEMS – FIRST FLOOR PLAN AREA B		TS112
THEATRE SYSTEMS – SECOND FLOOR PLAN – AREA B		TS122
THEATRE SYSTEMS – SECOND FLOOR RCP – AREA B		TS222
THEATRE SYSTEMS – THEATRE SECTION		TS400
THEATRE SYSTEMS – LIGHTING ON-LINE DIAGRAM		TS501
THEATRE SYSTEMS – LIGHTING ONE-LINE DIAGRAM		TS502
THEATRE SYSTEMS – PANEL SCHEDULES		TS511
THEATRE SYSTEMS – LIGHTING DISTRIBUTION STRIP DETAILS		TS512
THEATRE SYSTEMS – LIGHTING DISTRIBUTION PANEL DETAILS		TS513
THEATRE SYSTEMS – RIGGING SCHEDULE		TS800
THEATRE SYSTEMS – STAGE RIGGING PLAN AND RCP		TS801
THEATRE SYSTEMS – STAGE RIGGING SECTIONS		TS802
THEATRE SYSTEMS – TYPICAL LINESET ELEVATION		TS803
THEATRE SYSTEMS – TYPICAL UPSTAGE LINESET ELEVATION		TS804
THEATRE SYSTEMS – TYPICAL STAGE ELECTRIC ELEVATION		TS805
THEATRE SYSTEMS – TYPICAL GRAND DRAPE ELEVATION		TS806
THEATRE SYSTEMS – RIGGING DETAILS		TS807
THEATRE SYSTEMS – ORCHESTRA PIT SYSTEMS DETAILS		TS811
THEATRE SYSTEMS – REHEARSAL ROOM CURTAIN DETAILS		TS821

END OF DRAWINGS

FCI CONSTRUCTORS, INC.
STANDARD RENTAL RATES
 USE D-DAY W-WEEK M-MONTH
 APPLICABLE TO FCI OWNED EQUIPMENT ONLY

JOB: NCCMP Attachment L _____
 JOB NO.: _____
 PHASE: _____
 MONTH: _____

EQUIPMENT	DAILY RATE	WEEKLY RATE	MONTH RATE	PERIOD (D,W,M)	QUAN	CODE XXX	DATE IN	DATE OUT	RATE	COST
CONCRETE										
CONCRETE BLANKET *	17.00	52.00	104.00							
CONCRETE BLANKET, ELECTRIC	63.00	193.00	585.00							
CONCRETE BREAKER ATTACHMENT	234.00	650.00	1,450.00							
CONCRETE CHAIN SAW	90.00	225.00	690.00							
CONCRETE SCARIFIER, 12", VS30,	135.00	505.00	900.00							
46" POWER TROWEL	100.00	290.00	600.00							
CORE DRILL 2"-5" (+BIT WEAR)	133.00	220.00	810.00							
SOFF-CUT SAW	153.00	335.00	675.00							
WALK CONC. SAW (+ BLADE WEAR)	153.00	335.00	765.00							
HEATERS										
GROUND HEATER, E3000G	455.00	2,790.00	5,000.00							
GROUND HEATER, E2200G	405.00	2,345.00	4,250.00							
WACKER NEUSON IFHeater (HI900)	375.00	900.00	2,750.00							
HEATER, 1.5 MILLION BTU	135.00	405.00	880.00							
HEATER, >/= 400,000 BTU	142.00	428.00	650.00							
HEATER, =/< 400,000 BTU ****	60.00	183.00	550.00							
HEATER, INDIRECT HI400HD, 380,548 BTU	145.00	440.00	1,330.00							
HEAVY EQUIPMENT										
BACK HOE - CAT 416IT	350.00	935.00	1,165.00							
FORK LIFT-EXTEND BOOM-TH103	590.00	1,620.00	2,700.00							
FORK LIFT - WAREHOUSE	287.00	756.00	1,640.00							
FORK FRAME	72.00	205.00								
MINI-EXCAVATOR - BOBCAT 331	357.00	960.00	1,920.00							
SCAFFOLD LIFT 98 MOBILE	65.00	250.00	750.00							
SCISSOR LIFT 25'	140.00	280.00	570.00							
SKID LOADER W/ STANDARD BUCKET	222.00	680.00	1,620.00							
SKID LOADER S250	272.00	870.00	2,300.00							
SKID STR AUGER ATTACHMENT	158.00	487.00	945.00							
SKID STR BRUSH ATTACHMENT	158.00	487.00	945.00							
SKID STR SCARIFIER ATTACHMENT	54.00	162.00	648.00							
SKID STR SNOW PLOW ATTACHMENT	71.00	212.00	420.00							
SKID STR 80" SNOW REMOVAL BUCKET	23.00	90.00	440.00							
SKIP LOADER (JOHN DEERE GANNON TRACTOR)	246.00	722.00	1,890.00							
UTILITY TRACTOR-JD 210 4X4	245.00	720.00	1,980.00							
INFORMATION TECHNOLOGY										
COPIER			200.00							
Information Technology (IT) PER USER ***			245.00							
SAFETY										
ALUMINUM POST SHORE (6'6" - 11')	6.00	19.00	38.00							
ALUMINUM POST SHORE (10'6" - 16')	6.00	19.00	38.00							
FENCE PANELS			6.00							
LIGHT PLANT	129.00	327.00	832.00							
MOBILE FALL PROTECTION CART	30.00	120.00	360.00							
NEGATIVE AIR SCRUBBER (HEPA) 1950CFM	80.00	324.00	958.00							
PORT. LIGHTS 30KW	130.00	375.00	850.00							
ROLLING SCAFFOLD	15.00	43.00	130.00							
ROOF GUARDRAIL POSTS			18.00							
SAFETY BARRELS, SMALL	4.00	12.00	23.00							
SAFETY BARRELS, LARGE JERSEY TYPE	40.00	103.00	300.00							
TRAILER MOUNTED SOLAR TRAFFIC CONTROL MESSAGE BOARD (126"X76")	243.00	637.00	1,820.00							
FUME EXTRACTOR (SMOKE EATER)	105.00	232.00	520.00							
4-GAS AIR MONITOR	45.00	135.00	270.00							
MASONRY SCAFFOLD ASSEMBLY (cost per frame)	7.00	23.00	45.00							
SCAFFOLD STAIR TOWER (3-TIER)		225.00	700.00							
SERVICES										

FCI CONSTRUCTORS, INC.
STANDARD RENTAL RATES
 USE D-DAY W-WEEK M-MONTH
 APPLICABLE TO FCI OWNED EQUIPMENT ONLY

JOB: NCCMP Attachment L _____
JOB NO.: _____
PHASE: _____
MONTH: _____

FIREPROOFING - 2 MAN CREW	2,000.00								
FIREPROOFING MOB	500.00								
GROUND PENETRATING RADAR w/OPER**	2,000.00								
SURVEY									
LASER (LEVEL, ROTATING)	33.00	106.00	233.00						
ROBOTIC TOTAL STATION	225.00	810.00	2,695.00						
REBAR LOCATOR	27.00	78.00	162.00						
THEODOLITE	112.00	335.00	670.00						
TOTAL STATION	63.00	225.00	715.00						
TRUCKS/TRAILERS/STORAGE									
16' FLATBED TRAILER	120.00	240.00	485.00						
16' CARPENTER TRAILER (ENCLOSED)	120.00	240.00	485.00						
COMPRESSOR TR.	182.00	536.00	1,295.00						
GENERATOR TR.	150.00	450.00	1,300.00						
OFFICE TRAILER			700.00						
PICKUP			1,025.00						
PICKUP (ON SITE USE ONLY)			500.00						
PICKUP WITH SNOWPLOW									
STORAGE VAN (CON-X)	25.00	75.00	225.00						
TRASH DUMP TRAILER (12')	99.00	225.00	445.00						
WATER TANK WITH TRAILER	158.00	465.00	945.00						
BRUSH HOG TOW BEHIND	225.00	520.00	1,170.00						
TOOLS AND MISC.									
60# HAMMER AIR	76.00	227.00	490.00						
90# HAMMER AIR	95.00	250.00	540.00						
BACKFLOW PREVENTER/EQUIPMENT			225.00						
COMPACTOR JUMPING	107.00	330.00	590.00						
CORE DRILL 2"-5" (+BIT WEAR)	133.00	220.00	810.00						
DEMOLITION SAW	67.00	175.00	525.00						
DRYWALL TEXTURE SPRAYER (30 GAL)	44.00	113.00	335.00						
ELECT. HAMMER (T-905)	95.00	237.00	378.00						
HILTI VC 40-U WET/DRY VAC (DUST COLLECTOR)	22.00	87.00	260.00						
MOTORIZED POST DRIVER	95.00								
PAINT SPRAYER	76.00	225.00	452.00						
PALLET JACK	72.00	197.00	468.00						
PIPE INSPECTION CAMERA, 100'	175.00	800.00	2,000.00						
PLATE COMPACTOR	110.00	300.00	608.00						
PRESSURE WASHER	105.00	375.00	790.00						
RIDE ON FLOOR SCRAPER (ELECTRIC)	800.00	2,000.00	4,500.00						
ROTO HAMMER AND BITS	87.00	256.00	600.00						
TRASH CHUTE 30" DIAM WITH MOUNTING ACCESSORIES	68.00	234.00	675.00						
WELDER 200AMP	116.00	297.00	576.00						
WIRE FEED WELDER	39.00	116.00	232.00						
TOTAL									

* OR 1/2 THE VALUE OF THE BLANKET(S) WHEN USED FOR A SEASON, WHICHEVER IS LESS.

Revision 06/03/2019

** GPR is \$2,000.00/day; \$1000 / half-day (minimum charge)

*** Information Technology rate is \$245/month/ per user. Includes: Job Site based computers, iPads, tablets, IT hardware, and supporting software licenses & IT support.

**** For heaters less than 400,000 BTU, the D/W/M rate is a lump sum, regardless of quantity of heaters mobilized. These are small(er) units.

Submitted By: _____

Approved By: _____