



**PLANNING AND DEVELOPMENT DEPARTMENT MEMORANDUM  
#49-2019**

**DATE:** September 23, 2019

**TO:** Honorable Mayor Antonio B. Esquibel and City Council Members

**THROUGH:** Heather Geyer, City Manager 

**FROM:** Brook Svoboda, Director of Planning and Development   
Becky Smith, Planning Manager  
Alan Sielaff, Planner I

**SUBJECT:** CR-108 – Northglenn Civic Center Subdivision Preliminary and Final Plat

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**PURPOSE**

The applicant, the City of Northglenn, is seeking approval of the Northglenn Civic Center Subdivision Preliminary and Final Plat. The proposed preliminary and final plat documents are included as an exhibit to CR-108.

**BACKGROUND**

The proposed subdivision plat is a replat of Lot 8, Block 1 of the Webster Lake Subdivision. The site is 20.59 acres in total and is generally located between Community Center Drive and Interstate 25, south of the Webster Lake Promenade development.

The Northglenn Civic Center Subdivision Preliminary and Final Plat were reviewed concurrently in conformance with the review procedures outlined in Article 6, and the subdivision design standards outlined in Article 5 of the Unified Development Ordinance (UDO). The following is a brief discussion of the proposal as it relates to the Code.

**Preliminary Plat:** This procedure is required because more than four lots are proposed, and there is the necessary dedication of public right-of-way in the form of Memorial Parkway and the public infrastructure required for the development. Preliminary plat applications are required to include detail of site topography and existing structures, as well as all existing easements. This document does not get recorded with the County and is traditionally used to provide a comprehensive review of a site's development possibility, including utility connections and access.

**Final Plat:** A final plat is required to contain all final lot lines, easements, and property measurements. This document is recorded with the County and becomes the legal boundary for the included lots and right-of-way.

The proposed subdivision includes the following tracts of land:

1. Right-of-way (1.08 acres). The dedication of Memorial Parkway as public right-of-way. The width of the right-of-way varies to accommodate the location of the existing Veteran's Memorial, which is located on Tract B north of the Memorial Parkway.
2. Tract A (.794 acres). Tract A will contain development of the festival lawn and is reserved as park and open space.
3. Tract B (.418 acres). Tract B will contain the Veteran's Memorial Plaza and is reserved as park and open space.
4. Lot 1 (7.002 acres). Lot 1 will contain the proposed Recreation Center, Senior Center, and Performing Arts Theatre facility.
5. Lot 2 (6.846 acres). Lot 2 is the tract of land located on the north portion of the site, north of Memorial Parkway and Tracts A and B. This site contains the existing recreation center facility. The Civic Center Master Plan contemplates this tract being sold off for redevelopment.
6. Lot 3 (4.540 acres). Lot 3 is the tract of land located south of Memorial Parkway. This site contains the existing City Hall facility. The Civic Center Master Plan contemplates this tract being sold off for redevelopment once City Hall is relocated.

It is anticipated that the future redevelopment of Lots 2 and 3 may require replatting of those tracts of land. The necessity of replatting will be analyzed with those future development requests.

The Planning Commission reviewed this request and conducted a public hearing at their September 17, 2019 meeting. The Planning Commission recommended approval of the proposed preliminary and final plat. Attachment 1 is the Planning Commission's resolution recommending approval of the proposed preliminary and final plat. Additionally, Attachment 2 contains the staff report presented to the Planning Commission for their consideration at that meeting.

#### **STAFF RECOMMENDATION**

Attached to this memorandum is CR-108, which is being presented to the City Council for consideration following public hearing. Staff recommends the City Council approve the proposed Northglenn Civic Center Subdivision Preliminary and Final Plat requests.

#### **BUDGET/TIME IMPLICATIONS**

The result of the subdivision plat does not have any direct budgetary impacts. However, the development of the plat application is part of the overall budget and soft costs associated with the Northglenn Civic Center Phase 1 Implementation project.

#### **STAFF REFERENCE**

If Council members have any comments or questions they may contact Brook Svoboda, Director of Planning and Development, at 303.450.8937 or [bsvoboda@northglenn.org](mailto:bsvoboda@northglenn.org).

#### **ATTACHMENTS**

1. Planning Commission Resolution #2019-07
2. Planning Commission Staff Report from the September 17, 2019 Meeting
3. Staff Presentation

## RESOLUTION 2019-07 NORTHGLENN PLANNING COMMISSION

### A RESOLUTION PROVIDING APPROVING THE NORTHGLENN RECREATION CENTER MAJOR SITE PLAN AND PROVIDING A FAVORABLE RECOMMENDATION TO THE CITY COUNCIL FOR APPROVAL OF THE NORTHGLENN CIVIC CENTER SUBDIVISION PRELIMINARY AND FINAL PLAT

WHEREAS, Northglenn Ordinance 11-6-5(a) requires that the Northglenn Planning Commission review and make final decision on any application for Major Site Plan review; and

WHEREAS, Northglenn Ordinance 11-6-6(b) and 11-6-6(c) requires that the Northglenn Planning Commission review and make recommendation to Council any application for Preliminary and Final Plat that requires the installation of public infrastructure; and

WHEREAS, the City of Northglenn is preparing to construct a new Recreation Center, Senior Center, and Theatre on the western portion of the Civic Center Campus property; and

WHEREAS, the proposed development will also include the installation of a new public right-of-way and other public infrastructure, including but not limited to water, sanitary sewer, and storm sewer lines, and

WHEREAS, to accommodate this development, the City of Northglenn desires to replat and site plan the property to accommodate said development; and

WHEREAS, the Northglenn Planning Commission therefore desires to make its final decision on the proposed Major Site Plan application as required by law; and

WHEREAS, the Northglenn Planning Commission also desires to provide a recommendation to the City Council on the proposed Preliminary and Final Plat application as required by law; and

WHEREAS, the Planning Commission has found that the application satisfies the applicable criteria for site plans under 11-6-5(b)(3)(E)(iv), preliminary plats under section 11-6-6(b)(3)(E)(iv), and final plats under section 11-6-6(c)(4)(E)(iii).

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. The City of Northglenn Planning Commission hereby approves the proposed Northglenn Recreation Center Major Site Plan subject to the following condition:

1. The Commission's approval of this application is contingent on the City Council approving a rezoning of the property to PF, Public Facilities. Should the City Council not approval the pending rezoning request, then this application for Major Site Plan shall be deemed not approved.

Section 2. The City of Northglenn Planning Commission hereby provides a favorable recommendation to the City Council for the Northglenn Civic Center Subdivision Preliminary and Final Plat.

DATED this 17<sup>th</sup> day of September, 2019



Sonia Di Carlo  
Planning Commission Chair

ATTEST:



Rebecca Smith, AICP  
Secretary



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**PLANNING AND DEVELOPMENT DEPARTMENT**  
**MEMORANDUM**

**DATE:** September 17, 2019  
**TO:** Planning Commission  
**FROM:** Becky Smith, Planning Manager  
Alan Sielaff, Planner I  
**THROUGH:** Brook Svoboda, Director of Planning and Development  
**SUBJECT:** Case # 19-13 & 19-14 Northglenn Recreation Center  
*Preliminary & Final Plat and Major Site Plan*

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**REQUEST**

The applicant, the City of Northglenn, is seeking a recommendation of approval to City Council of a Preliminary and Final Subdivision Plat (Case 19-13), and approval of a Major Site Plan (Case 19-14) for development of a new Recreation Center, Senior Center and Performing Arts Theatre facility. This new building will sit west of the current Recreation Center and City Hall adjacent to Interstate 25. This is the initial phase in the implementation of the Civic Center Master Plan. The area is generally located between Community Center Drive and Interstate 25, and is south of the Webster Lake Promenade development.

**RECOMMENDATION**

Staff Recommendation:

Staff recommends the Planning Commission recommend approval to City Council of a Preliminary & Final Plat to City Council for the proposed Northglenn Civic Center Subdivision, and for final approval of the Major Site Plan for the development of the Northglenn Recreation Center, which is consistent with the Civic Center Master Plan.

Recommended Motions:

The following is a recommended motion for the proposed Preliminary & Final Plat:

*“I move to approve Resolution 2019-07, for case number 19-13, recommending approval to City Council of a Preliminary and Final Subdivision Plat for the Northglenn Civic Center Subdivision.”*

The following is a recommended motion for the proposed Major Site Plan:

*“I move to approve Resolution 2019-07, for case number 19-14, approving the Major Site Plan for the Northglenn Recreation Center.”*

## DISCUSSION

### Background

#### *Site Data*

<b>Location</b>	The current Northglenn Civic Center Campus at 11701 & 11801 Community Center Drive.
<b>Subdivision</b>	Webster Lake Promenade Subdivision, Block 1, Lot 8
<b>Existing Zoning</b>	Mixed-Use Corridor (MC), proposed to be rezoned to Public Facilities (PF). Planning Commission recommended rezoning on Aug. 20, City Council public hearing scheduled for Sept. 23.
<b>Existing Land Use</b>	Civic uses; City Hall, Recreation Center, Senior Center, Theater
<b>Acreeage</b>	20.59 acres (preliminary and final plat) 7.002 (Northglenn Rec. Center Site Plan)

#### *Characteristics of the Site (see Attachment A for an Aerial Vicinity Map)*

- The site intended for development of the Northglenn Recreation Center complex is vacant and unimproved land that exists west of the west parking lot of City Hall.
- There are two different structures currently on the property, the City Hall and former Police Station building at 11701 Community Center Drive, and the Recreation Center, Senior Center, and Theatre at 11801 Community Center Drive. Associated parking areas serve each of the existing uses.
- Access to the site is currently from Community Center Drive at four separate points, two for each building.
- The site is south of the Ramada Hotel and Webster Lake Promenade development, west of E.B. Rains Park, north of the Stone Mountain Apartments, and east of I-25.

#### *Zoning and Surrounding Land Uses (see Attachment B for a Zoning Map of the Vicinity)*

The following table summarizes the zoning and land uses for the properties surrounding this site:

	<b>Zoning</b>	<b>Land Use</b>
<b>North</b>	CA (Commercial Auto-Oriented) and PD (Planned Development)	Commercial uses (Ramada Hotel and Webster Lake Promenade)
<b>South</b>	PD (Planned Development)	Multifamily Residential (Stone Mountain Apartments)
<b>East</b>	MC (Mixed-Use Corridor) and OS (Open Space)	The Remainder of the Civic Center property and E.B. Rains Park and Webster Lake
<b>West</b>	CDOT Right-of-Way	Interstate 25

### Notification Requirements

Notification for this application was conducted in accordance with the requirements of Section 11-6-3(e) Scheduling and Notice of Public Hearings of the UDO. Notice of the public hearing was published in the Northglenn-Thornton Sentinel at least 15 days prior to the public hearing. Additionally, mailed notice was sent to all property owners within the City of Northglenn within 300 feet of the property, and a sign was posted at least 15 days prior to the public hearing.

### Analysis

The following sections include a discussion and analysis of various topics related to the applications being presented to the Commission. The proposed development was reviewed in accordance with applicable sections of Chapter 11 of the Municipal Code – The Unified Development Ordinance (UDO), and additionally reviewed for adherence to the Civic Center Master Plan.

The Civic Center Master Plan was adopted by City Council as an addendum to the City's Comprehensive Plan in 2017 and provides a site-specific vision for the development of this site. The Civic Center Master Plan can be reviewed on the City's website at the following link [https://www.northglenn.org/government/project\\_updates/civic\\_campus\\_master\\_plan.php](https://www.northglenn.org/government/project_updates/civic_campus_master_plan.php). This document is intended to guide future development through the following goals:

- Enhance stronger community identity.
- Integrate a vibrant mix of land use.
- Evaluate the best location for municipal facilities.
- Provide public gathering spaces.
- Leverage the success of adjacent developments.
- Strengthen connections to the community.

### Preliminary & Final Plat

The Northglenn Civic Center Subdivision Preliminary & Final Plat is provided in Attachment C.

### ***Subdivision Review (Article 5 – Subdivision Standards, of the Unified Development Ordinance (UDO))***

The Northglenn Civic Center Subdivision Preliminary and Final Plat were reviewed concurrently in conformance with the review procedures outlined in Article 6, and the subdivision design standards outlined in Article 5 of the UDO. Staff finds that the proposed Northglenn Civic Center Subdivision complies with the city's requirements outlined in the code for subdivisions. The following is a brief discussion of the proposal as it relates to the code.

**Preliminary Plat:** The Preliminary Plat procedure is required because more than four lots are proposed, and the dedication of public infrastructure in the form of Memorial Parkway. The Preliminary Plat includes detail of site topography and existing structures, as well as all existing easements. This document does not get recorded with the County and is traditionally used to provide a comprehensive review of a site's development possibility, including utility connections and access.

**Final Plat:** The Final Plat contains the final lot lines, easements, and property measurements. This document is recorded and becomes the legal boundary for the included lots and right-of-way. The City is choosing to plat the entire property as a Final

Plat because a Preliminary Plat expires if a Final Plat has not been recorded within two years. Due to the uncertain nature of future phases of the Civic Center Master Plan, completing and recording a Final Plat now will ensure the necessary easements are recorded and improve marketability of the undeveloped lots. These lots may be resubdivided in the future depending on the specific nature of future development.

The proposed subdivision includes Memorial Parkway through the center of the site to be dedicated as right-of-way. The width of the right-of-way is narrower to the east to accommodate the location of the Veteran's Memorial which is located on Tract B north of the Memorial Parkway Right-of-way, and wider to the west to accommodate additional on-street parking.

Tracts A and B will be retained by the City and used as public park and festival space. Lot 2 to the north will be largely void of any required easements. Lot 3 to the south will include a 20' sanitary sewer easement to facilitate the natural topography of the site. The alignment will likely contain a future north-south street that will connect with the right-of-way to the north of Memorial Parkway – between Tracts A & B. Lot 3 includes an access easement that encompasses the existing south access drive to City Hall. This will serve as a second point of access to Lot 1, the Recreation Center site.

Lot 1 itself will contain the Recreation Center, and will include a utility easement that circles the building to provide required utility and fire access around the building. Existing and proposed drainage easements also connect to a drainage easement area that will serve as regional detention for the entire site and continue to serve the Stone Mountain subdivision to the south.

#### Major Site Plan

The applicant letter for Northglenn Recreation Center Major Site Plan is provided in Attachment D and the site plan document is provided in Attachment E.

#### ***Zoning and Land Use (Article 2 – Zoning Districts and Article 3 – Use Regulations of the UDO).***

The Northglenn Recreation Center Major Site Plan will be located on Lot 1, Block 1 of the proposed Northglenn Civic Center Subdivision. This property was recommended for rezoning to PF (Public Facilities) on August 20, 2019, and will be heard by the City Council in conjunction with final approval of the Preliminary and Final Plat on September 23, 2019. As such, the application has been reviewed for conformance with the standards of the PF district.

The purpose statement of the PF zone states:

The PF district is intended to accommodate and preserve areas for public, quasi-public, and limited private facilities and uses. Uses in the PF district typically include essential City services and activities, with limited supporting uses and activities. The PF district is intended to incorporate flexibility to allow varying operational and site characteristics associated with essential City or community services.



Below is a summary of development standards for the PF District:

<b>PF, Public Facility Standards (Section 11-2-14)</b>	
Minimum Lot Area	None
Minimum Lot Width	None
Maximum Height, Primary	65 ft.
Minimum Front Building Setback	15 ft.
Minimum Side Building Setback	5 ft.
Minimum Rear Building Setback	10 ft.
Minimum Rear/Rear Building Setback (detached accessory)	10 feet/5 feet
Maximum Building Coverage	70%
Maximum Impervious Surface Coverage	None

The proposed land use for the Northglenn Recreation Center, Theatre, and Senior Center complex is a “Community Center”, which is an allowed use-by-right in the PF district, see Table 3-2-A. The definition of use is as follows:

A structure or group of structures for a community's governmental, social, educational, and/or recreational activities. Community Service facilities include federal, state, county, and local government activities including libraries, museums, and other similar uses.

In summary, staff finds that the proposed site plan is consistent with Article 2 and Article 3 of the UDO relating to zoning districts and use regulations.

***Development Standards (Article 4 – Development Regulations).***

The Northglenn Recreation Center was reviewed in conformance with the applicable development standards outlined in Article 4 of the UDO. Specific aspects of the proposed site plan will be covered in detail in the applicable sections below.

*Sensitive Area Protection (Section 11-4-2).*

No sensitive areas were identified as part of the site as it has already been developed. The vegetated wetland area to the northwest of the site is a drainage detention area and will continue to serve the site. As a result, staff finds that the proposed site plan is consistent with the requirements of Section 11-4-2 of the UDO related to Sensitive Area Protection.

*Regulations to Minimize Flood Losses (Section 11-4-3).*

The site is not located in a special flood hazard area as designated by the Federal Emergency Management Agency (FEMA) and therefore the regulations of this section are not applicable.

*Stormwater & Drainage Control (Section 11-4-4).*

The site will utilize the existing drainage detention area at the northwest of the site. This detention area currently serves the entire Civic Campus property, as well as the Stone Mountain multifamily developments to the south. With the anticipated additional impervious coverage on the Civic Center site, the detention pond will be enlarged to accommodate additional capacity and accommodate all future development of the site. This will require excavation to deepen the

pond, but the overall dedicated surface area of the detention area will not be expanded. Vegetation will be removed to accommodate this and be replaced along the exterior of the detention area. The city's Public Works Department has reviewed and approved the Drainage Report for this development. The proposed site plan is consistent with the requirements of Section 11-4-4 of the UDO as it relates to Stormwater and Drainage Control.

*Access and Circulation (Section 11-4-5).*

Staff finds that the proposed site plan complies with Section 11-4-5 of the UDO related to Access and Circulation. The purpose of this section of the code is to ensure adequate pedestrian and vehicular circulation to/from and through a site. The following is a summary of the proposed site plan as it relates to access and circulation.

The existing Civic Campus site has four points of access along the east side of Community Center Drive. The northern three of these access points will be removed and consolidated to the new Memorial Parkway which will serve as the main access to the Northglenn Recreation Center site. The existing south access drive and current main access to City Hall will remain in place with an access easement though Lot 3, Block 1 of the Northglenn Civic Center Subdivision until such time that future development occurs which may necessitate a slight relocation of this required second access.

Memorial Parkway itself is not part of the Northglenn Recreation Center Major Site Plan application, but is shown to provide necessary detail on access. Memorial Parkway will be dedicated as a public right-of-way and as part of the subdivision plat review meets the city's Public Works Department standards and specifications for a public right of way. Memorial Parkway includes a streetscape design that will include angled on-street parking, pedestrian access, and landscaping in the form of street trees and planting areas.

The Northglenn Recreation Center site itself will contain a private street, Northglenn Drive, the private street serve as the primary access running north-south along the eastern portion of the site, and will connect to Memorial Parkway, southern parking lots and the south access drive. Northglenn Drive will include pull in parking spaces, landscaping, and pedestrian access. A drop-off area is provided for adjacent to the Recreation Center entrance.

The remainder of site access is provided by an access road that will circle the building. Sufficient widths are provided for emergency access and rear loading areas on the west side of the building. If in the future the south access drive is relocated further south, to increase the developable area of Lot 3, staff has determined that sufficient turning radii is provided adjacent to the southernmost parking and access aisle to accommodate the realigned road with the loss of required parking.

Pedestrian and bicycle access is accommodated to the building and through the site through accommodation of the existing regional trail between E.B. Rains Park to the east and the I-25 pedestrian tunnel to the west. The trail will be rerouted along the new Memorial Parkway and along the east side of Northglenn Drive until it is reconnected with the trail around the drainage and detention area at the north of the site. This trail will be 8' and 10' in width through the site. Marked pedestrian crosswalks are provided to the Recreation Center on both sides of Memorial Parkway at Northglenn Drive, as well as at the north end of Northglenn Drive to the regional

trail, and to the south across Northglenn Drive to the Theatre and Senior Center, and from the parking area to the main entrance of the Theatre and Senior Center.

The proposed site plan has been designed to incorporate recommendations from Connect Northglenn, the city's bike and pedestrian master plan, as well as the adopted Complete Streets Policy.

*Off-Street Parking and Loading (Section 11-4-6).*

The Northglenn Recreation Center complex includes multiple uses used for calculating off-street parking requirements. The following UDO Parking ratios were used for the propose uses of the building:

Recreation Center Use: Indoor Recreation Facility ratio of 1 space per 1,000 square feet.

Theatre Use: Assembly ratio of 1 space per 6 seats

Senior Center Uses: Community Center ratio of 1 space per 500 square feet.

Administrative, community room, and back of house areas: "Other uses" ratio of 1 space per 1,000 square feet.

This calculation is outlined in the Site Data table on the cover page of the site plan, and resulted in 145 required parking spaces. The proposed site plan includes a total of 133 on-site parking spaces located in the south parking area and along Northglenn Drive. This is less than the parking required in the code, which has led to the project team requesting a reduction in the amount of parking allowed on site. This request was made in accordance with the provisions of Section 11-4-6(g)(7), which allows the Director of Planning and Development to approve a reduction in the required off-street parking, if determined that there are reasonable information and assumptions provided to accommodate the development.

In this case, the project team provided a Parking Analysis to the Director that explains the parking situation on site and the shared-parking opportunities located elsewhere in the development area. Attachment F is that Parking Analysis.

The analysis is fundamentally based on the allowance in the Civic Center Master Plan to accommodate shared parking throughout the entire development. This assumption was made as many of the parking uses would have varying peak demands.

Although the proposed site plan does not meet the minimum amount of off-street parking spaces as required in the code, the site plan and Parking Analysis considered shared parking throughout the site, including on Memorial Parkway as well as on the existing City Hall site and the parking lot of the current recreation center. The following is a break-down of those other parking opportunities:

1. There are an additional 56 parking spaces provided within the Memorial Parkway right-of-way intended to be shared parking for the entire development.
2. When the new facility opens, there will be 45 spaces on the west and south lots of City Hall and 71 spaces to the east of City Hall that could be utilized for recreation center or theatre events.

3. Additionally, the recreation center lots will also remain after construction of the new facility with approximately 170 spaces.

Although the Civic Center Master Plan contemplates redevelopment of the City Hall site and the site where the current recreation center exists, the parking lots can be shared across the development. At such time as those other parcels develop, shared parking will be contemplated in accordance with the master plan.

Based on this analysis, including the availability of parking on Memorial Parkway as well as the use of shared parking throughout the development, the Director has approved the parking modification as allowed in the UDO.

Compact parking is another element allowed for in the UDO. Up to 25% of the parking provided can be compact spaces, meaning spaces less than 9 feet in width. The proposal includes 20 compact parking spaces located in the south parking lot along the southern-most drive aisle. These spaces are proposed to be 8.5 feet in width.

Bicycle parking is required at a ratio of 1 space per 20 required off-street automobile parking spaces. Only 8 bicycle parking spaces would be required based on 145 required off-street spaces, the project will provide 16 bicycle parking spaces. Rack locations are proposed at the main entrances to both the Recreation Center and Theatre/Senior Center. The site plan contemplates accommodating this requirement by splitting up the bike parking stalls at both entrances to the facility.

In summary, staff finds that the proposed development is consistent with the requirements outlined in Section 11-4-6 of the UDO as it relates to off-street parking.

#### *Landscaping, Screening, and Fencing (Section 11-4-7).*

Staff finds that the proposed site plan is consistent with the Landscaping, Screening and Fencing standards outlined in Section 11-4-7 of the UDO. The following briefly describes the project in relation to these standards.

The PF district does not have a maximum impervious coverage requirement, however, the Northglenn Recreation Center site plan includes 40% of the site as impervious coverage, 11% of the site being landscaped, not counting area dedicated to stormwater detention which will also include trees, shrubs, and native seed coverage. Of the landscaped area, there is no proposed high-water use turf, and less than 50% of the landscaping plantings are high-water use, both of which meet requirements.

The existing Civic Center site does include a number of mature trees. To accommodate construction of Memorial Parkway and construction of the new Recreation Center building, 73 trees will need to be removed. The code contemplates a one-to-one ratio of trees removed to trees being planted. However, 92 trees are proposed to be planted to replace these trees. The proposed development exceeds that requirement. The proposed trees will be located throughout the site, with emphasis on screening along I-25, screening for the multifamily residential to the south, parking area landscape islands, and street trees along Northglenn Drive. Street trees and landscaping along Memorial Parkway is not included in the Site Plan for the Recreation Center.

Entry areas to the Recreation Center, and the Theatre and Senior Center will include decorative paving entry plazas and bench seating, and an outdoor tot lot play area on the eastern side of the building. There will also be a sun deck area with metal fencing adjacent to the indoor pool at the north east side of the building.

Three screened dumpster enclosure areas are included to the rear of the side and will utilize a combination of landscape and CMU block wall to screen. The existing chain link fence along I-25 will remain, as will the decorative metal fencing to the south installed by the multifamily development. All mechanical equipment will be screened, and is called out on the building elevations included in the site plan package.

*Site and Building Design (Section 11-4-8).*

Building Design Standards were reviewed in conformance with the nonresidential requirements. All elevations of the building met these requirements in terms of building orientation, entrances, massing reduction, exterior finish materials, comprehensive design, roof form, and transparency. One exemption to this general statement is the use of massing reduction elements on the rear of the building, or the west elevation facing I-25. The applicant submitted a request for Alternative Equivalent Compliance to the Director in accordance with code requirements. The proposed elevation meets the intent of the requirements, in part, because of the design speed of I-25 (the rate at which drivers are passing the building), see Attachment G for the letter. Staff has reviewed and agrees the use of materials is sufficient to achieve a visual interest.

Overall the design includes varying in height of the roof form, variation and recessed building facades, variation of materials including use of masonry, cement board, paneling, and windows, as well as entry canopies and curtain walls. A water slide feature also projects from the interior of the Recreation Center outside the building, before reentering at the ground level. In summary, staff finds that the proposed site plan meets the requirements outlined in Section 11-4-8 of the UDO pertaining to site and building design. The Director has approved an Alternative Equivalent Compliance allowance in accordance with the standards outline in Section 11-4-8(c)(2) of the UDO.

*Exterior Lighting (Section 11-4-9).*

A photometric plan was included in the site plan package and includes sufficient exterior lighting along the exterior of the building. The code limit the amount of light spillover on adjacent properties to not exceed one foot-candle, with an exception being where walkways, driveways and streets exist. Lightsillage onto I-25 will not exceed the one foot-candle limit. However, on the east site of the site, there is light spillage in excess of the code. However, those areas are adjacent to a private roadway as well as a walkway. Additional lighting in these locations are intended to provide safer conditions to pedestrians and vehicles in the area.

The code limits light poles to 25 feet in height. All proposed poles will comply with the maximum height. Additionally, all proposed light fixtures are downcast, so as to be consistent with code requirements.

In summary, staff finds that the proposed site plan is consistent with Section 11-4-9 of the UDO as it relates to exterior lighting.

*Signs (Section 11-4-10).*

Signage is not reviewed or approved through site plan review and will be reviewed administratively through a separate sign permit. However, the architectural elevations include a sample detail of conceptual signage that may be located on the building. Signage will be designed in compliance with this section of the code. If it is determined that a comprehensive sign plan will be required, then there may be future application to the Planning Commission for consideration.

**APPROVAL CRITERIA**

Applicable Approval Code Provisions.

The following sections of the code should be considered with review of this application.

- Section 11-6-6(b) and 11-6-6(c) of the UDO (Preliminary and Final Plat)
- Section 11-6-5(a) of the UDO (Site Plan Review)

Preliminary and Final Plat Procedure.

Section 11-6-6(b) and 11-6-6(c) of the UDO outlines that Planning Commission review and provide a recommendation to City Council, followed by City Council review and adoption for Preliminary Plat and any Final Plat that includes public infrastructure. The Northglenn Civic Center Subdivision includes public infrastructure in the form of Memorial Parkway and regional stormwater detention. Development of individual lots can only occur in conjunction with application and review of a Site Plan, Lots 2 and 3 and Tracts A & B of the Northglenn Civic Center Subdivision will remain undeveloped until site plan review takes place or possible replatting of the sites.

Criteria Analysis – Preliminary Plat.

Section 11-6-6(b)(3)(E)(iv) requires the proposed Preliminary Plat to comply with the following approval criteria. A brief staff analysis is provided of each:

<b>Criteria:</b>	<b>Staff Analysis:</b>
a) Is in conformance with the Comprehensive Plan;	The proposed Preliminary Plat is in conformance with the Comprehensive Plan and the Civic Center Master Plan, which was adopted as an Amendment to the Comprehensive Plan in 2017 and calls for the development of a new Recreation Center, Senior Center and Performing Arts Theatre.
b) Will comply with the applicable zoning district standards;	The proposed Preliminary Plat complies with the applicable zoning district standards as the PF district does not include minimum lot standards.
c) Will comply with use, dimensional, design, and	The proposed Preliminary Plat complies with development standards of the UDO as the PF district does not include minimum lot standards, provides

other development standards in this UDO;	public access to all lots with the dedication of Memorial Parkway as right-of-way, and does not preclude compliance to development standards for future phases of development.
d) Provides a layout of lots, roads, driveways, utilities, drainage, and other public facilities and services designed to minimize the amount of disturbance to sensitive natural areas or other community resources;	The proposed Preliminary Plat provides public access to all lots with the dedication of Memorial Parkway as right-of-way, includes a regional drainage detention area for this subdivision and the adjacent Stone Mountain subdivision to the south, and dedicates required utility easements to service the first phase of the Civic Center Master Plan development while allowing existing natural areas and community resources to remain operational.
e) Provides evidence of public water and sewer system connections;	The proposed Preliminary Plat provides detail of existing and proposed water and sewer utility lines.
f) Identifies and adequately mitigates known natural hazard areas; and	This criteria is not applicable as there are no FEMA designated flood hazard areas and no other known natural hazard areas.
g) Proposes reasonable project phasing in terms of infrastructure capacity.	The proposed Preliminary Plat is in conformance with the identified phasing of the Civic Center Master Plan.

Criteria Analysis – Final Plat.

Section 11-6-6(c)(4)(E)(iii) requires the proposed Final Plat to comply with the following approval criteria. A brief staff analysis is provided of each:

<b>Criteria:</b>	<b>Staff Analysis:</b>
a) The final plat conforms to the approved preliminary plat, including any conditions of approval;	The proposed Final Plat has been reviewed concurrently with the Preliminary Plat. Any conditions of approval would have to be satisfied prior to recordation of the Subdivision.
b) The development will substantially comply with all requirements of this UDO; and	The proposed Final Plat complies with all requirements of the UDO as the PF district does not include minimum lot standards, provides public access to all lots with the dedication of Memorial Parkway as right-of-way, and does not preclude compliance to development standards for future phases of development.
c) The development will comply with the applicable technical standards and specifications adopted by the City.	The proposed Final Plat complies with all technical standards and specifications adopted by the City as drainage, utility, and traffic studies were reviewed and approved by the City's Public Works Department and found to be in conformance with previous technical study completed as part of the Civic Center Master Plan.

Site Plan Procedure.

Section 11-6-5(a) of the UDO outlines that Planning Commission review and decide on any Major Site Plan application. The Northglenn Recreation Center Site Plan covers Lot 1 only of the Northglenn Civic Center Subdivision, assuming it is approved by City Council. Future subdivision of land, and any other applicable review processes will be required for site development elsewhere on the Civic Center property and will occur in a phased approach.

Criteria Analysis.

Section 11-6-5(b)(3)(E)(iv) requires the proposed Rezone to comply with the following approval criteria. A brief staff analysis is provided of each:

<b>Criteria:</b>	<b>Staff Analysis:</b>
a) The site plan complies with applicable standards in this UDO, including Article 2, Zoning Districts; Article 3, Use Regulations; Article 4, Development Standards; and any other applicable standards of this UDO.	The proposed Northglenn Recreation Center Site Plan complies with all applicable standards of the UDO as outlined in the analysis section of the staff report.
b) The site plan is consistent with any previously approved plat, Planned Development, or any other precedent land use approval; and	The proposed Northglenn Recreation Center Site Plan is consistent with the concurrently reviewed Northglenn Civic Center Preliminary and Final Plat.
c) The site plan is consistent with the Comprehensive Plan and other adopted City policies and plans	The proposed Northglenn Recreation Center Site Plan is consistent with the Comprehensive Plan and adopted Civic Center Master Plan.

**ADMINISTRATION**

Possible Actions by the Planning Commission.

The Planning Commission is not the final approval authority for review of a Preliminary Plat or a Final Plat that includes public infrastructure and shall review the application and provide a recommendation to the City Council. The Commission's options for recommendation are as follows:

1. Recommend approval of the request, with or without conditions or stipulations;
2. Recommend denial of the request for reasons stated; or
3. Table the request for further consideration or additional information.

The Planning Commission is the final approval authority for review of a Major Site Plan and shall review the application and make a final decision. The Commission's options for recommendation are as follows:



1. Approval of the request, with or without conditions or stipulations;
2. Denial of the request for reasons stated; or
3. Table the request for further consideration or additional information.

Next Steps.

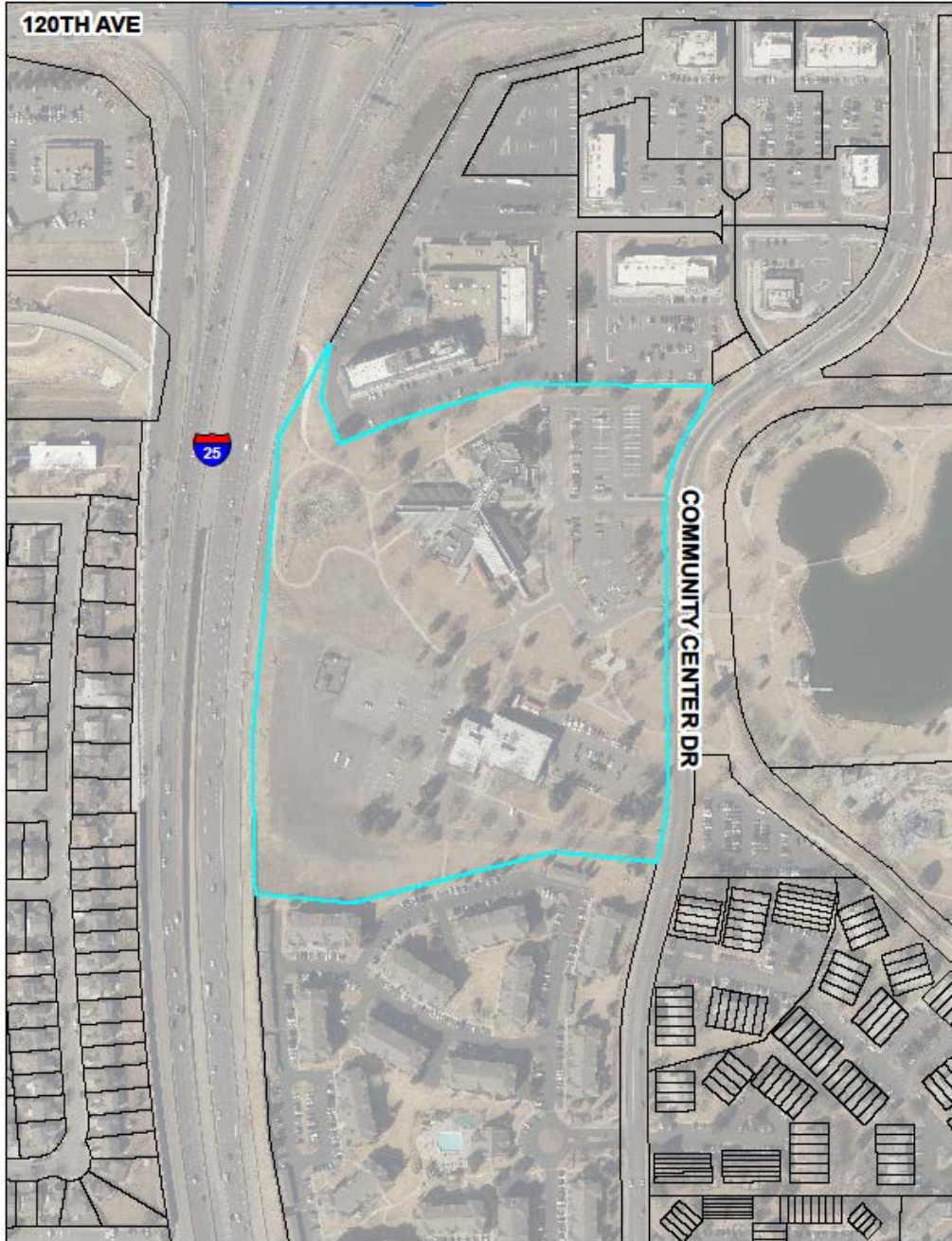
The Planning Commission's recommendation on the Preliminary and Final Plat will be forwarded to City Council for consideration. A public hearing for the application will be held at the September 23, 2019 City Council meeting. The Planning Commission's decision on the Major Site Plan will be conditioned upon City Council approval of a rezoning to PF (Public Facilities), which will hold public hearing at the September 23, 2019 meeting.

**ATTACHMENTS**

- Attachment A – Aerial Vicinity Map
- Attachment B – Zoning Map
- Attachment C – Northglenn Civic Center Subdivision Preliminary & Final Plat
- Attachment D – Northglenn Recreation Center Project Letter
- Attachment E – Northglenn Recreation Center Major Site Plan
- Attachment F – Northglenn Recreation Center Parking Analysis
- Attachment G – Request for Design Standards Alternative Equivalent Compliance

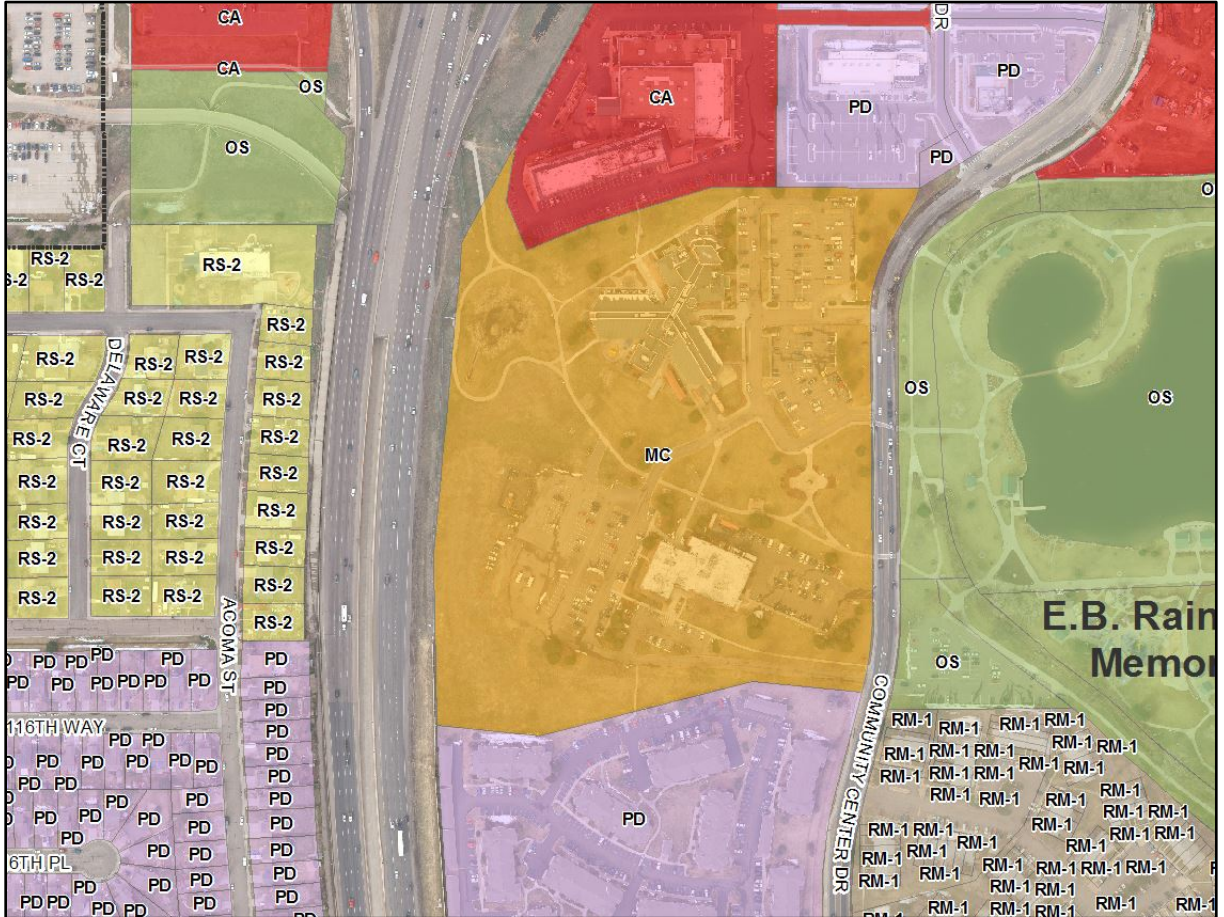
# ATTACHMENT A

Aerial Map



# ATTACHMENT B

## Zoning Map



Zoning Districts	
AG	(Light Green)
OS	(Green)
RS-1	(Light Yellow)
RS-2	(Yellow)
RM-1	(Light Brown)
RM-2	(Brown)
MN	(Orange)
CG	(Pink)
CA	(Red)
IN	(Grey)
PF	(Blue)
PD	(Purple)

# NORTHGLENN CIVIC CENTER SUBDIVISION PRELIMINARY PLAT

A REPLAT OF LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION LOCATED IN THE  
NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
CITY OF NORTHGLENN, COUNTY OF ADAMS,  
STATE OF COLORADO  
SHEET 1 OF 2

**LEGAL DESCRIPTION**

THE CITY OF NORTHGLENN, BEING THE OWNER OF THE REAL PROPERTY OF 20.59 ACRES DESCRIBED AS FOLLOWS:

LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION, EXCEPT THAT PORTION CONVEYED TO THE DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO IN SPECIAL WARRANTY DEED RECORDED JUNE 28, 2016 AT RECEPTION NO. 2016000051153, LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, STATE OF COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

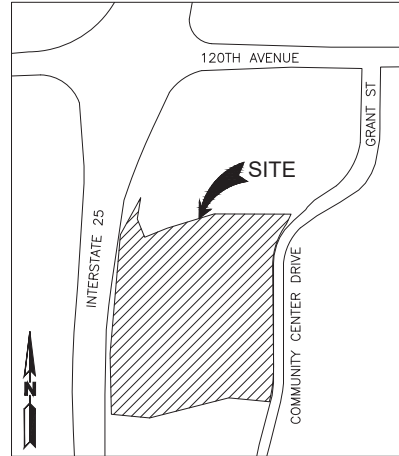
COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 3; THENCE S10°42'34"E A DISTANCE OF 862.02 FEET TO THE NORTHEAST CORNER OF SAID LOT 8, SAID POINT BEING THE POINT OF BEGINNING;  
THENCE ALONG THE EASTERLY LINE OF SAID LOT 8 THE FOLLOWING FIVE (5) CONSECUTIVE COURSES; 1) 60.23 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 343.20 FEET, A CENTRAL ANGLE OF 10°03'16", AND A CHORD WHICH BEARS S25°08'05"W A DISTANCE OF 60.15 FEET; 2) THENCE S30°09'43"W A DISTANCE OF 60.66 FEET; 3) THENCE 176.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 330.34 FEET, A CENTRAL ANGLE OF 30°41'21", AND A CHORD WHICH BEARS S14°49'02"W A DISTANCE OF 174.83 FEET; 4) THENCE S00°31'38"E A DISTANCE OF 560.91 FEET; 5) THENCE 190.05 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 729.58 FEET, A CENTRAL ANGLE OF 14°55'31", AND A CHORD WHICH BEARS S06°56'08"W A DISTANCE OF 189.52 FEET TO THE SOUTHEAST CORNER OF SAID LOT 8; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT 8 THE FOLLOWING THREE (3) CONSECUTIVE COURSES: 1) N84°33'13"W A DISTANCE OF 223.32 FEET; 2) THENCE S75°46'07"W A DISTANCE OF 445.46 FEET; 3) THENCE N84°33'13"W A DISTANCE OF 210.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8; THENCE ALONG THE WESTERLY LINE OF SAID LOT 8, N01°14'01"W A DISTANCE OF 330.41 FEET TO THE SOUTHERLY POINT OF SAID PARCEL RECORDED AT RECEPTION NO. 2016000051153; THENCE ALONG THE EASTERLY LINE OF SAID PARCEL, N05°11'41"E A DISTANCE OF 573.72 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 8; THENCE ALONG THE WESTERLY LINE OF SAID LOT 8 THE FOLLOWING TWO (2) CONSECUTIVE COURSES: 1) N03°14'41"E A DISTANCE OF 79.80 FEET; 2) THENCE N28°48'43"E A DISTANCE OF 229.93 FEET TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE ALONG THE NORTHERLY LINE OF SAID LOT 8 THE FOLLOWING FIVE (5) CONSECUTIVE COURSES: 1) S09°15'04"W A DISTANCE OF 117.28 FEET; 2) THENCE S21°57'39"E A DISTANCE OF 107.97 FEET; 3) THENCE N68°02'21"E A DISTANCE OF 132.40 FEET; 4) THENCE N73°04'07"E A DISTANCE OF 268.00 FEET; 5) THENCE S89°50'17"E A DISTANCE OF 420.75 FEET TO THE POINT OF BEGINNING.

**BASIS OF BEARINGS:**

BEARINGS ARE BASED ON THE NORTHERLY LINE OF THE NORTHWEST QUARTER OF SECTION 3, T2S, R68W OF THE 6TH P.M. BEARING N89°36'22"E, BEING MONUMENTED BY A FOUND 3 1/4" ALUMINUM CAP PLS # 10734 IN RANGE BOX AT THE NORTHWEST CORNER AND A FOUND 3 1/4" ALUMINUM CAP PLS # 36053 IN RANGE BOX AT THE NORTHEAST QUARTER CORNER.

**NOTES:**

- TRACT A AND B ARE TO BE DEVELOPED AS PARK SPACE FOR THE OVER-ALL SUBDIVISION DEVELOPMENT.



VICINITY MAP

1"=200'

**CONTACT INFORMATION**

**OWNER/DEVELOPER**  
CITY OF NORTHGLENN  
11701 COMMUNITY CENTER DRIVE  
NORTHGLENN, CO 80233  
303.451.8326

**ARCHITECT**  
BARKER RINKER SEACAT ARCHITECTURE  
3457 RINGSBY CT #200  
DENVER, CO 80216  
303.455.1366

**LANDSCAPE ARCHITECT**  
MIG, INC.  
518 17TH ST #630  
DENVER, CO 80202  
303.440.9200

**ENGINEER/SURVEYOR**  
MARTIN/MARTIN, INC.  
12499 W. COLFAX AVE.  
LAKEWOOD, CO 80215  
303.431.6100

**SURVEYOR'S CERTIFICATE:**

I, RICHARD NOBBE, DO HEREBY CERTIFY THAT THE SURVEY OF THE BOUNDARY OF CITY OF NORTHGLENN CIVIC CENTER SUBDIVISION WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAT ACCURATELY REPRESENTS SAID SURVEY.

RICHARD A. NOBBE, PLS 23899

FOR AND ON BEHALF OF MARTIN/MARTIN, INC.

**CITY APPROVAL CERTIFICATE:**

THIS IS TO HEREBY CERTIFY THAT ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THE CITY NORTHGLENN, COLORADO, HAS APPROVED THIS PRELIMINARY PLAT FOR THE CITY OF NORTHGLENN CIVIC CENTER SUBDIVISION IN CONFORMANCE WITH THE ORDINANCES OF THE CITY OF NORTHGLENN.

BY:

\_\_\_\_\_  
DIRECTOR, PLANNING, AND DEVELOPMENT

\_\_\_\_\_  
DIRECTOR, PUBLIC WORKS

\_\_\_\_\_  
CHAIR, PLANNING COMMISSION

\_\_\_\_\_  
MAYOR, CITY OF NORTHGLENN

**TITLE INSURANCE NOTE:**

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY MARTIN/MARTIN, INC, TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS OF WAY AND TITLE OF RECORDS. MARTIN/MARTIN, INC. RELIED UPON TITLE REPORT N0020244-010-T02-ES DATED DECEMBER 3RD, 2018 AS PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, TO DELINEATE THE AFORESAID INFORMATION.

SEPTEMBER 5, 2019



DRAWING LOCATION: G:\Willis\15.0346-Northglenn Civic Center Campus & Community Center Drive Master Plan\PLANS\PLAT\Plat\_03-19.dwg

# NORTHGLENN CIVIC CENTER SUBDIVISION

A REPLAT OF LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION LOCATED IN THE NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

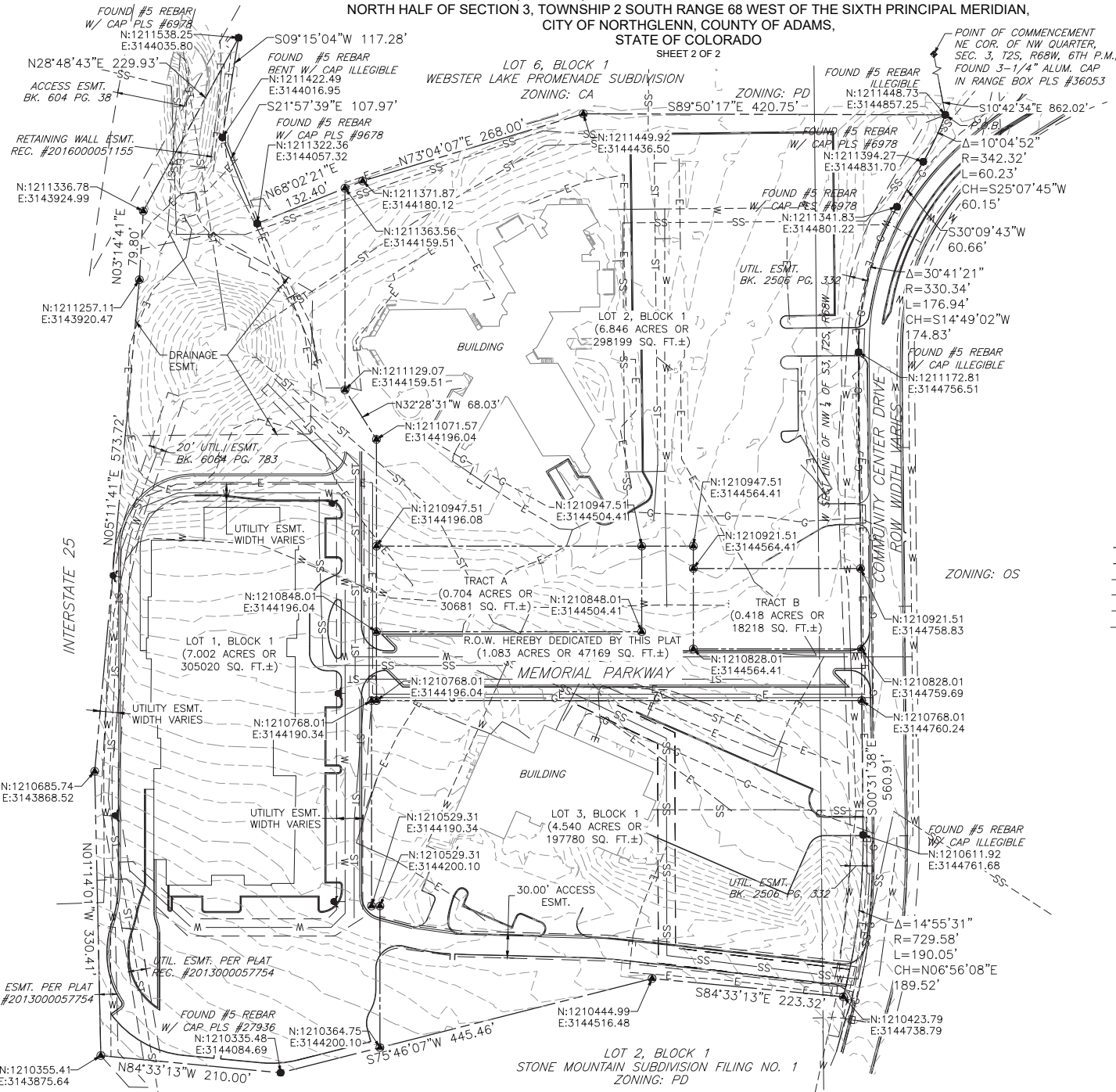
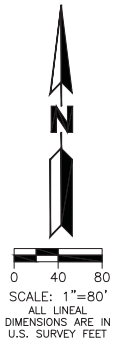
SHEET 2 OF 2

LOT SUMMARY	
LOT/BLOCK	AREA (ACRES)
LOT 1, BLOCK 1	7.0020
LOT 2, BLOCK 1	6.8460
LOT 3, BLOCK 1	4.5400
TRACT A	0.7040
TRACT B	0.4180
R.O.W.	1.0830
TOTAL	20.5930

LAND USE TABLE	
GROSS ACREAGE	20.593
NET ACREAGE	19.510
NUMBER OF LOTS	5
SMALLEST LOT	0.418
LARGEST LOT	6.993
NET ACREAGE FOR PUBLIC STREETS	1.083
NET ACREAGE FOR PRIVATE USE	11.395
NET ACREAGE FOR PUBLIC USE	8.115

## LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT
- ADJACENT PARCEL
- LOT LINE
- SECTION LINE
- FOUND MONUMENT AS DESCRIBED
- SET #4 REBAR WITH CAP PLS 23899



DRAWING LOCATION: G:\Willis\15.0346-Northglenn Civic Center Campus & Community Center Drive Master Plan\PLANS\PLAT\Plat\_03--19.dwg

LOT 2, BLOCK 1  
STONE MOUNTAIN SUBDIVISION FILING NO. 1  
ZONING: PD

SEPTEMBER 5, 2019

**MARTIN/MARTIN**  
CONSULTING ENGINEERS  
13499 WEST COLFAX AVENUE, LAKEWOOD, COLORADO 80225  
303.431.6100 MARTINMARTIN.COM

# NORTHGLENN CIVIC CENTER SUBDIVISION FINAL PLAT

A REPLAT OF LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION LOCATED IN THE  
NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
CITY OF NORTHGLENN, COUNTY OF ADAMS,  
STATE OF COLORADO  
SHEET 1 OF 2

**LEGAL DESCRIPTION**

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**BASIS OF BEARINGS:**

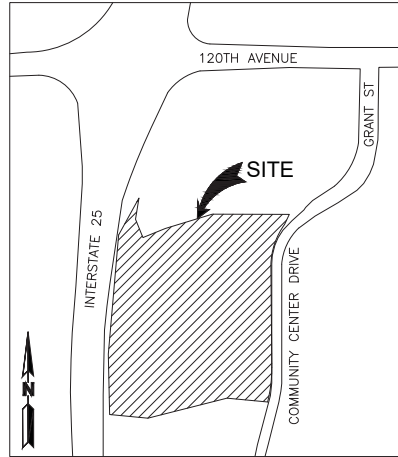
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**NOTES:**

- TRACT A AND B ARE TO BE DEVELOPED AS PARK SPACE FOR THE OVER-ALL SUBDIVISION DEVELOPMENT.

**TITLE INSURANCE NOTE:**

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VICINITY MAP  
1"=200'

**OWNERSHIP AND DEDICATION CERTIFICATE:**

THE UNDERSIGNED CERTIFIES TO AND FOR THE BENEFIT OF THE CITY COUNCIL OF NORTHGLENN CITY, COLORADO, THAT AS OF THE DATE SET FORTH BELOW, WE THE CITY OF NORTHGLENN BEING THE OWNER OF THE LAND DESCRIBED ABOVE, HAVE GOOD RIGHT AND FULL POWER TO CONVEY, ENCUMBER AND SUBDIVIDE SAME, AND THAT THE PROPERTY IS FREE AND CLEAR OF ALL LIENS, ENCUMBRANCES, EASEMENTS, AND RIGHTS-OF-WAY EXCEPT THE EASEMENTS AND RIGHTS-OF-WAY DEPICTED ON THIS PLAT. IN THE EVENT OF A DEFECT IN SAID TITLE WHICH BREACHES THE WARRANTIES IN THIS CERTIFICATE, THE UNDERSIGNED, JOINTLY AND SEVERALLY, AGREES TO REMEDY SUCH DEFECT UPON DEMAND BY NORTHGLENN CITY, WHICH REMEDY SHALL NOT BE DEEMED EXCLUSIVE.

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING THE OWNERS, MORTGAGEES, OR LIEN HOLDERS OF THE LAND DESCRIBED ABOVE, HAVE CAUSED THE LAND TO BE LAID OUT AND PLATTED UNDER THE NAME OF CITY OF NORTHGLENN CIVIC CENTER SUBDIVISION AND DO HEREBY DEDICATE AND GRANT TO THE PUBLIC FOREVER AND IN FEE SIMPLE THE ROADS AND OTHER PUBLIC WAYS AND LANDS SHOWN HEREON, AND DO HEREBY DEDICATE TO NORTHGLENN CITY, AND APPROPRIATE UTILITY COMPANIES AND EMERGENCY ASSISTANCE ENTITIES, THE EASEMENTS AS SHOWN HEREON FOR THE PURPOSES STATED IN COMPLIANCE WITH THE CITY OF NORTHGLENN SUBDIVISION REGULATIONS AND THE LANDOWNERS SHALL BEAR ALL EXPENSE INVOLVED IN PLANNING, DESIGN, AND CONSTRUCTION OF ALL PUBLIC IMPROVEMENTS EXCEPT TO THE EXTENT EXPRESSLY STATED IN ANY CITY-APPROVED AND RECORDED SUBDIVISION IMPROVEMENT AGREEMENT. DEDICATION SHALL BE FINAL UPON ADOPTION BY THE CITY COUNCIL ACCEPTING THE PROPERTY DEDICATED BY THIS PLAT. EXCEPT AS OTHERWISE STATED ON THIS PLAT, THERE SHALL BE NO LIMITATION OR RESTRICTION UPON THE PURPOSE OR PUBLIC USE OF PROPERTY DEDICATED BY THIS PLAT.

IN WITNESS WHEREOF; WE DO HEREUNTO SET OUT HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

**CITY APPROVAL CERTIFICATE:**

THIS IS TO HEREBY CERTIFY THAT ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THE CITY NORTHGLENN, COLORADO, HAS APPROVED THIS PRELIMINARY PLAT FOR THE CITY OF NORTHGLENN CIVIC CENTER SUBDIVISION IN CONFORMANCE WITH THE ORDINANCES OF THE CITY OF NORTHGLENN.

By: \_\_\_\_\_  
DIRECTOR, PLANNING, AND DEVELOPMENT

\_\_\_\_\_

\_\_\_\_\_

DIRECTOR, PUBLIC WORKS

\_\_\_\_\_

\_\_\_\_\_

CHAIR, PLANNING COMMISSION

\_\_\_\_\_

\_\_\_\_\_

MAYOR, CITY OF NORTHGLENN

\_\_\_\_\_  
(PRINTED NAME OF OWNER)

CORPORATE SEAL

STATE OF \_\_\_\_\_ )  
 ) SS.  
COUNTY OF \_\_\_\_\_ )

ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_  
BY WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY SEAL

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE:**

I, RICHARD A. NOBBE, DO HEREBY CERTIFY THAT THE SURVEY OF THE BOUNDARY OF CITY OF NORTHGLENN CIVIC CENTER SUBDIVISION WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAT ACCURATELY REPRESENTS SAID SURVEY.

\_\_\_\_\_  
RICHARD A. NOBBE, PLS 23899  
FOR AND ON BEHALF OF MARTIN/MARTIN, INC.

SEPTEMBER 5, 2019



DRAWING LOCATION: G:\Willis\15.0.346-Northglenn Civic Center Campus & Community Center Drive Master Plan\PLANS\PLAT\Plat\_03-19.dwg

# NORTHGLENN CIVIC CENTER SUBDIVISION

A REPLAT OF LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION LOCATED IN THE NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 2 OF 2

LOT SUMMARY	
LOT/BLOCK	AREA (ACRES)
LOT 1, BLOCK 1	7.0020
LOT 2, BLOCK 1	6.8460
LOT 3, BLOCK 1	4.5400
TRACT A	0.7040
TRACT B	0.4180
R.O.W.	1.0830
TOTAL	20.5930

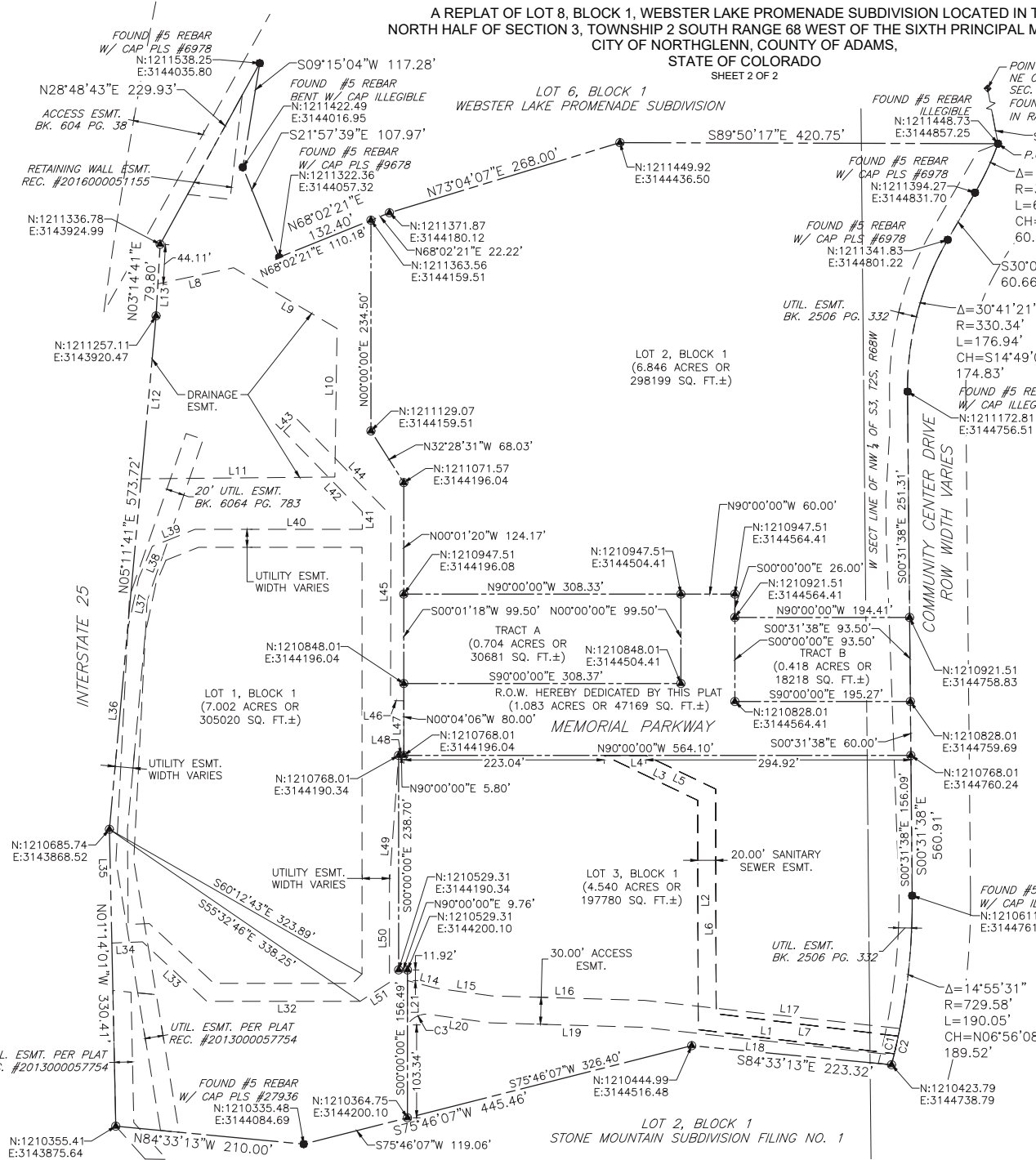
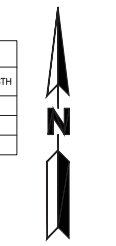
LAND USE TABLE	
GROSS ACREAGE	20.593
NET ACREAGE	19.510
NUMBER OF LOTS	5
SMALLEST LOT	0.418
LARGEST LOT	6.993
NET ACREAGE FOR PUBLIC STREETS	1.083
NET ACREAGE FOR PRIVATE USE	11.395
NET ACREAGE FOR PUBLIC USE	8.115

LINE TABLE		LINE TABLE		LINE TABLE	
NUMBER	DIRECTION	LENGTH	NUMBER	DIRECTION	LENGTH
L1	S82°57'48"E	219.80'	L18	N83°42'19"W	281.50'
L2	S00°07'56"E	255.12'	L19	N88°20'03"W	170.16'
L3	S64°19'06"E	115.38'	L20	N82°04'39"W	64.55'
L4	N90°00'00"W	46.15'	L21	N00°00'00"E	49.30'
L5	N64°19'06"W	86.33'	L32	S89°59'53"W	170.56'
L6	N00°07'56"W	250.02'	L33	N47°13'23"W	97.46'
L7	N82°57'48"W	204.12'	L34	S87°46'37"W	34.13'
L8	S75°57'42"W	86.14'	L35	N01°14'01"W	126.54'
L9	N59°35'10"W	133.45'	L36	N05°11'41"E	221.83'
L10	N00°51'13"E	165.35'	L37	N12°03'36"E	60.25'
L11	N89°28'14"E	215.39'	L38	N23°18'36"E	38.28'
L12	S05°11'41"W	182.03'	L39	N68°18'36"E	51.02'
L13	S03°14'41"W	35.69'	L40	N90°00'00"E	186.12'
L14	S75°17'05"E	32.80'	L41	N00°00'00"E	19.52'
L15	S82°02'56"E	62.60'	L42	N44°17'31"W	125.12'
L16	S88°19'31"E	170.33'	L43	N45°42'29"E	20.00'
L17	S83°42'19"E	285.58'	L44	S44°17'31"E	150.29'

CURVE TABLE					
NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	1°34'42"	729.58'	20.10'	N12°37'28"E	20.10'
C2	2°07'18"	814.61'	30.17'	S12°16'24"W	30.16'
C3	73°08'38"	25.00'	31.92'	S67°48'38"W	29.79'

## LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT
- - - ADJACENT PARCEL
- - - LOT LINE
- - - SECTION LINE
- FOUND CONUMENT AS DESCRIBED
- SET #4 REBAR WITH CAP PLS 23899



DRAWING LOCATION: G:\Willis\15.0346-Northglenn Civic Center Campus & Community Center Drive Master Plan\PLANS\PLAT\Plat\_03--19.dwg

SEPTEMBER 5, 2019

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CONSULTING ENGINEERS  
13489 WEST COLFAX AVENUE, LAKEWOOD, COLORADO 80215  
303.431.6100 MARTINMARTIN.COM



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RINKER  
SEACAT**  
ARCHITECTURE

May 10, 2019

Planning and Development  
City of Northglenn  
11701 Community Center Drive  
Northglenn, CO 80233

RE: Northglenn Civic Center Phase 1 - SDP Project Description

To whom it may concern:

In 2015, City Council agreed to initiate a new Civic Center Campus Master Planning study. This study was led by MIG, Inc. planning and landscape design. The study included a tremendous amount of public involvement, as well as City Council and staff direction. As a result of this study, it was agreed that the Police and Justice functions would move to a site on the west side of the I-25 where Community Center Drive crosses over the highway. This decision was instrumental in allowing the master plan to move forward with a mixture of uses including a new City Hall facility, a new Recreation, Senior Center and Theatre, privately developed housing opportunities, mixed use retail and a major landscaped parkway connecting E.B. Rains Jr. Memorial Park to the site. The overall concept was to activate the site during all hours of the day. This mix of uses will create a truly energized Civic Center Campus for the citizens of Northglenn.

City Council adopted the plan in 2017 and asked staff to begin the implementation of the plan. Phase 1 of the plan was to design the infrastructure to support the plan, as well as a replacement Recreation, Senior Center and Theatre, and create the Memorial Parkway connecting to the E.B. Rains Jr. Memorial Park. The City selected Barker Rinker Seacat to lead a feasibility study to solicit public opinion about a new center, create a program of spaces, develop a conceptual design for the parkway and Recreation, Senior Center and Theatre, and generate a budget for the projects moving forward. Over the course of 2017, the team created a Design Advisory Committee made up of citizens, business leaders, City Council, youth, and staff members to help guide the decision-making process.

The new Recreation, Senior Center, and Theatre will house a one-for-one replacement of the functions and services provided by the existing center, while increasing the level and scale of these services. The new center will include: a recreation component comprised of a competition lap pool, leisure pool, locker rooms, family cabanas, multi-use court gymnasium, running track, 2 fitness rooms, cardio area, weights area, licensed pre-school facility, and support spaces; a senior center component comprised of a senior lounge, a senior multi-purpose room, and support spaces; a theatre comprised of a 335 seat theatre with stage, theatre support spaces (scene shop, green rooms, dressing rooms, costume shop, rehearsal room, storage), box office, theatre bar, and administrative support spaces; a large multi-use community room that can be subdivided into 3 separate rooms for community functions with proximity to a warming kitchen; and administrative spaces to support to daily functions of the building.

**DENVER**  
3457 RINGSBY COURT  
UNIT 200  
DENVER, CO 80216  
303.455.1366

**DALLAS**  
129 S. MAIN ST.  
UNIT 230  
GRAPEVINE, TX 76051  
817.527.6880

BRSEARCH.COM



The resulting design and budget were supported by the Committee and presented to City Council in early 2018 for approval. Council approved and this has led the design team to the development of the plans you see in this submittal.

Thank you,

A handwritten signature in black ink, appearing to read "Frank Buono". The signature is written in a cursive, fluid style with a long horizontal stroke extending to the right.

Frank Buono

CIO, Principal



brsarch.com

Northglenn Recreation Center  
1 MEMORIAL PKWY NORTHGLENN, CO 80233

**NORTHGLENN RECREATION CENTER**  
LOT 1, BLOCK 1, NORTHGLENN CIVIC CENTER SUBDIVISION NORTHWEST QUARTER OF SECTION 3,  
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
**MAJOR SITE PLAN**

**LEGAL DESCRIPTION**

LOT 1, BLOCK 1, NORTHGLENN CIVIC CENTER SUBDIVISION, LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, STATE OF COLORADO.

SAID PARCEL CONTAINS 305,020 SF (7.002 ACRES), MORE OR LESS.

**CONTACTS**

**OWNER / DEVELOPER:**  
CITY OF NORTHGLENN  
11701 COMMUNITY CENTER DRIVE  
NORTHGLENN, CO 80233  
PH: 303-450-8739  
CONTACT: ERIC ENSEY  
EMAIL: eensey@northglenn.org

**ARCHITECT:**  
BRS ARCHITECTS  
3547 RINGSBY COURT #200  
DENVER, CO 80216  
PH: 303-450-1389  
CONTACT: DANIEL MATOBA  
EMAIL: danielmatoba@brsarch.com

**LANDSCAPE ARCHITECT:**  
MIG, INC.  
518 17TH STREET SUITE B30  
DENVER, CO 80202  
PH: 303-440-9200  
CONTACT: PAUL KILHN  
EMAIL: paulk@mig.com

**CIVIL ENGINEER:**  
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12498 WEST COLFAX AVE  
LAKEWOOD, CO 80215  
PH: 303-431-8100  
CONTACT: JOE RAUSCH  
EMAIL: jrausch@martinmartin.com

**SURVEYOR:**  
MARTIN MARTIN  
12498 WEST COLFAX AVE  
LAKEWOOD, CO 80215  
PH: 303-431-8100  
CONTACT: RICK NOBBE  
EMAIL: rnobbe@martinmartin.com

**NOTE**

SIGNAGE IS NOT REVIEWED AS PART OF THIS SITE PLAN APPROVAL. ALL SIGNAGE REQUIRES A SEPARATE REVIEW IN ACCORDANCE WITH THE REQUIREMENTS OF THE SIGN CODE.

**VICINITY MAP**



**SITE DATA**

<b>ZONING</b>	PF	PUBLIC FACILITIES			
<b>LOT SIZE</b>	7.002 ACRES (± 305,020 SF)				
<b>LOT AND ZONING STANDARDS (BY NORTHGLENN UDO)</b>	<b>REQ. PERCENT OF TOTAL AREA</b>	<b>SQUARE FOOTAGE OR ACREAGE</b>	<b>PERCENT OF TOTAL AREA</b>		
BUILDING COVERAGE	70% (MAX.)	67,524	30%		
LANDSCAPING COVERAGE	NA	33,004	15%		
DETECTION POND COVERAGE (CONSIDERED REGIONAL FACILITY)	NA	81,339	36%		
IMPERVIOUS COVERAGE PARKING COVERAGE	NA	123,152 23,274	55% 10%		
<b>PARKING COUNTS</b>	<b>REQUIRED</b>	<b>PROPOSED</b>			
	<b>TOTAL</b>	<b>STANDARD</b>	<b>COMPACT</b>	<b>VAN ACCESSIBLE</b>	<b>ACCESSIBLE TOTAL</b>
PARKING SPACES (COMBINED) SOUTH PARKING LOT NORTHGLENN WAY	145 (SEE RATIOS BELOW) 5	106 82 24	20 20 --	4 2 2	3 3 -- 133 107 26
DEDICATED R.O.W.		52	--	2	2 56
PARKING TOTALS:		158	20	6	5 189
BICYCLE PARKING:	1 PER 20 PARKING SPACES (180 / 20 = 9)	--	--	--	-- 16 (2/RACK)
<b>TOTAL BUILDING AREA:</b>	<b>SQUARE FEET</b>	<b>PARKING RATIOS</b>		<b>REQ. PARKING SPACES</b>	
RECREATION ADMIN AND BACK OF HOUSE THEATRE SPACES THEATRE SEATS (555 total seats) SENIOR CENTER COMMUNITY ROOMS	53,019 GSF 21,362 GSF 3,119 GSF 2,141 GSF 7,823 GSF	1 SPACE / 1,000 SF 1 SPACE / 1,000 SF 1 SPACE / 6 SEATS 1 SPACE / 100 SF 1 SPACE / 1,000 SF		54 22 56 5 8	
<b>TOTAL REQUIRED PARKING SPACES:</b>				<b>145</b>	
<b>SETBACKS:</b>					
FRONT (MIN.)	15' MIN.	8'- 10'			
SIDE (MAX.)	5' MIN.	SOUTH: 20' - 5'; NORTH: 32' - 7'			
REAR	10' MIN.	41' - 5'			
HEIGHT	65' MAX.	45' - 4"			

**SHEET INDEX**

- 1 OF 15 COVER SHEET
- 2 OF 15 SITE PLAN
- 3 OF 15 GRADING & DRAINAGE PLAN
- 4 OF 15 GRADING & DRAINAGE PLAN
- 5 OF 15 GRADING & DRAINAGE PLAN
- 6 OF 15 UTILITY PLAN
- 7 OF 15 UTILITY PLAN
- 8 OF 15 LANDSCAPE NOTES AND PLANT LIST
- 9 OF 15 LANDSCAPE PLAN
- 10 OF 15 LANDSCAPE PLAN
- 11 OF 15 LANDSCAPE DETAILS
- 12 OF 15 BUILDING ELEVATIONS AND MATERIALS
- 13 OF 15 PHOTOMETRIC PLAN
- 14 OF 15 LIGHTING DETAILS
- 15 OF 15 LIGHTING FIXTURE CUTSHEETS

**CITY APPROVAL CERTIFICATE**

THIS IS TO HERBY CERTIFY THAT ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THE CITY OF NORTHGLENN, COLORADO, HAS APPROVED THIS SITE PLAN, FOR THE DEVELOPMENT OF NORTHGLENN RECREATION CENTER IN CONFORMANCE WITH THE ORDINANCES OF THE CITY OF NORTHGLENN.

BY: \_\_\_\_\_  
CHAIR, PLANNING COMMISSION

\_\_\_\_\_  
DIRECTOR, PLANNING AND DEVELOPMENT

\_\_\_\_\_  
DIRECTOR, PUBLIC WORKS

**OWNER'S CERTIFICATE**

I, ANTONIO ESQUIBEL, AS REPRESENTATIVE OF THE OWNER OF THE 20.50 ACRES TRACT DESCRIBED ABOVE AND FOREGOING SITE PLAN "NORTHGLENN RECREATION CENTER" DO HEREBY ESTABLISH SAID DEVELOPMENT OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS AND NOTATION ON SAID SITE PLAN. I FURTHER CERTIFY THAT ALL IMPROVEMENTS SHOWN ON SAID SITE PLAN SHALL BE CONSTRUCTED IN LOCATION SHOWN.

THE CITY OF NORTHGLENN HAS CAUSED THESE PRESENTS TO BE SIGNED BY ANTONIO ESQUIBEL, ITS MAYOR THEREINTO AUTHORIZED, ATTESTED BY ITS CITY CLERK, JOHANNA SMALL, AND ITS COMMON SEAL HEREUNTO AFFIXED BY THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_  
ANTONIO ESQUIBEL  
MAYOR OF THE CITY OF NORTHGLENN

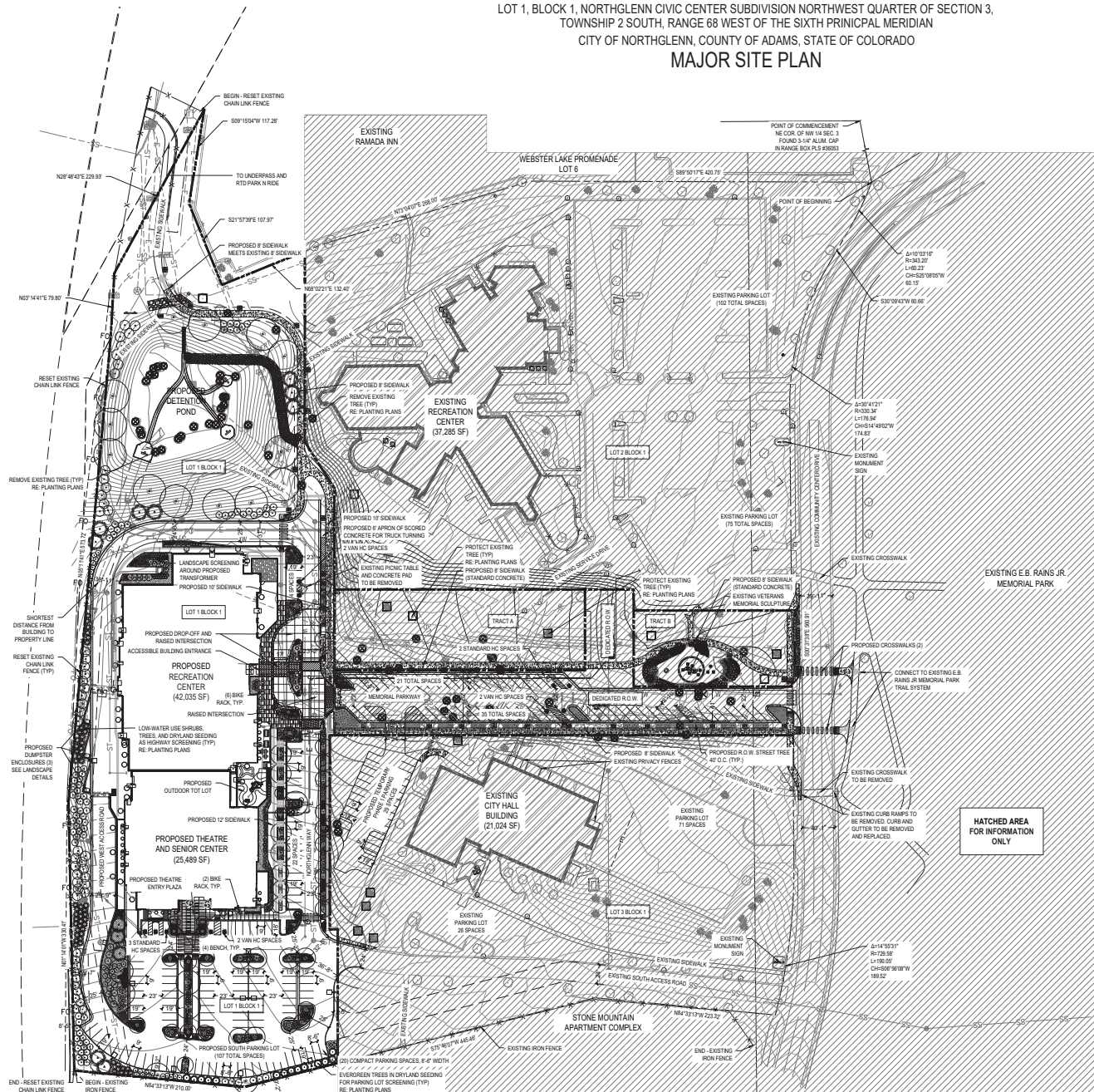
ATTEST:  
BY: \_\_\_\_\_  
JOHANNA SMALL, CMC  
CITY CLERK  
(AFFIX CORPORATE SEAL)

Project Number: 2017.024.02  
Issue: Major Site Plan  
Date: 09/05/2019  
Drawn By: LMJ  
Checked By: DM

Revisions:  
Rev: \_\_\_\_\_ Date: \_\_\_\_\_

Sheet title:  
COVER SHEET

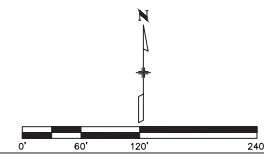
**NORTHGLENN RECREATION CENTER**  
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 TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
**MAJOR SITE PLAN**



**LEGEND**

- PERIMETER BOUNDARY
- LOT BOUNDARY
- EXISTING FENCING
- PROPOSED CONCRETE SIDEWALK / PLAZA
- PROPOSED LANDSCAPE AREA - SEE LANDSCAPE PLANS
- EXISTING TREES
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE PROTECTED
- PROPOSED TREES - SEE LANDSCAPE PLANS
- ADA / HANDICAP (HC) PARKING STALL
- ACCESSIBLE WALKWAYS

**HATCHED AREA FOR INFORMATION ONLY**



brsaroh.com



**Northglenn Recreation Center**  
 1 MEMORIAL PKWY NORTHGLENN, CO 80233

Project Number: 2017.024.02  
 Issue: Major Site Plan  
 Date: 09/05/2019  
 Drawn By: KMC  
 Checked By: PMK  
 Revisions: Rev. Date:

Sheet title: SITE PLAN

**SHEET 2 OF 15**  
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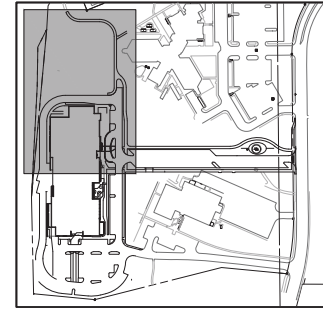
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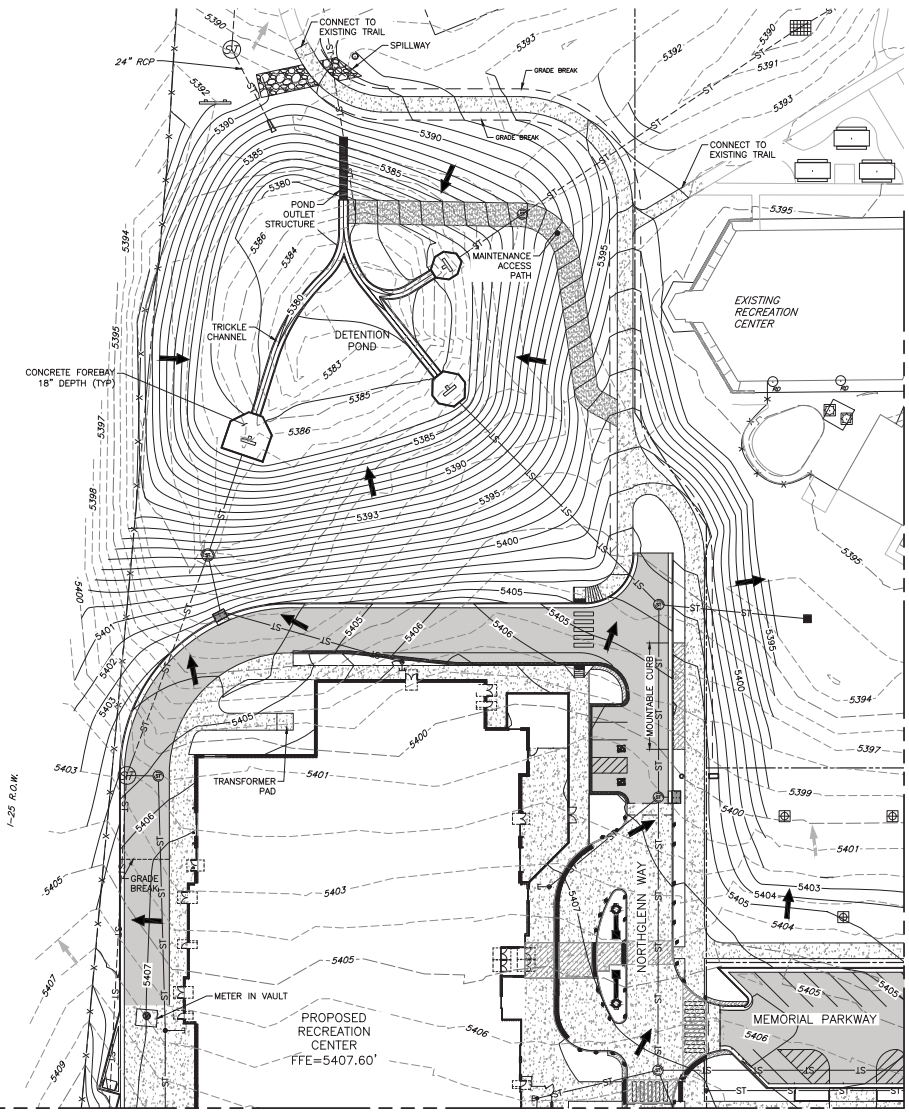
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KEY MAP

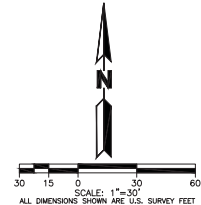


MATCH LINE SHEET 4

MATCH LINE SHEET 5

**LEGEND**

EXISTING		PROPOSED
---	PROPERTY LINE	---
- - - -	RIGHT-OF-WAY LINE	- - - -
- - - -	SECTION LINE	- - - -
- - - -	EASEMENT	- - - -
- - - -	RETAINING WALL	- - - -
- - - -	CURB & GUTTER (6" VERTICAL W/ CATCH PAN)	- - - -
- - - -	CURB & GUTTER (6" VERTICAL W/ SPILL PAN)	- - - -
- - - -	FLUSH CURB	- - - -
- - - -	CONTOURS	- - - -
- - - -	STORM SEWER	- - - -
⊙	STORM MANHOLE	⊙
- - - -	ROOF DRAIN	- - - -
□	INLET	□
<	FLARED END SECTION	<
+	SIGN	+
→	GRADING ARROW	→
→	DESCRIPTIONS	→
▨	ASPHALT PAVEMENT	▨
▩	CONCRETE PAVEMENT	▩
▧	COLORED CONCRETE PAVEMENT	▧
▦	BRICK PAVERS	▦
▤	GRAVEL PATH	▤



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 PLOTTED FROM (PROVIDED) ASCE (38) UTILITY QUALITY LEVEL D  
 (Q<sub>4</sub>) AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS  
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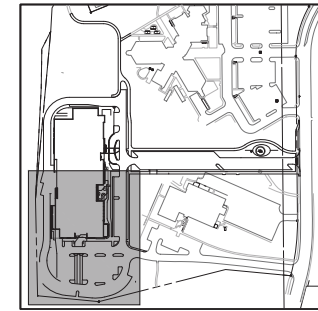
**Northglenn Recreation Center**  
 1 MEMORIAL PKWY NORTHGLENN, CO 80233

Project Number: 2017.024.02  
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 Checked By: JER  
 Revisions: Rev. Date:

Sheet title: GRADING & DRAINAGE

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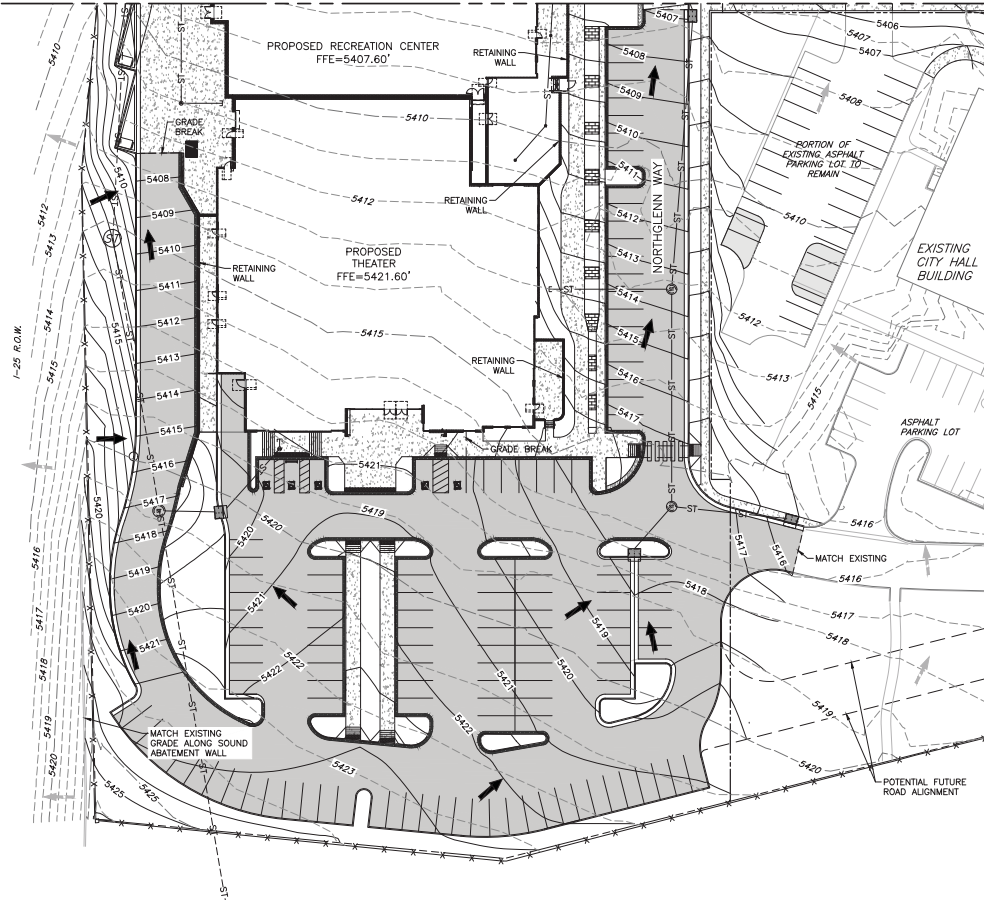
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KEY MAP

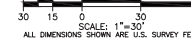
MATCH LINE SHEET 3

MATCH LINE SHEET 5



**LEGEND**

EXISTING		PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	SECTION LINE	---
---	EASEMENT	---
---	RETAINING WALL	---
---	CURB & GUTTER (6" VERTICAL W/ GATCH PAN)	---
---	CURB & GUTTER (6" VERTICAL W/ SPILL PAN)	---
---	FLUSH CURB	---
---	CONTOURS	---
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---	STORM MANHOLE	---
---	ROOF DRAIN	---
---	INLET	---
---	FLARED END SECTION	---
---	SIGN	---
---	GRADING ARROW	---
---	DESCRIPTIONS	---
---	ASPHALT PAVEMENT	---
---	CONCRETE PAVEMENT	---
---	COLORED CONCRETE PAVEMENT	---
---	BRICK PAVERS	---
---	GRAVEL PATH	---



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12450 WEST COLFAX AVENUE, LAKEWOOD, COLORADO 80235  
 MAIN: 303.433.6300 MARTIN@MARTIN.COM

**Northglenn Recreation Center**

1 MEMORIAL PKWY NORTHGLENN, CO 80233

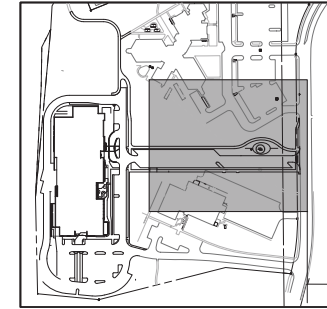
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SHEET 4 OF 16

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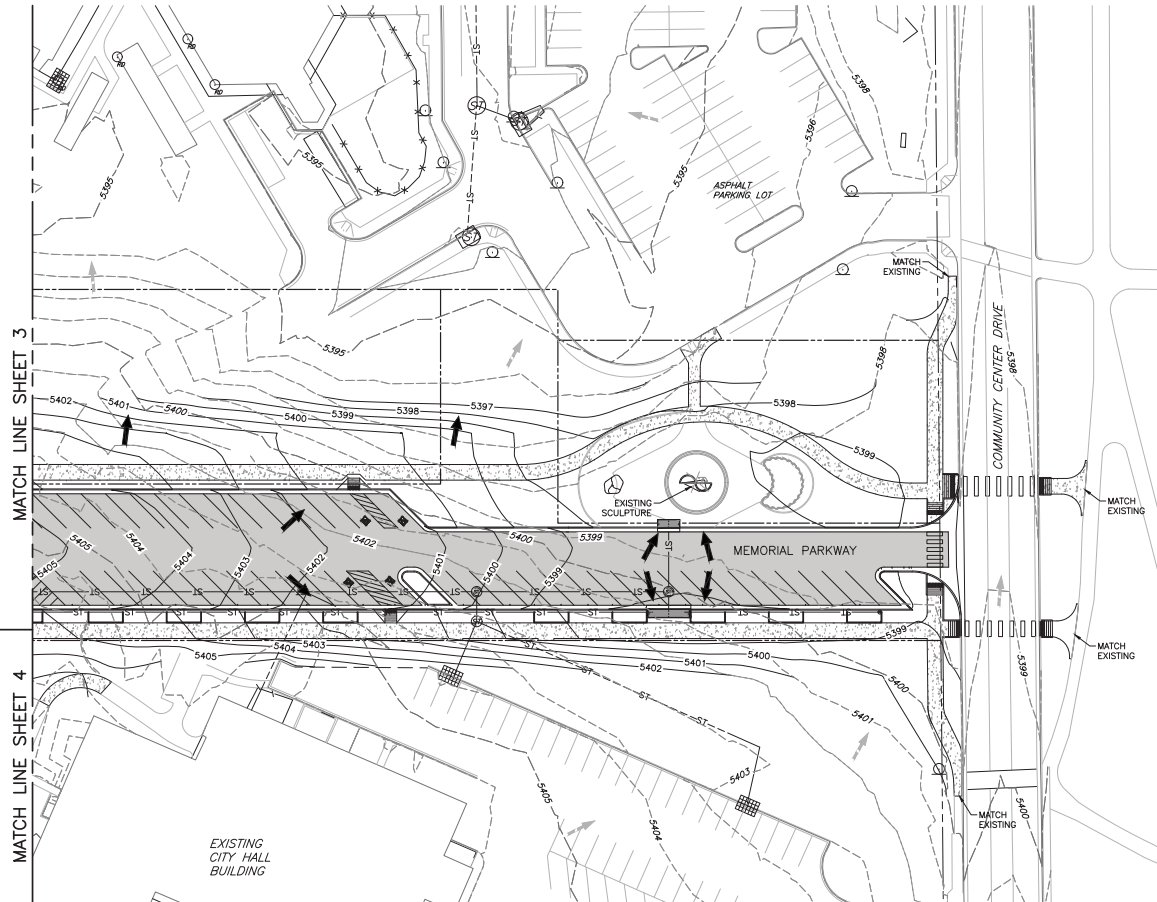


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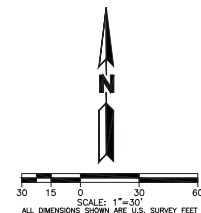
**MARTIN/MARTIN**  
ENGINEERS, ARCHITECTS  
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 MAIN 303.433.6300 MARTIN/MARTIN.COM

**Northglenn Recreation Center**  
 1 MEMORIAL PKWY NORTHGLENN, CO 80233



**LEGEND**

EXISTING		PROPOSED
---	PROPERTY LINE	---
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---	INLET	---
---	FLARED END SECTION	---
---	SIGN	---
---	GRADING ARROW	---
---	DRIVE	---
---	ASPHALT PAVEMENT	---
---	CONCRETE PAVEMENT	---
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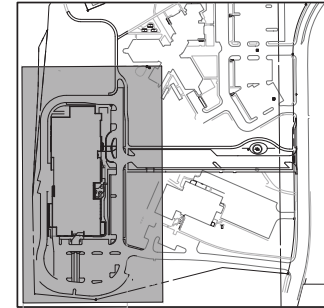
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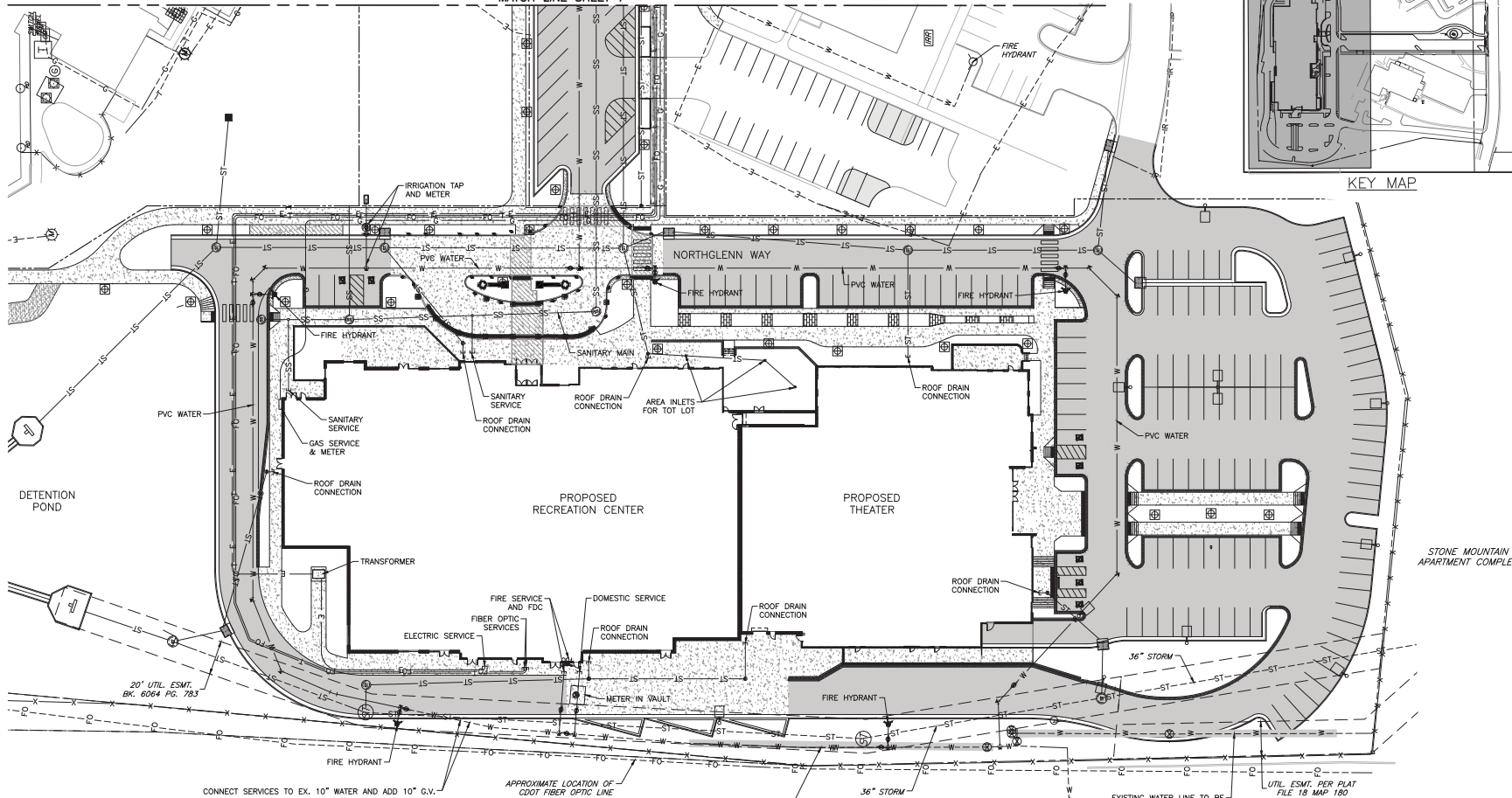
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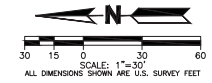


KEY MAP



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---	PROPERTY LINE	---	PROPERTY LINE	---	SS	---	SS	---	FO	---	FO
---	RIGHT-OF-WAY LINE	---	RIGHT-OF-WAY LINE	⊙	SANITARY MANHOLE	---	FO	---	FO	---	FO
---	SECTION LINE	---	SECTION LINE	⊙	CLEAN OUT	---	SS	---	FO	---	FO
---	EASEMENT	---	EASEMENT	---	WATER LINE	---	W	---	FO	---	FO
---	RETAINING WALL	---	RETAINING WALL	---	MAPPED WATER LINE	---	W	---	FO	---	FO
---	CURB & GUTTER	---	CURB & GUTTER	---	WATER VALVE	---	W	---	FO	---	FO
---	STORM SEWER	---	ST	---	FIRE HYDRANT	---	CT	---	FO	---	FO
---	STORM MANHOLE	---	ST	---	WATER METER	---	CT	---	FO	---	FO
---	ROOF DRAIN	---	RD	---	IRRIGATION LINE	---	IR	---	FO	---	FO
---	STORM INLET	---	RD	---	IRRIGATION CONTROL	---	IR	---	FO	---	FO
---	FLARED END SECTION	---	RD	---	ELECTRIC LINE	---	E	---	FO	---	FO
---		---	RD	---	LIGHT POLE	---	E	---	FO	---	FO
---		---	RD	---		---	E	---	FO	---	FO
---		---	RD	---		---	E	---	FO	---	FO



**NOTES:**  
 1. MINIMUM 24" VERTICAL CLEARANCE BETWEEN WATER MAINS & SANITARY SEWER AND BETWEEN WATER MAINS & STORM SEWER SHALL BE PROVIDED.



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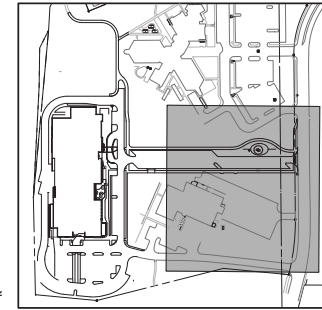
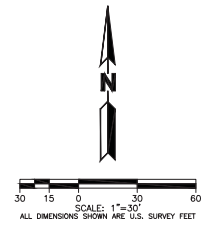
**North Glenn Recreation Center**  
 1 MEMORIAL PKWY NORTHGLENN, CO 80233

Project Number: 2017.024.02  
 Issue: Major Site Plan  
 Date: 09/05/2019  
 Drawn By: ANK  
 Checked By: JER  
 Revisions: Rev: Date:

Sheet Title: UTILITY PLAN

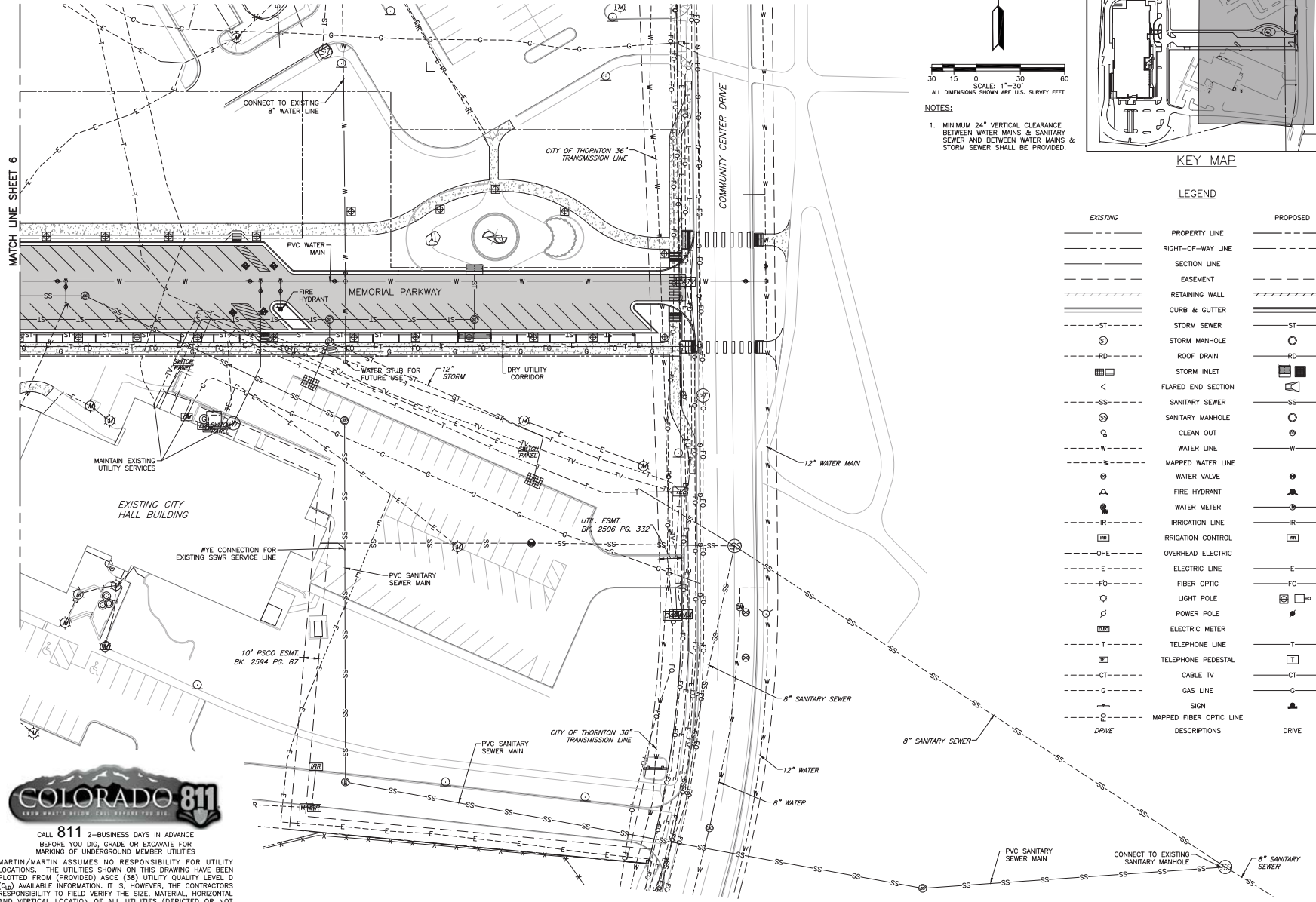
**SHEET 6 OF 16**  
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**NORTHGLENN RECREATION CENTER**  
 LOT 1, BLOCK 1, NORTHGLENN CIVIC CENTER SUBDIVISION NORTHWEST QUARTER OF SECTION 3,  
 TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
**MAJOR SITE PLAN**



KEY MAP

NOTES:  
 1. MINIMUM 24" VERTICAL CLEARANCE BETWEEN WATER MAINS & SANITARY SEWER AND BETWEEN WATER MAINS & STORM SEWER SHALL BE PROVIDED.



**LEGEND**

EXISTING		PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	SECTION LINE	---
---	EASEMENT	---
---	RETAINING WALL	---
---	CURB & GUTTER	---
-ST-	STORM SEWER	ST
⊙	STORM MANHOLE	⊙
-RD-	ROOF DRAIN	RD
⊠	STORM INLET	⊠
<	FLARED END SECTION	⊠
---	SANITARY SEWER	SS
⊙	SANITARY MANHOLE	⊙
⊙	CLEAN OUT	⊙
---	WATER LINE	W
---	MAPPED WATER LINE	---
⊙	WATER VALVE	⊙
⊙	FIRE HYDRANT	⊙
⊙	WATER METER	⊙
---	IRRIGATION LINE	IR
⊠	IRRIGATION CONTROL	⊠
---	OVERHEAD ELECTRIC	OHE
---	ELECTRIC LINE	E
---	FIBER OPTIC	FO
⊙	LIGHT POLE	⊙
⊙	POWER POLE	⊙
⊠	ELECTRIC METER	⊠
---	TELEPHONE LINE	T
⊠	TELEPHONE PEDESTAL	⊠
---	CABLE TV	CT
---	GAS LINE	G
⊙	SIGN	⊙
---	MAPPED FIBER OPTIC LINE	---
---	DRIVE	---
---	DRIVE	---



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SHEET 7 OF 16  
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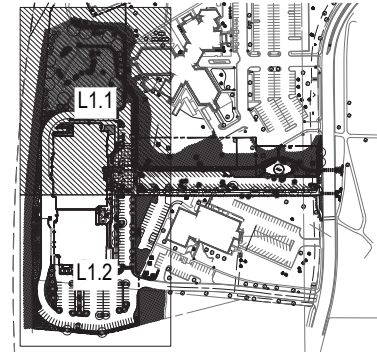
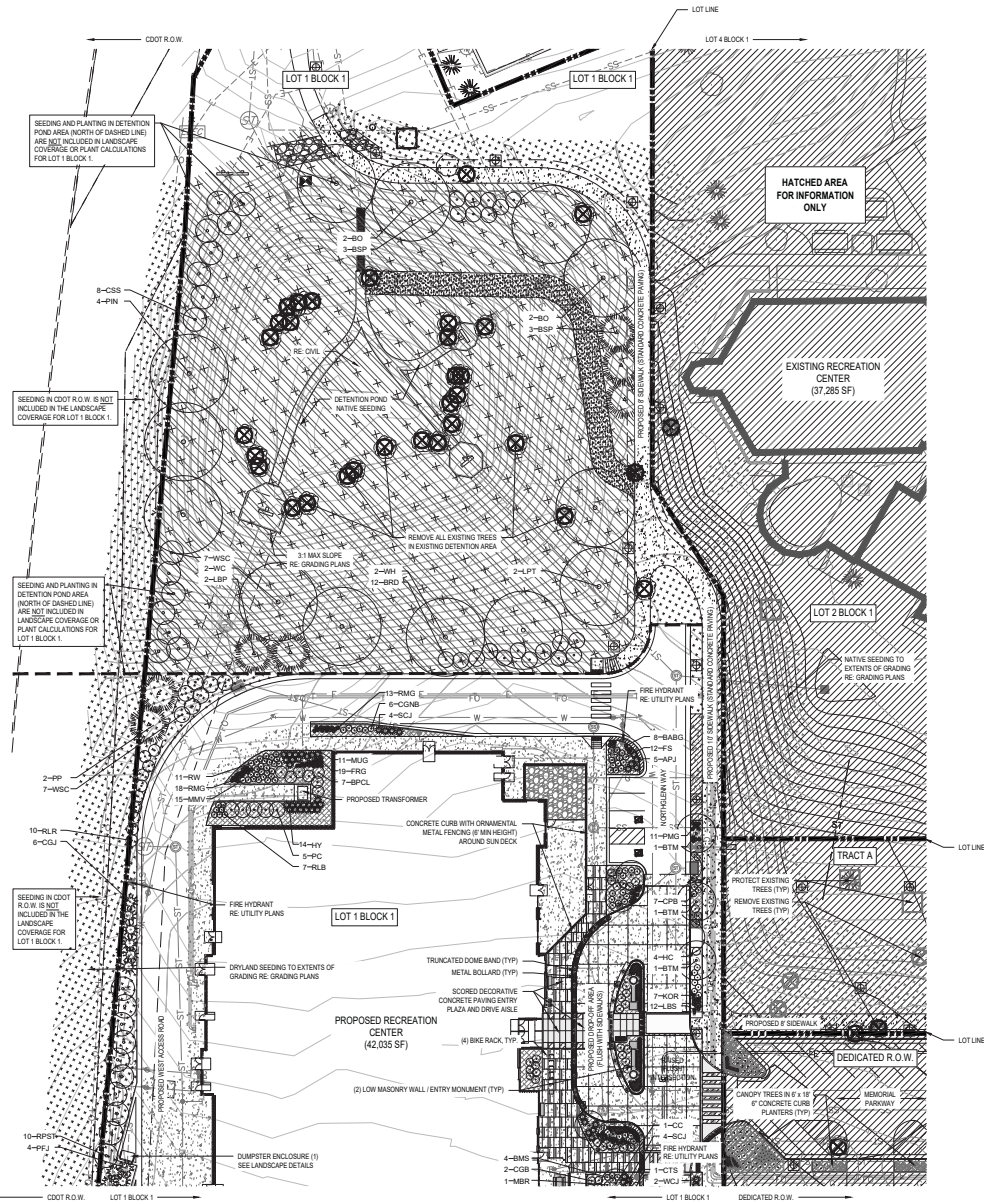


CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES  
 MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM (PROVIDED) ASCE (38) UTILITY QUALITY LEVEL D (Q) AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES (DEPICTED OR NOT DEPICTED) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.



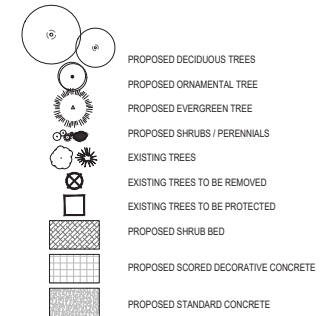


**NORTHGLENN RECREATION CENTER**  
 LOT 1, BLOCK 1, NORTHGLENN CIVIC CENTER SUBDIVISION NORTHWEST QUARTER OF SECTION 3,  
 TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
**MAJOR SITE PLAN**



KEYMAP

**LEGEND**

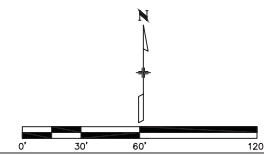


NOTES:  
 1. ALL PLANTING SHALL BE LOCATED TO ENSURE A MINIMUM OF 3'-0" FROM FIRE HYDRANTS AT THE PLANT'S MATURITY.

**LANDSCAPE TABLE**

Total Landscape Coverage Lot 1 Block 1: 33,004 SF (SEE NOTE #1)		Required per UDO	Lot 1 Block 1	Tract A, Tract B, and Dedicated R.O.W.	TOTALS
Existing Trees Removed	--	--	38	35	73
Proposed Trees	66	75	17	17	92
Proposed Shrubs / Orn. Grasses	No Requirement	1,054	490	490	1,544
High-Water Use Landscaping (Shrub Bed)	<30% of Total Landscape Coverage	47.8%	9.5%	9.5%	
High-Water Use Turf	<30% of Total Landscape Coverage	0%	0%	0%	

LANDSCAPE TABLE NOTES:  
 1. UDO PLANTING REQUIREMENTS: 1 TREE PER 100 SF OF LANDSCAPE AREA.  
 2. HIGH-WATER USE LANDSCAPING AND TURF FOR LOT 2, LOT 3, AND DEDICATED R.O.W. ARE QUANTIFIED AS PERCENTAGES OF THE COMBINED TOTAL LANDSCAPE COVERAGE OF THOSE LOTS, AND ARE NOT PERCENTAGES OF THE LANDSCAPE COVERAGE FOR LOT 1 BLOCK 1.



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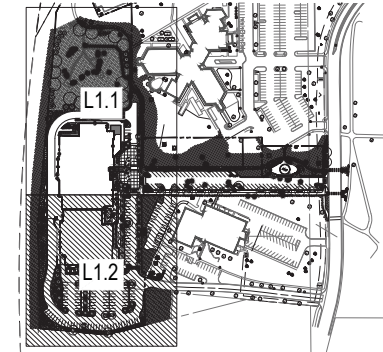
Northglenn Recreation Center  
 1. MEMORIAL PKWY NORTHGLENN, CO 80233

Project Number: 2017.024.02  
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 Drawn By: KMC  
 Checked By: PMK

Sheet title:  
 LANDSCAPE PLAN

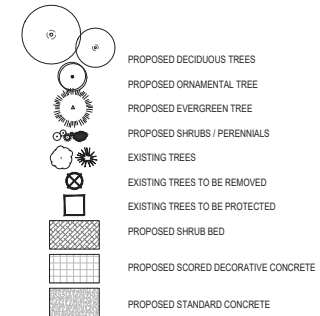
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**SHEET 9 OF 15**  
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**NORTHGLENN RECREATION CENTER**  
 LOT 1, BLOCK 1, NORTHGLENN CIVIC CENTER SUBDIVISION NORTHWEST QUARTER OF SECTION 3,  
 TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
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**MAJOR SITE PLAN**



KEYMAP

LEGEND

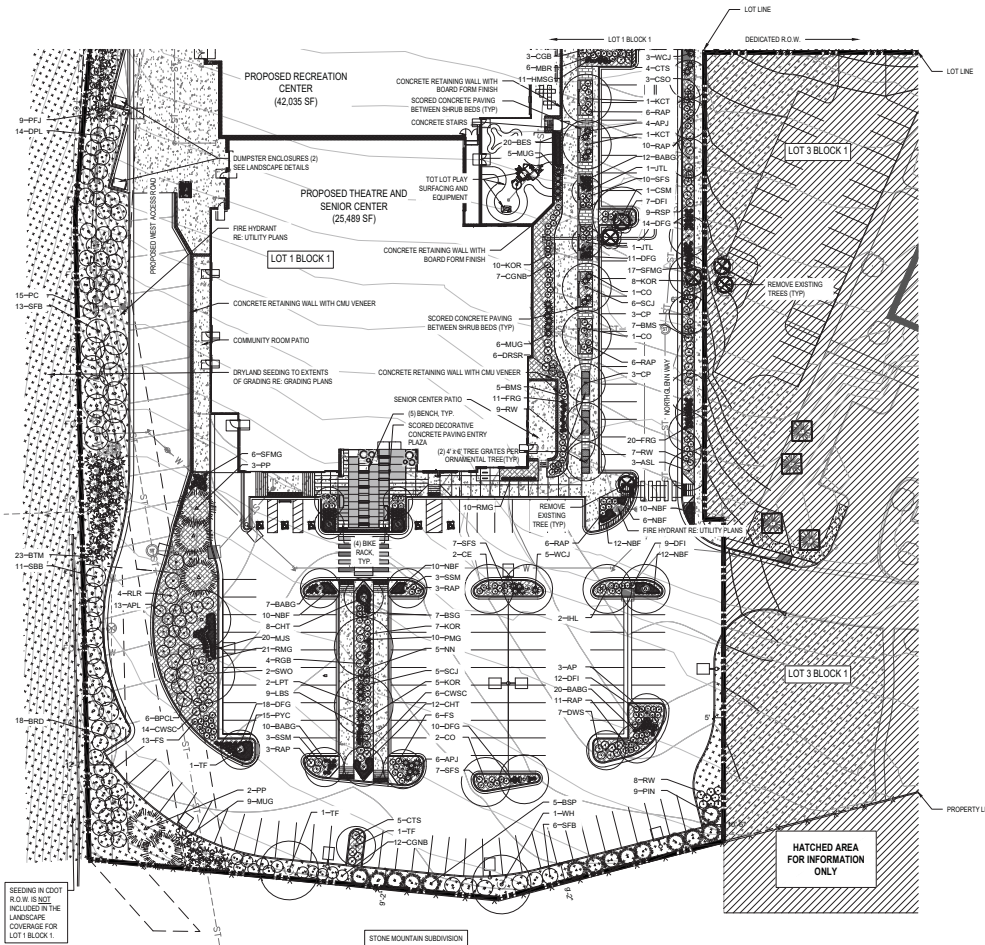


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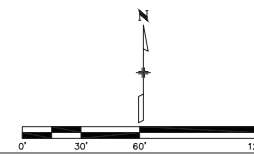
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SEEDING IN CDOT R.O.W. DISTRICT INCLUDED IN THE LANDSCAPE COVERAGE FOR LOT 1 BLOCK 1

STONE MOUNTAIN SUBDIVISION

HATCHED AREA FOR INFORMATION ONLY



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**North Glenn Recreation Center**  
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 Checked By: PMK  
 Revisions: Rev. Date:

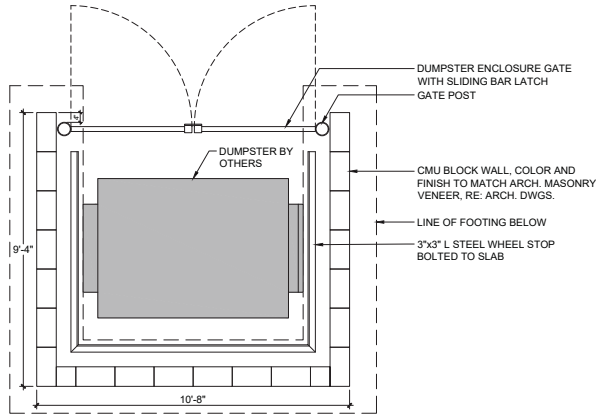
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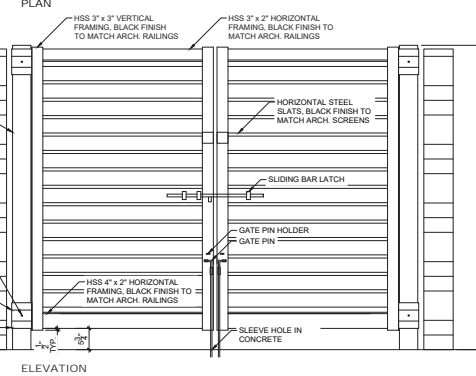
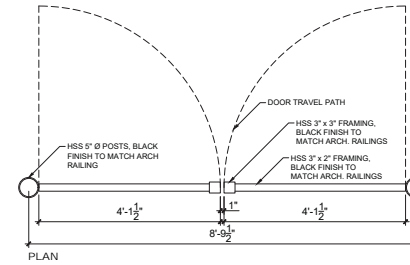
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**NORTHGLENN RECREATION CENTER**  
 LOT 1, BLOCK 1, NORTHGLENN CIVIC CENTER SUBDIVISION NORTHWEST QUARTER OF SECTION 3,  
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 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
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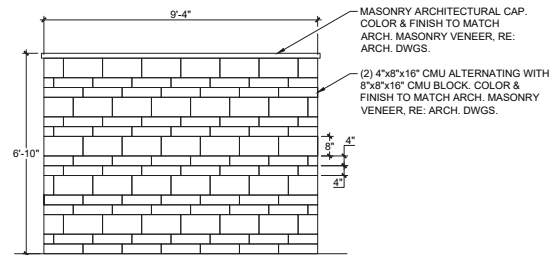


**DUMPSTER ENCLOSURE PLAN**  
 SCALE: 1/2" = 1'-0"



HSS 5" x 3" POSTS, BLACK FINISH TO MATCH ARCH RAILINGS  
 ADJACENT CMU WALLS, COLOR & FINISH TO MATCH ARCH. MASONRY VENEER, RE: ARCH. DWGS.  
 GREASE GUN FITTINGS FRONT AND BACK SIDES, TYP.  
 HINGE STOP WELDED TO HSS 5.0 (4 PER DOOR)  
 HINGE WELDED TO HSS 3" x 3"

**ELEVATION**



**DUMPSTER ENCLOSURE WALL ELEVATION**  
 SCALE: 1/2" = 1'-0"

**DUMPSTER ENCLOSURE GATE ELEVATION**  
 SCALE: 3/4" = 1'-0"



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Sheet title:  
 LANDSCAPE DETAILS

L13

**SHEET 11 OF 15**

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	<b>MASONRY VENEER</b> 2" NOMINAL MASONRY CMU VENEER, WITH GRABKIT PATTERN MADE OF 3/4 CMU FINISHES. SEE PRECEDENT IMAGES FOR EXAMPLE OF INTENTION.		<b>CURTAIN WALL SYSTEM</b> ANODIZED ALUMINUM SYSTEM WITH HIGH PERFORMANCE GLAZING, SOLARBAN 700, OR SIMILAR. TYP ALL VISION GLAZING.	
	<b>CEMENT BOARD SIDING</b> 3/4" FIBER CEMENT BOARD SIDING IN WOOD TONE FROM NICHIA OR SIMILAR.		<b>STOREFRONT SYSTEM</b> ANODIZED ALUMINUM SYSTEM WITH HIGH PERFORMANCE GLAZING, SOLARBAN 700, OR SIMILAR. TYP ALL VISION GLAZING.	
	<b>PHENOLIC BOARD PANELS</b> LARGE FORMAT PANEL SIZE WITH SLIGHT VARIATION OF 20 COLORS FROM TRESPA OR SIMILAR.		<b>BUILDING MOUNTED SIGNAGE</b> PRE-FINISHED ALUMINUM SIGNAGE, CUSTOM CUT TO NORTHGLENN LOGO.	
	<b>STANDING SEAM METAL PANEL</b> 1 1/2" STANDING SEAM TO MATCH ROOFING.			

**NORTHGLENN RECREATION CENTER**  
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 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
**MAJOR SITE PLAN**

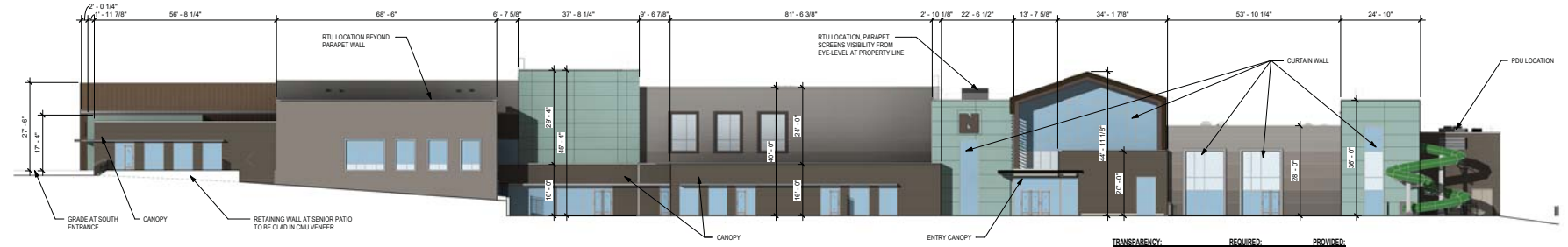
**UDO TRANSPARENCY REQUIREMENT 11-4.3(b)(2):**  
 GROUND FLOOR (FIRST FLOOR): 40% OF WALL AREA BETWEEN 3' - 8' ABOVE GRADE  
 UPPER FLOOR (SECOND FLOOR): 20% OF WALL AREA FROM FLOOR PLATE TO FLOOR PLATE

- NOTES:  
 1. CALCULATIONS WERE USED FOR EAST AND SOUTH FACADES FACING PUBLIC STREET OR PUBLIC AREA AND THE UPPER FLOOR OF THE WEST FACADE FACING I-25.  
 2. AT THE UPPER FLOOR, THE BOTTOM OF THE ROOF DECK WAS USED TO CALCULATE WALL AREA.



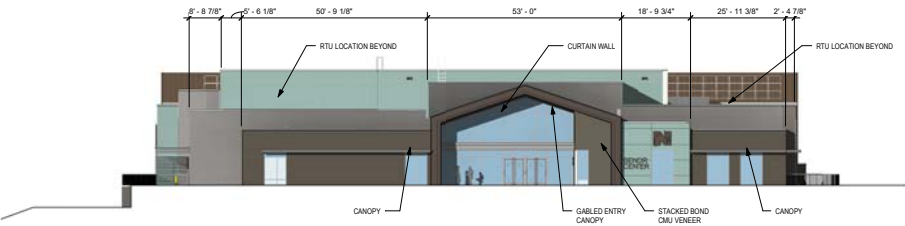
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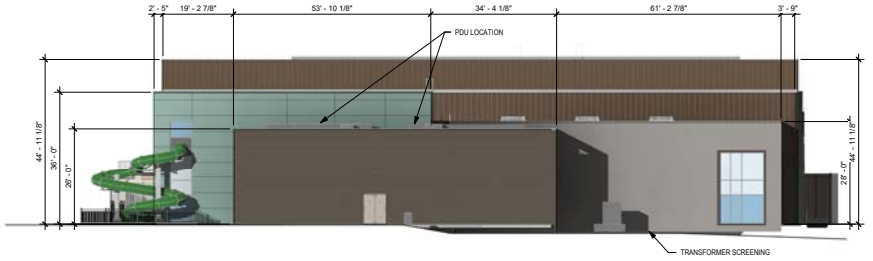
<b>TRANSPARENCY</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
GROUND FLOOR (FIRST FLOOR):	1437 SF x 4 = 575 SF	689 SF
UPPER FLOOR (SECOND FLOOR):	7214 SF x 2 = 1443 SF	1899 SF

**4 EAST ELEVATION**  
 SCALE: 1/16" = 1'-0"

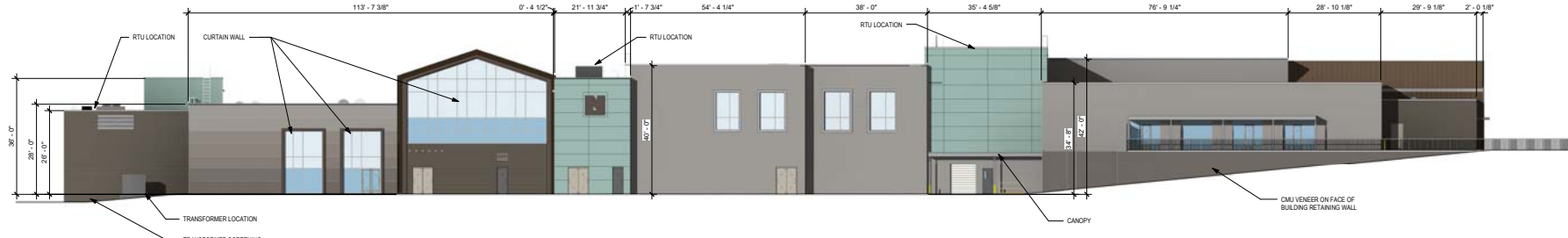


<b>TRANSPARENCY</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
GROUND FLOOR (SECOND FLOOR AT THIS FACADE):	743 x 4 = 297 SF	332 SF
UPPER FLOOR:	NOT USED	NOT USED

**3 SOUTH ELEVATION**  
 SCALE: 1/16" = 1'-0"



**2 NORTH ELEVATION**  
 SCALE: 1/16" = 1'-0"



<b>TRANSPARENCY</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
GROUND FLOOR (FIRST FLOOR):	NA	NA
UPPER FLOOR (SECOND FLOOR):	6246 SF x 2 = 1249 SF	1933 SF

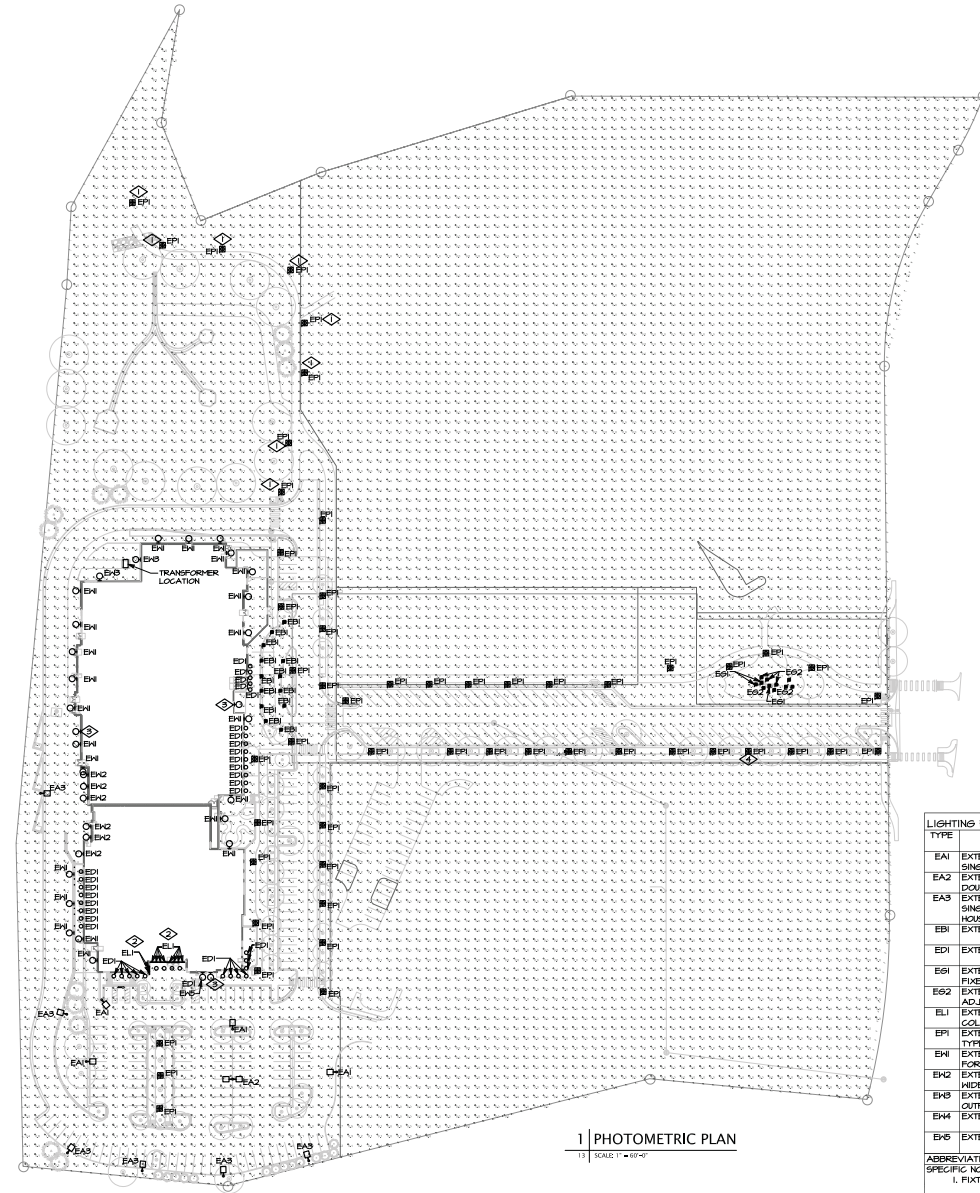
**1 WEST ELEVATION**  
 SCALE: 1/16" = 1'-0"

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Project Number:	2017.024.02
Issue:	Major Site Plan
Date:	09/05/2019
Drawn By:	LMJ
Checked By:	DM
Revisions:	
Rev:	Date:

Sheet title:  
 BUILDING ELEVATIONS AND MATERIALS

**NORTHGLENN RECREATION CENTER**  
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**MAJOR SITE PLAN**



LIGHTING FIXTURES	
A	LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES, SUBSCRIPT, IF SHOWN, REFERENCES HALL SWITCH.
○	HALL MOUNTED LUMINAIRE
○	DOWNLIGHT LUMINAIRE
□	POLE MOUNTED AREA LUMINAIRE
■	BOLLARD OR PEDESTRIAN POLE LUMINAIRE

KEYNOTE LEGEND	
KEY	VALUE
◇	EXISTING PEDESTRIAN POLES ALONG EXISTING PEDESTRIAN PATH TO BE DEMOLISHED SHALL BE REMOVED AND RELINQUISHED TO CITY OF NORTHGLENN FOR RE-USE OR DISPOSAL. NEW LOCATIONS OF EPI FIXTURES ADJACENT TO NEW PEDESTRIAN PATH MAY UTILIZE SALVAGED FIXTURES FROM EXISTING LOCATION OR NEW EPI FIXTURE TYPE TO MATCH NEW DEVELOPMENT OF THE NORTHGLENN CIVIC CENTER. PHOTOMETRIC CALCULATIONS SHOWN ASSUME NEW EPI TYPE.
◇	COLOR CHANGING LIGHTING SHALL BE AIMED UP TO LIGHT UNDERSIDE OF VAULTED ENTRY CANOPY STRUCTURE AND BUILDING FACADE. ILLUMINANCE CONTRIBUTION OF DECORATIVE LIGHTING FEATURE NOT INCLUDED IN PHOTOMETRIC CALCULATION.
◇	APPROXIMATE LOCATION OF BACK-LIT BUILDING SIGNAGE. ILLUMINANCE CONTRIBUTION FROM BUILDING SIGNAGE ASSIGNED TO BE NEGIGIBLE AND IS NOT INCLUDED IN PHOTOMETRIC CALCULATION.
◇	EPI LIGHT POLE BASE TO BE LOCATED AND INSTALLED SUCH THAT IT EXTENDS INTO THE ADJACENT SIDEWALK AT LEAST 6' TO PROVIDE 2' CLEARANCE FROM STORM INLET TO THE NORTH THAT RUNS ALONG MEMORIAL PARKWAY.

Statistics	Symbol	Avg	Max	Min	Height	Angle
Building Foot Candel	X	2.6	32.6	18.5	1.28	1.28
Non Foot Candel S	X	N/A	N/A	N/A	N/A	N/A
Percent Foot Candel	X	57.8	100	0	100	100
Percent Sidel	X	57.6	100	0	N/A	N/A
Percent Up	X	53.6	100	0	N/A	N/A
Percent Down	X	53.6	100	0	N/A	N/A
Percent Parking	X	22.6	72.6	0	5.68	5.68
Non Park	X	6.5	72.6	18.5	2.21	2.21

GENERAL NOTES	
A.	LIGHTING CALCULATIONS WERE MADE USING A LIGHT LOSS FACTOR OF 1.0.
B.	CALCULATION POINTS WERE TAKEN AT GRADE LEVEL ON A 10'X10' GRID. CALCULATIONS DO NOT REPRESENT ANY SLOPE OF ELEVATION CHANGE.
C.	ILLUMINANCE CONTRIBUTIONS FROM STREET LIGHTING AND ADJACENT PROPERTIES ARE NOT INCLUDED.
D.	ALL LIGHT FIXTURES WILL BE CONTROLLED BY ASTRONOMICAL TIME CLOCK AND/OR PHOTOCELL.
E.	ALL LIGHT FIXTURES ARE FULL-CUTOFF, UNLESS OTHERWISE NOTED FOR BUILDING FACADE LIGHTING.
F.	LIGHTING FIXTURE SPECIFICATIONS ARE SUBJECT TO CHANGE AS LIGHTING DESIGN DEVELOPS FURTHER. IF LIGHTING SPECIFICATIONS CHANGE, LIGHTING FIXTURE PERFORMANCE (LUMEN OUTPUT AND DISTRIBUTION TYPE) SHALL BE MAINTAINED AS CLOSELY AS POSSIBLE, AND UPDATED PHOTOMETRIC CALCULATIONS CAN BE PROVIDED AS REQUESTED.
G.	PHOTOMETRIC CALCULATIONS DESIGNED TO SECTION II-4-4 OF THE NORTHGLENN UNIFIED DEVELOPMENT ORDINANCE. KEY SECTIONS STATED BELOW: <ul style="list-style-type: none"> <li>G.a. II-4-4.D.1.A - GENERAL LIGHTING STANDARDS                     <ul style="list-style-type: none"> <li>G.a.a. II-4-4.D.1.A - AREA LIGHTING SHALL BE PROVIDED FOR ALL ROADWAYS, ALLEYS, PLAYGROUNDS, AND PUBLIC COMMON AREAS AND SHALL REMAIN ON ALL NIGHT.</li> <li>G.a.b. II-4-4.D.1.B - ALL LIGHT SOURCES SHALL BE FULL CUTOFF FIXTURES TO MINIMIZE THE IMPACTS TO ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY.</li> <li>G.a.c. II-4-4.D.1.C - LIGHTING SHALL BE THE MINIMUM RECOMMENDED PRACTICE NECESSARY FOR SAFETY AND SECURITY. LIGHTING NOT REQUIRED FOR PUBLIC SAFETY AND SECURITY SHALL BE EXTINGUISHED OUTSIDE OF OPERATING HOURS.</li> <li>G.a.d. II-4-4.D.1.D - LIGHT SPILLOVER ONTO ADJACENT PROPERTIES SHALL NOT EXCEED ONE FOOT-GANDE AT ANY PROPERTY LINE EXCEPT WHERE THE PROPERTY LINE IS ADJACENT TO WALKWAYS, DRIVEWAYS, AND STREETS OR IN NON RESIDENTIAL DEVELOPMENTS COMPRISED OF MULTIPLE LOTS.</li> <li>G.a.e. II-4-4.D.1.E - FLICKERING, FULSING, FLASHING OR ANY OTHER LIGHTS THAT COULD DISTRACT OR CONFUSE A MOTORIST ARE PROHIBITED.</li> </ul> </li> <li>G.a.f. II-4-4.D.2.A - PARKING AREA LIGHTING SHALL BE FULL CUTOFF AND DOWNCAST FIXTURES.</li> <li>G.a.g. II-4-4.D.2.B - PARKING LOT LIGHTING ADJACENT TO MAXIMUM OF 25 FEET IN HEIGHT.</li> <li>G.a.h. II-4-4.D.3.A - BUILDING LIGHTING SHALL BE PROVIDED AT ALL ENTRANCES AND ON ALL SIDES OF THE BUILDING.</li> <li>G.a.i. II-4-4.D.3.B - BUILDING LIGHTING SHALL BE INSTALLED SO THAT ALL LIGHTING IS CAST DOWNWARD. BUILDING LIGHTING THAT IS GRIMING UPWARD (LIGHTING) ARCHITECTURAL FEATURES MAY BE ALLOWED FOR NON-RESIDENTIAL OR MIXED-USE BUILDINGS BUT NOT ADJACENT TO A RESIDENTIAL ZONING DISTRICT OR SINGLE-FAMILY OR DUPLEX USE.</li> </ul>

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP QTY	LAMP HATT	LAMP TYPE	LUMEN OUTPUT	DW-RING UTILIZED	MAX HATT	MOUNTING LOCATION	INFORMATIONAL	NOTES
EA1	EXTERIOR AREA LIGHT, TYPE 3 DIST, SINGLE HEAD, POLE MOUNTED	LITHONIA	DSX1-LED-P2-30K-T3H-MVOLT-RPUMBA-XX	120/271	1	10	LED	8263	N/A	10	POLE	25'-0" BOF	
EA2	EXTERIOR AREA LIGHT, TYPE 3 DIST, DOUBLE HEAD, POLE MOUNTED	LITHONIA	DSX1-LED-P2-30K-T3H-MVOLT-RPUMBA-XX	120/271	2	10	LED	8263	N/A	140	POLE	25'-0" GROUND OFH	
EA3	EXTERIOR AREA LIGHT, TYPE 3 DIST, SINGLE HEAD, POLE MOUNTED, HOUSE-SIDE SHIELD	LITHONIA	DSX1-LED-P2-30K-T3H-MVOLT-RPUMBA-HS-XX	120/271	1	10	LED	8263	N/A	10	POLE	25'-0" GROUND OFH	
EB1	EXTERIOR LED BOLLARD LIGHT	LITHONIA	KBR3-LED-16-350-30K-SYM-MVOLT-XX	120/271	1	20	LED	800K	N/A	20	POLE	34" GROUND OFH	
ED1	EXTERIOR LED DOWNLIGHT	LITHONIA	LDN4-30/10-LO4-AR-155-MVOLT-620-94	120/271	1	12.7	LED	1000	N/A	12.7	RECESSED	5'-11/8" RFD	
EG1	EXTERIOR LED IN-GRADE LIGHT, FIXED BEAM, FACTORY SEALED	HE-EF	ETC330-FS LED (61-3423)	120/271	1	28	LED	2417	N/A	28	RECESSED	1.8" GROUND RFD	
EG2	EXTERIOR LED IN-GRADE LIGHT, ADJUSTABLE BEAM	HE-EF	ET120-69 LED (611-3014)	120/271	1	21	LED	1816	N/A	21	RECESSED	14.86" GROUND RFD	
EL1	EXTERIOR LED LINEAR UPLIGHT, COLOR CHANGING	LUMENPULSE	LOG-271-48-7028A-XX-1M45-XX-SPR40DM	120/271	1	64	LED	1442	N/A	64	SURFACE	3'-1/2" OFH	
EPI	EXTERIOR LED PEDESTRIAN LIGHT, TYPE 5 DISTRIBUTION	HE-EF	BP54-LED-655-1626	120/271	1	81	LED	6868	N/A	81	POLE	16'-0" OFH	
EN1	EXTERIOR LED HALLPACK, LOW OUTPUT FORWARD DIST.	LITHONIA	HST-LED-P1-30K-VF-MVOLT-XX	120/271	1	12	LED	524	N/A	12	SURFACE	12'-0" BOF	
EN2	EXTERIOR LED HALLPACK, HIGH OUTPUT WIDE DIST., LOADING DOCK	LITHONIA	HST-LED-P3-30K-VH-MVOLT-XX	120/271	1	50	LED	6240	N/A	50	SURFACE	30'-0" BOF	
EN3	EXTERIOR LED HALLPACK, MEDIUM OUTPUT, FORWARD DIST.	LITHONIA	HST-LED-P2-30K-VF-MVOLT-XX	120/271	1	25	LED	3231	N/A	25	SURFACE	30'-0" BOF	
EN4	EXTERIOR LED DECORATIVE SCENCE	V2 LIGHTING	C3CS-N-NH-110-48-30-60-XX-XX-XX	120/271	1	10.4	LED	450	N/A	10.4	SURFACE	6'-0" BOF	
EW6	EXTERIOR 4' LED SIGN LIGHT	HE-EF	VLR40-LA10-614-4020	UNV	1	36	LED	3000	N/A	36	SURFACE	NOTE 1	

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AFF) - ABOVE FINISHED FLOOR (GRADE), WFD - WALL FIXTURE DEPTH

SPECIFIC NOTES:  
 1. FIXTURE IS TO BE MOUNTED AT 12'-0" TO BOF UNLESS OTHERWISE NOTED.

**1 | PHOTOMETRIC PLAN**  
 1/1 SCALE: 1" = 50'-0"



**Northglenn Recreation Center**  
 1 MEMORIAL PKWY NORTHGLENN, CO 80233

Project Number: 2017.02.02  
 Issue: Major Site Plan  
 Date: 09/05/2019  
 Drawn By: MLT, MUS  
 Created By: BJ  
 Revisions:

Sheet Title: PHOTOMETRIC PLAN

**NORTHGLENN RECREATION CENTER**  
 LOT 1, BLOCK 1, NORTHGLENN CIVIC CENTER SUBDIVISION NORTHWEST QUARTER OF SECTION 3,  
 TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
**MAJOR SITE PLAN**



**Northglenn Recreation Center**  
 1. MEMORIAL PKWY NORTHGLENN, CO 80233

**ETC330-FS LED**  
611-3823

**Description**  
IP67 Integrated lighting. Suitable for flush installation in concrete or masonry. Special effects and distributions can be achieved with linear lens, fixed lens, 8° directional lens, 20° directional lens, or color filters.

**Beam Type** symmetric, very narrow beam (5°)  
**Light Source** LED-120/69 / 900 mA, 3000 K  
**CRI** 90  
**Drive Type** electronic gear

Nominal Luminance Flux (lm)	
LED Luminance	240.0 lm
Beam	12°
Total Luminance	280.0 lm
T <sub>a</sub>	35 °C

Delivered Luminance Flux (lm)	
LED Luminance	207.4 lm
Total Luminance	247.3 lm
T <sub>a</sub>	35 °C

**Rated Input Power** 28 W

we-ef LIGHTING USA LLC  
1100 W. Hampden Blvd., Suite 100, Denver, CO 80202, USA | Tel: +1 303 733 8800 | Fax: +1 303 733 8801 | web@we-ef.com | www.we-ef.com | 1910-011-001

2 | EG1  
1:1 SCALE: NO SCALE

**ETC130-GB LED**  
611-3014

**Description**  
IP67 Integrated LED lighting. Suitable for flush installation in concrete or masonry. Special effects and distributions can be achieved with 20° vertical lens and 300° horizontal rotation. Special effects can be achieved with linear lens, fixed lens, or color filters.

**Beam Type** symmetric, very narrow beam (5°)  
**Light Source** LED-120/180 / 900 mA, 3000 K  
**CRI** 90  
**Drive Type** electronic gear

Nominal Luminance Flux (lm)	
LED Luminance	188.0 lm
Beam	12°
Total Luminance	227.0 lm
T <sub>a</sub>	35 °C

Delivered Luminance Flux (lm)	
LED Luminance	161.3 lm
Total Luminance	198.3 lm
T <sub>a</sub>	35 °C

**Rated Input Power** 21 W

we-ef LIGHTING USA LLC  
1100 W. Hampden Blvd., Suite 100, Denver, CO 80202, USA | Tel: +1 303 733 8800 | Fax: +1 303 733 8801 | web@we-ef.com | www.we-ef.com | 1910-011-001

3 | EG2  
1:1 SCALE: NO SCALE

POLE REF.	OVERALL HEIGHT	A	ANCHOR BOLT DATA	B	D	E	F	G	H	I
EAI	25'0"	4"	PER MANUFACTURER	2'6"	Ø10"	10'6"	24"	36"		
EAI	25'0"	4"	PER MANUFACTURER	2'6"	Ø10"	10'6"	24"	36"		
EAI	25'0"	4"	PER MANUFACTURER	2'6"	Ø10"	10'6"	24"	36"		
EAI	16'0"	4"	PER MANUFACTURER	2'0"	Ø6"	6'6"	24"	36"		

1 | POLE BASE DETAIL  
1:4 SCALE: NONE

Project Number: 2017.024.02  
 Issue: Major Site Plan  
 Date: 09/05/2019  
 Drawn By: MLT, MUS  
 Checked By: BJJ  
 Revisors:

Sheet Title: LIGHTING DETAILS

SHEET 14 OF 15  
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CR-108 - Page 39 of 62

**NORTHGLENN RECREATION CENTER**  
 LOT 1, BLOCK 1, NORTHGLENN CIVIC CENTER SUBDIVISION NORTHWEST QUARTER OF SECTION 3,  
 TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
**MAJOR SITE PLAN**

### D-Series Size 1 LED Area Luminaire

**Specifications**  
 Size: 1' x 2' x 1'  
 Length: 36"  
 Width: 12"  
 Height: 12"  
 Weight: 25 lbs

**Introduction**  
 The modern styling of the D-Series is striking yet understated - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series shares the benefits of the latest in LED technology for a high performance, high efficiency, long life luminaire.

**Ordering Information**

Code	Qty	Description	Accessories	Notes
DS1-1	1	1' x 2' x 1' D-Series Size 1 LED Area Luminaire		

### KBR8 LED LED Specification Bollard

**Specifications**  
 Height: 40"  
 Diameter: 3.5"

**Introduction**  
 The KBR8 bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy efficient lighting with a variety of optical and control options for customized performance.

**Ordering Information**

Code	Qty	Description	Accessories	Notes
KBR8-1	1	40" High KBR8 LED Specification Bollard		

### LITHONIA LIGHTING LDN4

**FEATURES & SPECIFICATIONS**

**Introduction**  
 The LDN4 is a sleek, modern luminaire that provides a wide range of lighting options for walkways and outdoor spaces. It features a high-quality, energy-efficient LED light source and a variety of control options for customized performance.

**Specifications**  
 Height: 40"  
 Diameter: 3.5"

**Ordering Information**

Code	Qty	Description	Accessories	Notes
LDN4-1	1	40" High LDN4 LED Specification Luminaire		

### v2 LIGHTING GROUP CORE 300 CX

**PROJECT**

**Specifications**

**Introduction**  
 The CORE 300 CX is a high-quality, energy-efficient LED luminaire that provides a wide range of lighting options for walkways and outdoor spaces. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy efficient lighting with a variety of optical and control options for customized performance.

**Ordering Information**

Code	Qty	Description	Accessories	Notes
CORE300CX-1	1	40" High CORE 300 CX LED Specification Luminaire		

### luminaCode

**Configured Specification Sheet**

**Product Name**: luminaCode  
**Type**: Catalog / Part Number: 200-277-46-BUSA - LUMINA CODE

**Photometric Summary**

Beam Type	Beam Angle	Beam Diameter	Beam Length	Beam Area
SP40°	40°	3.5"	1.2'	0.09 sq ft
SP30°	30°	4.7"	1.6'	0.16 sq ft
SP20°	20°	7.0"	2.3'	0.29 sq ft
SP15°	15°	9.4"	3.1'	0.41 sq ft
SP10°	10°	12.6"	4.1'	0.61 sq ft
SP7.5°	7.5°	16.8"	5.1'	0.91 sq ft
SP5°	5°	21.0"	6.9'	1.29 sq ft

### BSP544 LED 655-7826

**we-eF**

**Description**  
 BSP544 LED luminaire with polycarbonate lens. LED board can be easily removed to upgrade. Integrated heat sink. Easy removal and replacement of LED board. CAD optimized/OEM/FMVA lens for multi-layer illumination and superior glare control.

**Specifications**  
 Beam Type: P160 Type IV Medium  
 Light Source: LED 3x70W / 70 mA - 300K  
 CRI: 80  
 Gear Type: electronic gear

**Maximum Luminaire Flux (lm)**  
 LED Lumens: 2403 lm  
 LED's: 36  
 Total Lumens: 6854 lm  
 T<sub>a</sub>: 65 °C

**Rated Luminaire Flux (lm)**  
 LED Lumens: 1903 lm  
 Total Lumens: 5883 lm  
 T<sub>a</sub>: 25 °C

**Rated Input Power**: 61 W

### WST LED Architectural Wall Scone

**we-eF**

**Specifications**  
 Luminaire Height: 5.12"  
 Luminaire Width: 12.50"  
 Luminaire Depth: 2.50"

**Optional Back Box (P160)**  
 Luminaire Height: 5.62"  
 Luminaire Width: 12.50"  
 Luminaire Depth: 1.50"

**Optional Back Box (BRV)**  
 Luminaire Height: 4.75"  
 Luminaire Width: 12.50"  
 Luminaire Depth: 1.50"

### VL140 [LA10] 614-4020

**we-eF**

**Description**  
 PFC Class II B30. Marine grade, all aluminum construction. 100% recycled polycarbonate lens using 100% recycled PMMA cover. Silicone rubber gasket. Linear PMMA lens. 1.2' connecting cable. UV stabilized PVC lens. Luminaire is factory tested and does not need to be opened during installation and care to insure a 100% "leak proof" LED driver with DALI interface. Separates LED driver in respect.

**Specifications**  
 Beam Type: linear symmetric, washback [LA10]  
 Light Source: LED 2x100W - 3000K  
 CRI: 80  
 Gear Type: electronic gear

**Maximum Luminaire Flux (lm)**  
 LED Lumens: 1883 lm  
 LED's: 240  
 Total Lumens: 4302 lm  
 T<sub>a</sub>: 25 °C

**Rated Luminaire Flux (lm)**  
 LED Lumens: 1219 lm  
 Total Lumens: 3003 lm  
 T<sub>a</sub>: 25 °C

**Rated Input Power**: 30 W

5 | E1  
1/16 SCALE NO SCALE

6 | E1  
1/16 SCALE NO SCALE

7 | E1/2, 3  
1/16 SCALE NO SCALE

8 | EW5  
1/16 SCALE NO SCALE



Northglenn Recreation Center  
 1 | MEMORIAL PKWY NORTHGLENN, CO 80233

Project Number: 2017.024.02  
 Issue: Major Rev Plan  
 Date: 09/05/2019  
 Drawn By: MLT, MUS  
 Checked By: BJ  
 Revisions: \_\_\_\_\_

Sheet Title: LIGHTING FIXTURE OUTSHEETS





**BARKER  
RINKER  
SEACAT**  
ARCHITECTURE

September 10, 2019

**Brook Svoboda**  
**City of Northglenn, Director : Planning and Development**  
11701 Community Center Drive  
Northglenn, CO 80233

Parking Analysis : Northglenn Recreation Center/Theatre – Major Site Plan  
1 Memorial Parkway, Northglenn, CO

Mr. Svoboda,

The City of Northglenn has worked diligently with BRS to balance the project requirements, desires of the community and stipulations presented in the December 2018 Unified Development Ordinance.

For this project and the end of “Phase 1” of the Civic Center Master Plan, we request a Parking Modification in accordance with Section 11-4-6 (g)(7) to reduce the Minimum Off-Street Parking requirements.

Since it’s inception, the Northglenn Civic Center Master Plan (adopted in April 2017) had planned for the overall development to take advantage of a shared parking agreement. This project is the first phase of the implementation of the Civic Center Master Plan and plans to maintain a shared parking concept.

The total quantity of parking spaces required on Lot 1 Block 1 is 145 spaces. The total quantity of parking spaces provided on Lot 1 Block 1 is 133 spaces.

For this project and the end of “Phase 1” of the Civic Center Master Plan the Recreation Center / Theatre / Senior Center can utilize the 71 parking space lot located east of City Hall (formerly dedicated Police Department use) until further phases are developed. The existing west & south City Hall lots would be reserved for City Hall use.

With the ultimate development of Lots 2 & 3, Block 1, the parking spaces provided in Memorial Parkway (Dedicated R.O.W.) cannot be proposed as shared use with other lots, but will remain permanently for use. In addition, it is proposed that an official shared parking agreement be coordinated with those future lot owners, in accordance with the Civic Center Master Plan.

For reference the required parking quantities are as follows for 1 Memorial Parkway (Lot 1 Block 1) :

<u>TOTAL BUILDING AREA:</u>	<u>SQUARE FEET</u>	<u>PARKING RATIOS</u>	<u>REQ. PARKING SPACES</u>
RECREATION	53,019 GSF	1 SPACE / 1,000 SF	54
ADMIN AND BACK OF HOUSE	21,352 GSF	1 SPACE / 1,000 SF	22
THEATRE SPACES			
THEATRE SEATS (335 total seats)	3,119 GSF	1 SPACE / 6 SEATS	56
SENIOR CENTER	2,141 GSF	1 SPACE / 500 SF	5
COMMUNITY ROOMS	7,623 GSF	1 SPACE / 1,000 SF	8
<b><u>TOTAL REQUIRED PARKING SPACES:</u></b>			<b>145</b>

**DENVER**  
3457 RINGSBY COURT  
UNIT 200  
DENVER, CO 80216  
303.455.1366

**DALLAS**  
129 S. MAIN ST.  
UNIT 230  
GRAPEVINE, TX 76051  
817.527.6880

BRSARCH.COM

The provided parking quantities are as follows on-site at 1 Memorial Parkway (Lot 1 Block 1) :

<u>PARKING COUNTS</u>	<u>REQUIRED</u>		<u>PROPOSED</u>				
	<u>TOTAL</u>	<u>ACCESSIBLE</u>	<u>STANDARD</u>	<u>COMPACT</u>	<u>VAN ACCESSIBLE</u>	<u>ACCESSIBLE</u>	<u>TOTAL</u>
PARKING SPACES (COMBINED)	145 (SEE RATIOS BELOW)	5	106	20 (15.8%)	4	3	133
SOUTH PARKING LOT			82	20	2	3	107
NORTHGLENN WAY			24	--	2	--	26
DEDICATED R.O.W.			52	--	2	2	56
PARKING TOTALS:			158	20	6	5	189

A total of 133 parking spaces are provided on site at 1 Memorial Parkway. At the terminus of Phase 1, additional parking available adjacent to this site will be:

- Existing Rec Center East Lots                      ~170 spaces
- Existing City Hall East Lot                         71 spaces
- Existing City Hall West & South Lots             ~45 spaces (reserved for City Hall uses)
- New Memorial Parkway Spaces                    56 spaces

We appreciate your consideration in this request. Please let us know if you have any questions.

Thank You,



Daniel Matoba

**WE BELIEVE  
WE CAN  
LIVE BETTER**



**BARKER  
RINKER  
SEAGAT**  
ARCHITECTURE

June 26, 2019

**Brook Svoboda**  
**City of Northglenn, Director : Planning and Development**  
11701 Community Center Drive  
Northglenn, CO 80233

Reference : Northglenn Recreation Center/Theatre – Major Site Plan

Mr. Svoboda,

The City of Northglenn has worked diligently with BRS to balance the project requirements, desires of the community and stipulations presented in the December 2018 Unified Development Ordinance.

With respect to Article 4, Section 11-4-8 Site and Building Design, Subsection E-4-B, we understand that our non-residential building shall not extend more than 50 continuous feet without incorporating at least three massing reduction elements as described in Subsection E-4-C.

A portion of the west facade of the Recreation Center / Theatre Building exceeds 50 continuous feet. See blue line on west elevation in Site Plan below.

## SITE PLAN



**DENVER**  
3457 RINGSBY COURT  
UNIT 200  
DENVER, CO 80216  
303.455.1366

**DALLAS**  
129 S. MAIN ST.  
UNIT 230  
GRAPEVINE, TX 76051  
817.527.6880

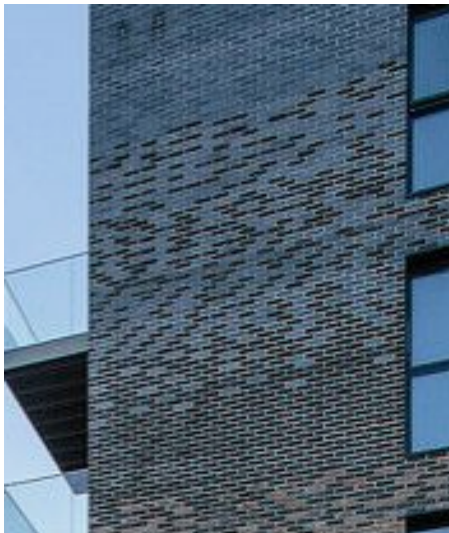
BRSARCH.COM

To meet the intent of Subsection E-4-B, on the one wall that exceeds 50 feet, we have incorporated two windows and a concrete masonry block pattern, as the three required elements. See west elevation and example of the concrete masonry pattern.

**WEST ELEVATION**



**EXAMPLE OF THE DESIGN DIRECTION FOR CMU PATTERN (this brick example is represents pattern only)**



“

**WE BELIEVE  
WE CAN  
LIVE BETTER**

”

We believe these three massing reduction elements meet the intent of the UDO by visually breaking up this wall. We understand that the west face of the building is still an important façade, but also recognize that it will most often be experienced by those traveling at a high rate of speed along I-25.

We appreciate your consideration in this request. Please let us know if you have any questions.

Thank You,

Daniel Matoba



Civic Center Property  
Northglenn Civic Center Preliminary and Final Plat  
Case # 19-13

Presented to:  
The Northglenn City Council:  
September 23, 2019



# REQUEST

## APPLICANT:

City of Northglenn

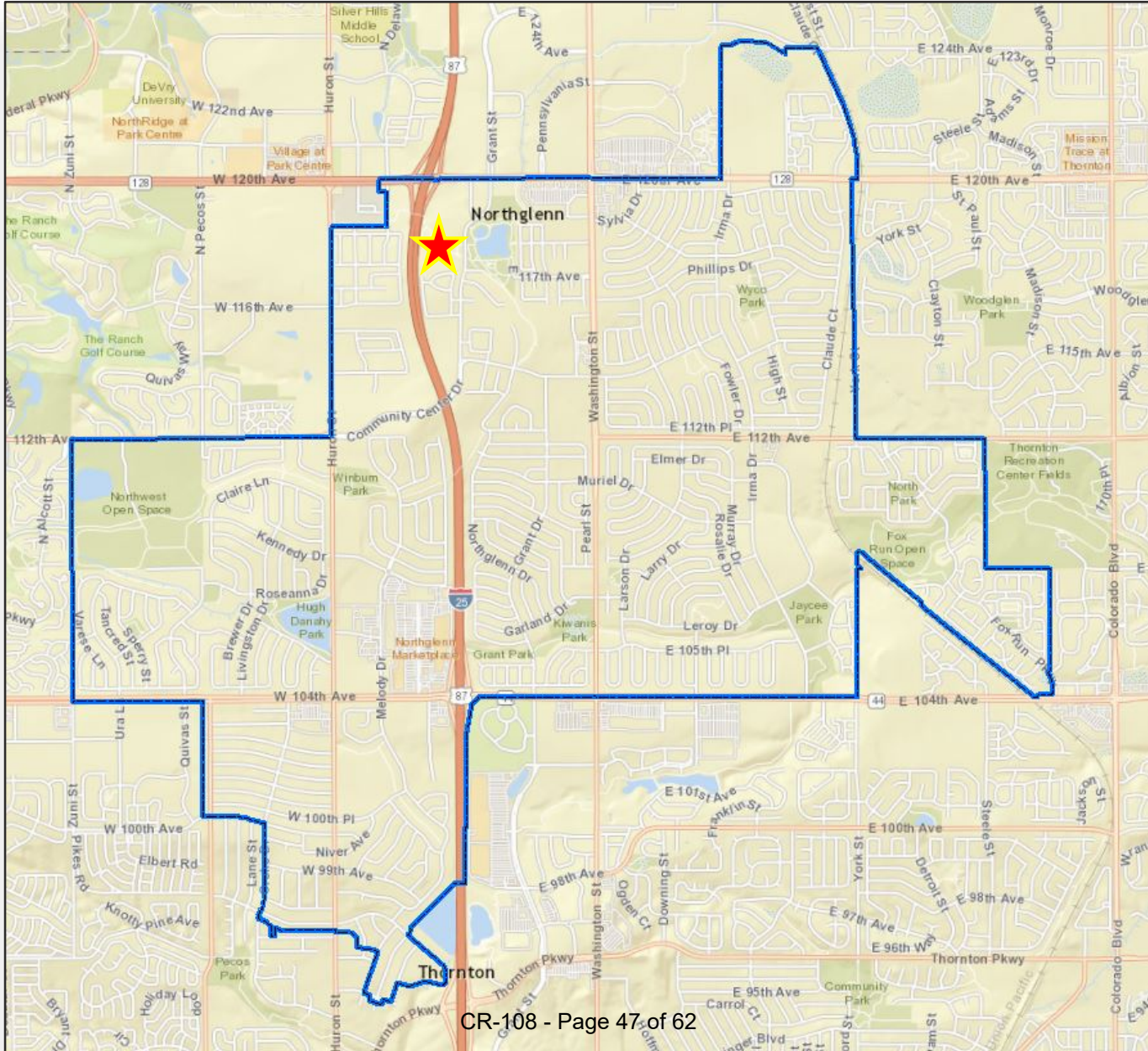
## REQUEST:

Approval of the Northglenn Civic Center Subdivision Preliminary and Final Plat.

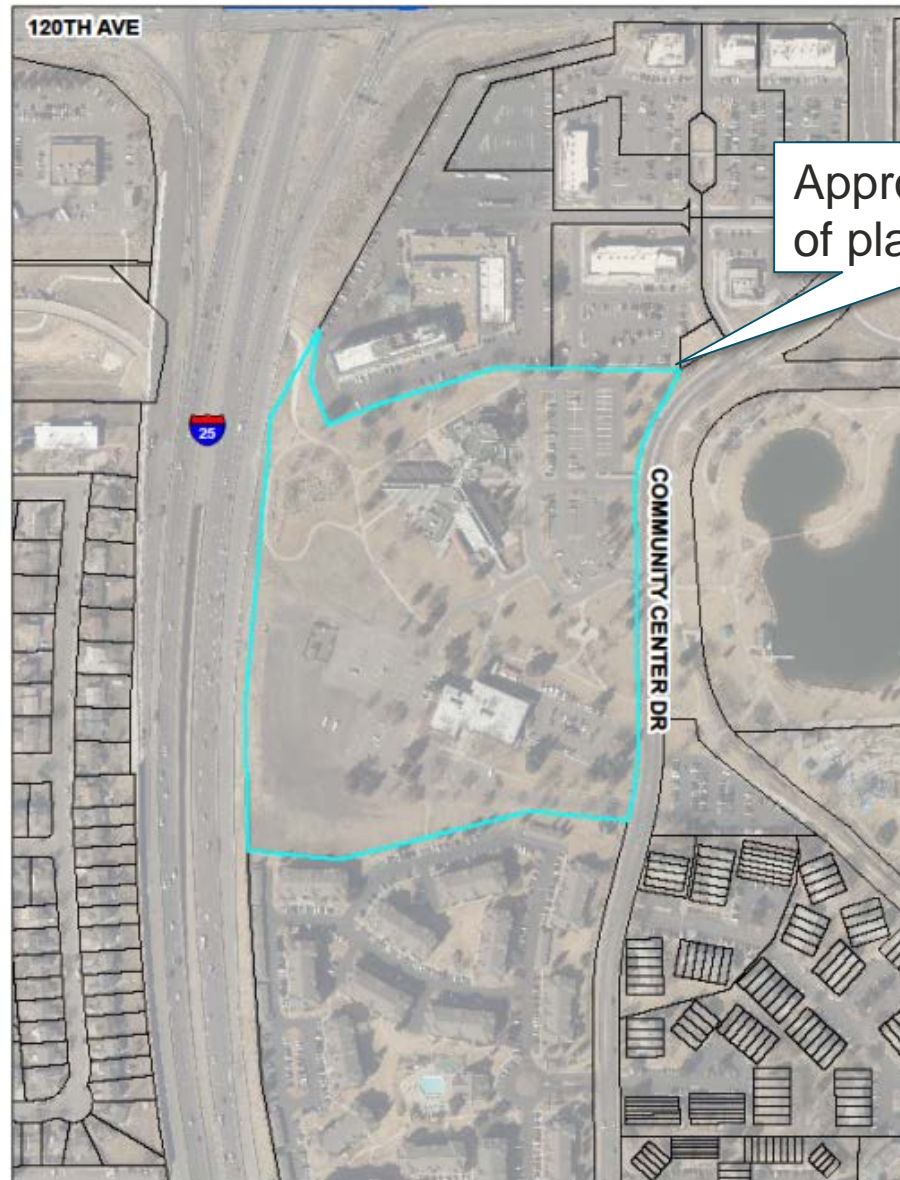
## LOCATION:

South of 120<sup>th</sup> Avenue and the Webster Lake Promenade development and west of Community Center Drive.

# VICINITY MAP



# VICINITY MAP



Approximate area  
of plat



# NOTIFICATION

Notification was performed in accordance with the requirements of Section 11-6-3(e) of the Unified Development Ordinance (UDO):

- A. Mailed notice sent to all property owners within 300 feet.
- B. Publication in the Northglenn-Thornton Sentinel 15 days prior.
- C. Public Hearing Notice signs were posted on the property 15 days prior.



# SITE DATA

<b>Location</b>	<p>Site of the current Recreation Center and City Hall</p> <p>Between Community Center Drive and I-25 and south of the Webster Lake Promenade</p>
<b>Subdivision</b>	<p>Currently Platted:</p> <p>Lot 8, Block 1 of the Webster Lake Promenade Subdivision</p>
<b>Zoning</b>	Mixed-Use Corridor (MC) / Public Facilities (PF)
<b>Existing Land Use</b>	Civic uses; City Hall, Recreation Center, Senior Center, Theatre
<b>Acreage</b>	20.59 acres

# REQUEST

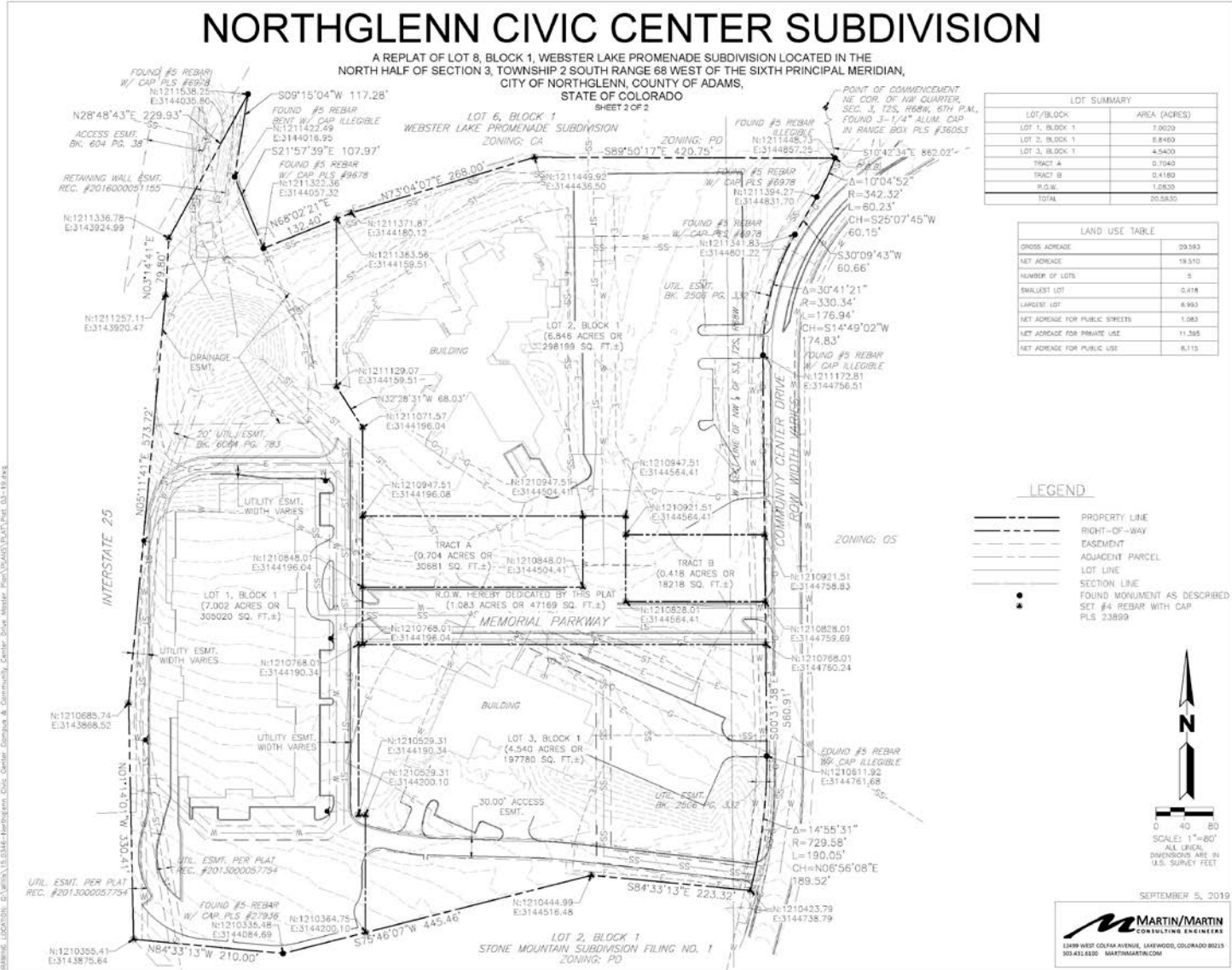
- The request is to replat the existing Civic Center campus to accommodate the development of the new Recreation Center, Senior Center and Performing Arts Theatre facility.
- Presented for consideration is the Northglenn Civic Center Subdivision Preliminary and Final Plat.

# PRELIMINARY PLAT

## NORTHGLENN CIVIC CENTER SUBDIVISION

A REPLAT OF LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION LOCATED IN THE NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 2



LOT SUMMARY	
LOT/BLOCK	AREA (ACRES)
LOT 1, BLOCK 1	7.0020
LOT 2, BLOCK 1	6.8460
LOT 3, BLOCK 1	4.5400
TRACT A	0.7040
TRACT B	0.4180
TOTAL	20.5350

LAND USE TABLE	
GROSS ACREAGE	20.535
NET ACREAGE	19.510
NUMBER OF LOTS	5
SMALLEST LOT	0.418
LARGEST LOT	6.993
NET ACREAGE FOR PUBLIC STREETS	1.083
NET ACREAGE FOR PRIVATE USE	11.355
NET ACREAGE FOR PUBLIC USE	6.115

- LEGEND**
- PROPERTY LINE
  - RIGHT-OF-WAY
  - EASEMENT
  - ADJACENT PARCEL
  - LOT LINE
  - SECTION LINE
  - FOUND MONUMENT AS DESCRIBED
  - SET #4 REBAR WITH CAP PLS 23899



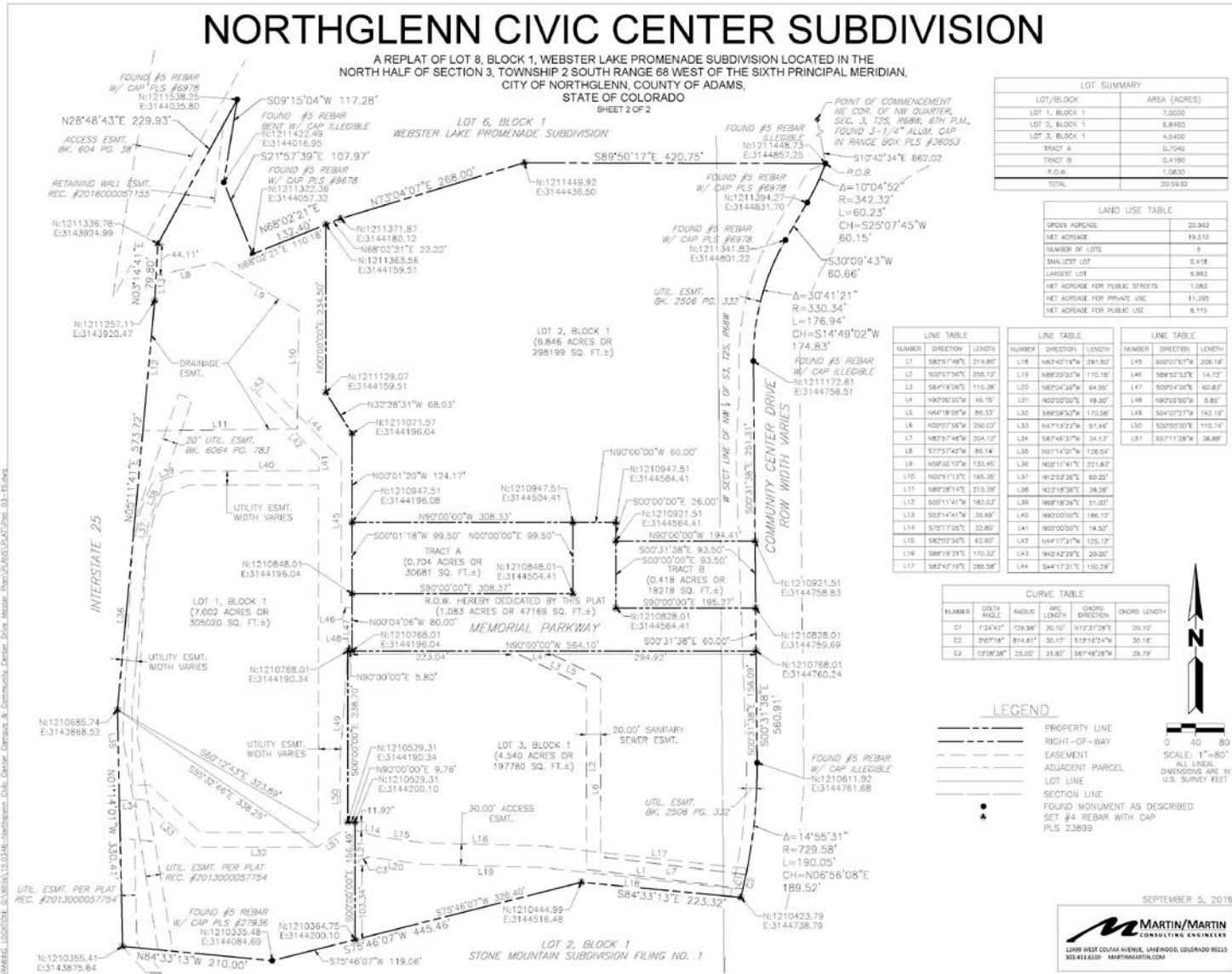
SEPTEMBER 5, 2019

MARTIN/MARTIN CONSULTING ENGINEERS  
13499 WEST COLFAX AVENUE, LAKWOOD, COLORADO 80123  
303.431.8220 MARTIN/MARTIN.COM

# FINAL PLAT

## NORTHGLENN CIVIC CENTER SUBDIVISION

A REPLAT OF LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION LOCATED IN THE NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 2 OF 2



LOT SUMMARY		
LOT/BLOCK	AREA (ACRES)	
LOT 1, BLOCK 1	3.0200	
LOT 2, BLOCK 1	8.8460	
LOT 3, BLOCK 1	4.5400	
TRACT A	0.7040	
TRACT B	0.4180	
R.O.W.	1.0830	
TOTAL	20.5930	

LAND USE TABLE	
GROUND ACRES	20.593
NET ACRES	19.310
NUMBER OF LOTS	5
SMALLEST LOT	0.418
LARGEST LOT	8.993
NET ACRES FOR PUBLIC STREETS	1.083
NET ACRES FOR PRIVATE USE	11.395
NET ACRES FOR PUBLIC USE	8.115

LINE TABLE		LINE TABLE		LINE TABLE	
NUMBER	DIRECTION	LENGTH	NUMBER	DIRECTION	LENGTH
L1	S89°50'17"E	420.75'	L45	S00°00'00"W	208.18'
L2	S02°00'00"W	288.12'	L46	S89°50'17"E	142.92'
L3	S61°00'00"W	115.38'	L47	S00°00'00"W	60.83'
L4	N00°00'00"W	46.53'	L48	N00°00'00"W	5.80'
L5	N61°18'00"W	85.33'	L49	S00°00'00"W	142.12'
L6	N00°00'00"W	350.02'	L50	S00°00'00"W	115.74'
L7	N82°00'00"W	204.12'	L51	S00°00'00"W	38.86'
L8	S72°00'00"W	86.14'	L52	N00°00'00"W	126.54'
L9	N00°00'00"W	133.45'	L53	N00°00'00"W	221.83'
L10	N00°00'00"W	165.30'	L54	N00°00'00"W	60.20'
L11	N80°28'14"E	215.30'	L55	N00°00'00"W	35.38'
L12	S00°00'00"W	180.63'	L56	N00°00'00"W	51.02'
L13	S00°00'00"W	35.69'	L57	N00°00'00"W	186.13'
L14	S72°00'00"W	32.80'	L58	N00°00'00"W	19.30'
L15	S82°00'00"W	42.62'	L59	N44°17'31"W	135.12'
L16	S86°19'31"E	170.52'	L60	N00°00'00"W	20.00'
L17	S82°00'00"W	288.56'	L61	S44°17'31"E	150.24'

CURVE TABLE				
NUMBER	DELTA ANGLE	RADIUS	CHORD LENGTH	CHORD BEARING
C1	134°42'	279.58'	20.10'	N12°37'26"E
C2	207°18'	814.61'	30.17'	S12°12'24"W
C3	170°38'	25.00'	31.80'	S67°48'38"W

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT
- ADJACENT PARCEL
- LOT LINE
- SECTION LINE
- FOUND MONUMENT AS DESCRIBED
- SET #4 REBAR WITH CAP PLS 23899

U 40' = 80'  
SCALE: 1"=80'  
ALL LINEAL DIMENSIONS ARE IN U.S. SURVEY FEET

SEPTEMBER 5, 2019  
  
 1849 WEST COVAY AVENUE, LAKEDENO, COLORADO 80503  
 970.483.6000 • MARTINMARTIN.COM



Civic Center Property  
Northglenn Civic Center Preliminary and Final Plat  
Case # 19-13

**RECOMMENDATION**



# RECOMMENDATION

## Planning Commission:

- Reviewed the request and conducted a public hearing at their September 17, 2019 meeting.
- The PC voted unanimously to recommend approval of the proposed Preliminary and Final Plat.

Staff recommends City Council approve CR-108, which is a resolution approving the Northglenn Civic Center Subdivision Preliminary and Final Plat.

# NEXT STEPS

- Rezoning and Platting presented to City Council on September 23, 2019 – This will conclude the entitlement package for the construction of the new Recreation Center, Senior Center, and Performing Arts Theatre.
- Site Development Plan was approved by Planning Commission at the September 17, 2019 meeting, contingent on approval of the rezoning of the property to PF.



SPONSORED BY: MAYOR ESQUIBEL

COUNCILMAN'S RESOLUTION

RESOLUTION NO.

No. CR-108  
Series of 2019

\_\_\_\_\_  
Series of 2019

A RESOLUTION APPROVING THE NORTHGLENN CIVIC CENTER SUBDIVISION PRELIMINARY AND FINAL PLAT

WHEREAS, the City of Northglenn is preparing to construct a new Recreation Center, Senior Center, and Theatre on the western portion of the Civic Center campus property; and

WHEREAS, the proposed development will also include the dedication of new public right-of-way and other public infrastructure; and

WHEREAS, the City of Northglenn has submitted applications for preliminary and final plat approval of the Northglenn Civic Center Subdivision, as shown in Exhibit A; and

WHEREAS, City Staff has completed a review of said applications and made a report to the Planning Commission, a copy of which has been presented to the City Council; and

WHEREAS, the Planning Commission, on the 17<sup>th</sup> day of September, 2019, following proper notice, held a public hearing regarding the applications, and following said public hearing made findings and recommended approval of the applications; and

WHEREAS, a public hearing was held before the City Council on the Northglenn Civic Center Subdivision Preliminary Plat on September 23, 2019; and

WHEREAS, based upon said report, hearing, and recommendation, the City Council hereby finds that approval of the Preliminary and Final Plat for the Northglenn Civic Center Subdivision meets the approval criteria in the Unified Development Ordinance and is appropriate.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. The City Council of the City of Northglenn, Colorado hereby approves the Preliminary and Final Plat for the Northglenn Civic Center Subdivision, attached hereto as **Exhibit A**, and incorporated herein by this reference.

DATED at Northglenn, Colorado this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
ANTONIO B. ESQUIBEL  
Mayor

ATTEST:

---

JOHANNA SMALL, CMC  
City Clerk

APPROVED AS TO FORM:

---

COREY Y. HOFFMANN  
City Attorney

# NORTHGLENN CIVIC CENTER SUBDIVISION PRELIMINARY PLAT

A REPLAT OF LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION LOCATED IN THE  
NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
CITY OF NORTHGLENN, COUNTY OF ADAMS,  
STATE OF COLORADO  
SHEET 1 OF 2

**LEGAL DESCRIPTION**

THE CITY OF NORTHGLENN, BEING THE OWNER OF THE REAL PROPERTY OF 20.59 ACRES DESCRIBED AS FOLLOWS:

LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION, EXCEPT THAT PORTION CONVEYED TO THE DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO IN SPECIAL WARRANTY DEED RECORDED JUNE 28, 2016 AT RECEPTION NO. 2016000051153, LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, STATE OF COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

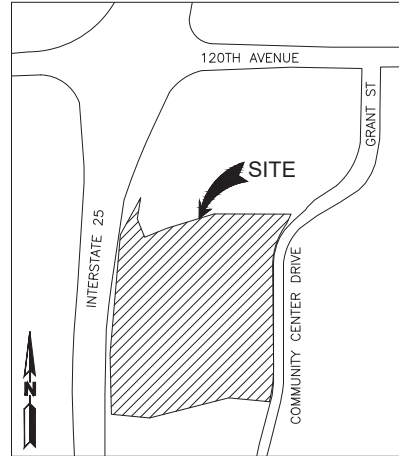
COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 3; THENCE S10°42'34"E A DISTANCE OF 862.02 FEET TO THE NORTHEAST CORNER OF SAID LOT 8, SAID POINT BEING THE POINT OF BEGINNING;  
THENCE ALONG THE EASTERLY LINE OF SAID LOT 8 THE FOLLOWING FIVE (5) CONSECUTIVE COURSES; 1) 60.23 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 343.20 FEET, A CENTRAL ANGLE OF 10°03'16", AND A CHORD WHICH BEARS S25°08'05"W A DISTANCE OF 60.15 FEET; 2) THENCE S30°09'43"W A DISTANCE OF 60.66 FEET; 3) THENCE 176.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 330.34 FEET, A CENTRAL ANGLE OF 30°41'21", AND A CHORD WHICH BEARS S14°49'02"W A DISTANCE OF 174.83 FEET; 4) THENCE S00°31'38"E A DISTANCE OF 560.91 FEET; 5) THENCE 190.05 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 729.58 FEET, A CENTRAL ANGLE OF 14°55'31", AND A CHORD WHICH BEARS S06°56'08"W A DISTANCE OF 189.52 FEET TO THE SOUTHEAST CORNER OF SAID LOT 8; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT 8 THE FOLLOWING THREE (3) CONSECUTIVE COURSES: 1) N84°33'13"W A DISTANCE OF 223.32 FEET; 2) THENCE S75°46'07"W A DISTANCE OF 445.46 FEET; 3) THENCE N84°33'13"W A DISTANCE OF 210.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8; THENCE ALONG THE WESTERLY LINE OF SAID LOT 8, N01°14'01"W A DISTANCE OF 330.41 FEET TO THE SOUTHERLY POINT OF SAID PARCEL RECORDED AT RECEPTION NO. 2016000051153; THENCE ALONG THE EASTERLY LINE OF SAID PARCEL, N05°11'41"E A DISTANCE OF 573.72 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 8; THENCE ALONG THE WESTERLY LINE OF SAID LOT 8 THE FOLLOWING TWO (2) CONSECUTIVE COURSES: 1) N03°14'41"E A DISTANCE OF 79.80 FEET; 2) THENCE N28°48'43"E A DISTANCE OF 229.93 FEET TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE ALONG THE NORTHERLY LINE OF SAID LOT 8 THE FOLLOWING FIVE (5) CONSECUTIVE COURSES: 1) S09°15'04"W A DISTANCE OF 117.28 FEET; 2) THENCE S21°57'39"E A DISTANCE OF 107.97 FEET; 3) THENCE N68°02'21"E A DISTANCE OF 132.40 FEET; 4) THENCE N73°04'07"E A DISTANCE OF 268.00 FEET; 5) THENCE S89°50'17"E A DISTANCE OF 420.75 FEET TO THE POINT OF BEGINNING.

**BASIS OF BEARINGS:**

BEARINGS ARE BASED ON THE NORTHERLY LINE OF THE NORTHWEST QUARTER OF SECTION 3, T2S, R68W OF THE 6TH P.M. BEARING N89°36'22"E, BEING MONUMENTED BY A FOUND 3 1/4" ALUMINUM CAP PLS # 10734 IN RANGE BOX AT THE NORTHWEST CORNER AND A FOUND 3 1/4" ALUMINUM CAP PLS # 36053 IN RANGE BOX AT THE NORTHEAST QUARTER CORNER.

**NOTES:**

- TRACT A AND B ARE TO BE DEVELOPED AS PARK SPACE FOR THE OVER-ALL SUBDIVISION DEVELOPMENT.



**VICINITY MAP**  
1"=200'

**CONTACT INFORMATION**

**OWNER/DEVELOPER**  
CITY OF NORTHGLENN  
11701 COMMUNITY CENTER DRIVE  
NORTHGLENN, CO 80233  
303.451.8326

**ARCHITECT**  
BARKER RINKER SEACAT ARCHITECTURE  
3457 RINGSBY CT #200  
DENVER, CO 80216  
303.455.1366

**LANDSCAPE ARCHITECT**  
MIG, INC.  
518 17TH ST #630  
DENVER, CO 80202  
303.440.9200

**ENGINEER/SURVEYOR**  
MARTIN/MARTIN, INC.  
12499 W. COLFAX AVE.  
LAKEWOOD, CO 80215  
303.431.6100

**SURVEYOR'S CERTIFICATE:**

I, RICHARD NOBBE, DO HEREBY CERTIFY THAT THE SURVEY OF THE BOUNDARY OF CITY OF NORTHGLENN CIVIC CENTER SUBDIVISION WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAT ACCURATELY REPRESENTS SAID SURVEY.

\_\_\_\_\_  
RICHARD A. NOBBE, PLS 23899

FOR AND ON BEHALF OF MARTIN/MARTIN, INC.

**CITY APPROVAL CERTIFICATE:**

THIS IS TO HEREBY CERTIFY THAT ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THE CITY NORTHGLENN, COLORADO, HAS APPROVED THIS PRELIMINARY PLAT FOR THE CITY OF NORTHGLENN CIVIC CENTER SUBDIVISION IN CONFORMANCE WITH THE ORDINANCES OF THE CITY OF NORTHGLENN.

BY:

\_\_\_\_\_  
DIRECTOR, PLANNING, AND DEVELOPMENT

\_\_\_\_\_  
DIRECTOR, PUBLIC WORKS

\_\_\_\_\_  
CHAIR, PLANNING COMMISSION

\_\_\_\_\_  
MAYOR, CITY OF NORTHGLENN

**TITLE INSURANCE NOTE:**

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY MARTIN/MARTIN, INC, TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS OF WAY AND TITLE OF RECORDS. MARTIN/MARTIN, INC. RELIED UPON TITLE REPORT N0020244-010-T02-ES DATED DECEMBER 3RD, 2018 AS PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, TO DELINEATE THE AFORESAID INFORMATION.

SEPTEMBER 5, 2019



DRAWING LOCATION: G:\Willis\15.0346-Northglenn Civic Center Campus & Community Center Drive Master Plan\PLANS\PLAT\Plat\_03-19.dwg

# NORTHGLENN CIVIC CENTER SUBDIVISION

A REPLAT OF LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION LOCATED IN THE NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

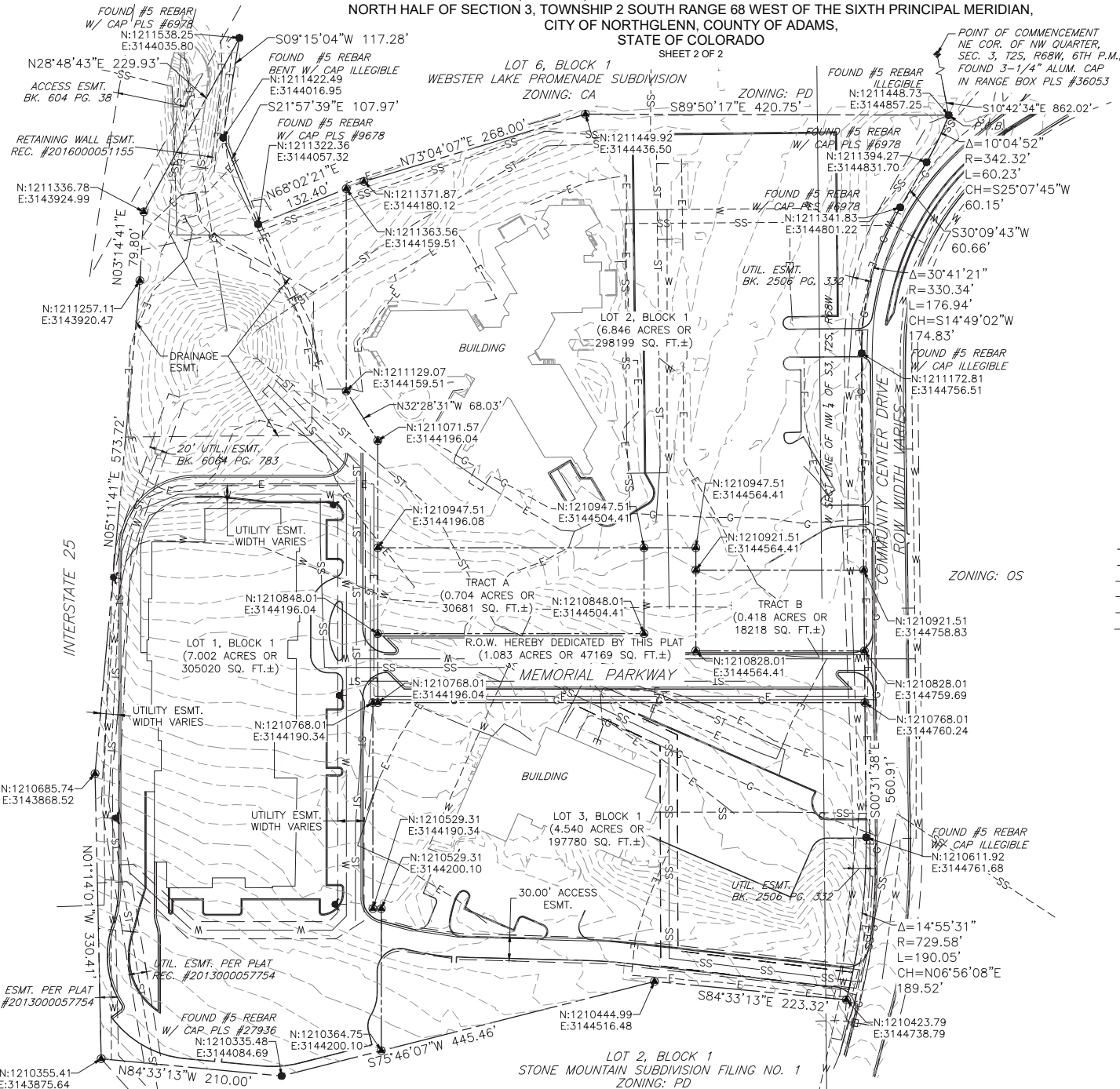
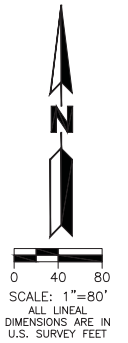
SHEET 2 OF 2

LOT SUMMARY	
LOT/BLOCK	AREA (ACRES)
LOT 1, BLOCK 1	7.0020
LOT 2, BLOCK 1	6.8460
LOT 3, BLOCK 1	4.5400
TRACT A	0.7040
TRACT B	0.4180
R.O.W.	1.0830
TOTAL	20.5930

LAND USE TABLE	
GROSS ACREAGE	20.593
NET ACREAGE	19.510
NUMBER OF LOTS	5
SMALLEST LOT	0.418
LARGEST LOT	6.993
NET ACREAGE FOR PUBLIC STREETS	1.083
NET ACREAGE FOR PRIVATE USE	11.395
NET ACREAGE FOR PUBLIC USE	8.115

## LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT
- ADJACENT PARCEL
- LOT LINE
- SECTION LINE
- FOUND MONUMENT AS DESCRIBED
- SET #4 REBAR WITH CAP PLS 23899



DRAWING LOCATION: G:\Willis\15.0346-Northglenn Civic Center Campus & Community Center Drive Master Plan\PLANS\PLAT\Plat\_03--19.dwg

SEPTEMBER 5, 2019

12409 WEST COLFAX AVENUE, LAKEWOOD, COLORADO 80215  
303.431.6100 MARTINMARTIN.COM

# NORTHGLENN CIVIC CENTER SUBDIVISION FINAL PLAT

A REPLAT OF LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION LOCATED IN THE  
NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
CITY OF NORTHGLENN, COUNTY OF ADAMS,  
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SHEET 1 OF 2

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**BASIS OF BEARINGS:**

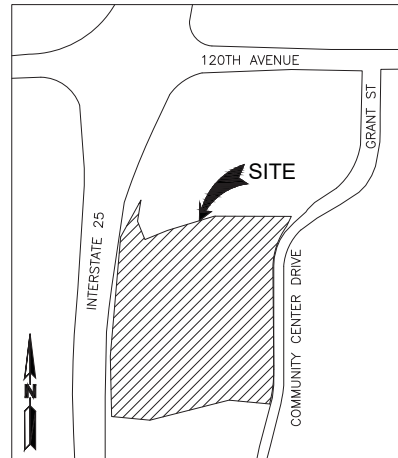
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**VICINITY MAP**  
1"=200'

**CITY APPROVAL CERTIFICATE:**

THIS IS TO HEREBY CERTIFY THAT ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THE CITY NORTHGLENN, COLORADO, HAS APPROVED THIS PRELIMINARY PLAT FOR THE CITY OF NORTHGLENN CIVIC CENTER SUBDIVISION IN CONFORMANCE WITH THE ORDINANCES OF THE CITY OF NORTHGLENN.  
BY:

\_\_\_\_\_  
DIRECTOR, PLANNING, AND DEVELOPMENT

\_\_\_\_\_  
DIRECTOR, PUBLIC WORKS

\_\_\_\_\_  
CHAIR, PLANNING COMMISSION

\_\_\_\_\_  
MAYOR, CITY OF NORTHGLENN

**RECORDATION CERTIFICATE:**

STATE OF \_\_\_\_\_ )  
 ) SS.  
COUNTY OF \_\_\_\_\_ )

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED OF RECORD AT MY OFFICE AT \_\_\_\_\_ O'CLOCK, \_\_\_\_\_ M., THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
RECEPTION NO. \_\_\_\_\_, FILE \_\_\_\_\_, MAP \_\_\_\_\_  
BY: \_\_\_\_\_  
CLERK AND RECORDER

**OWNERSHIP AND DEDICATION CERTIFICATE:**

THE UNDERSIGNED CERTIFIES TO AND FOR THE BENEFIT OF THE CITY COUNCIL OF NORTHGLENN CITY, COLORADO, THAT AS OF THE DATE SET FORTH BELOW, WE THE CITY OF NORTHGLENN BEING THE OWNER OF THE LAND DESCRIBED ABOVE, HAVE GOOD RIGHT AND FULL POWER TO CONVEY, ENCUMBER AND SUBDIVIDE SAME, AND THAT THE PROPERTY IS FREE AND CLEAR OF ALL LIENS, ENCUMBRANCES, EASEMENTS, AND RIGHTS-OF-WAY EXCEPT THE EASEMENTS AND RIGHTS-OF-WAY DEPICTED ON THIS PLAT. IN THE EVENT OF A DEFECT IN SAID TITLE WHICH BREACHES THE WARRANTIES IN THIS CERTIFICATE, THE UNDERSIGNED, JOINTLY AND SEVERALLY, AGREES TO REMEDY SUCH DEFECT UPON DEMAND BY NORTHGLENN CITY, WHICH REMEDY SHALL NOT BE DEEMED EXCLUSIVE.

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING THE OWNERS, MORTGAGEES, OR LIEN HOLDERS OF THE LAND DESCRIBED ABOVE, HAVE CAUSED THE LAND TO BE LAID OUT AND PLATTED UNDER THE NAME OF CITY OF NORTHGLENN CIVIC CENTER SUBDIVISION AND DO HEREBY DEDICATE AND GRANT TO THE PUBLIC FOREVER AND IN FEE SIMPLE THE ROADS AND OTHER PUBLIC WAYS AND LANDS SHOWN HEREON, AND DO HEREBY DEDICATE TO NORTHGLENN CITY, AND APPROPRIATE UTILITY COMPANIES AND EMERGENCY ASSISTANCE ENTITIES, THE EASEMENTS AS SHOWN HEREON FOR THE PURPOSES STATED IN COMPLIANCE WITH THE CITY OF NORTHGLENN SUBDIVISION REGULATIONS AND THE LANDOWNERS SHALL BEAR ALL EXPENSE INVOLVED IN PLANNING, DESIGN, AND CONSTRUCTION OF ALL PUBLIC IMPROVEMENTS EXCEPT TO THE EXTENT EXPRESSLY STATED IN ANY CITY-APPROVED AND RECORDED SUBDIVISION IMPROVEMENT AGREEMENT. DEDICATION SHALL BE FINAL UPON ADOPTION BY THE CITY COUNCIL ACCEPTING THE PROPERTY DEDICATED BY THIS PLAT. EXCEPT AS OTHERWISE STATED ON THIS PLAT, THERE SHALL BE NO LIMITATION OR RESTRICTION UPON THE PURPOSE OR PUBLIC USE OF PROPERTY DEDICATED BY THIS PLAT.

IN WITNESS WHEREOF; WE DO HEREUNTO SET OUT HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

\_\_\_\_\_  
(PRINTED NAME OF OWNER)

CORPORATE SEAL

STATE OF \_\_\_\_\_ )  
 ) SS.  
COUNTY OF \_\_\_\_\_ )

ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_  
BY WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY SEAL

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE:**

I, RICHARD A. NOBBE, DO HEREBY CERTIFY THAT THE SURVEY OF THE BOUNDARY OF CITY OF NORTHGLENN CIVIC CENTER SUBDIVISION WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAT ACCURATELY REPRESENTS SAID SURVEY.

\_\_\_\_\_  
RICHARD A. NOBBE, PLS 23899  
FOR AND ON BEHALF OF MARTIN/MARTIN, INC.

SEPTEMBER 5, 2019



DRAWING LOCATION: G:\Willis\15.0.346-Northglenn Civic Center Campus & Community Center Drive Master Plan\PLANS\PLAT\Plat\_03-19.dwg

# NORTHGLENN CIVIC CENTER SUBDIVISION

A REPLAT OF LOT 8, BLOCK 1, WEBSTER LAKE PROMENADE SUBDIVISION LOCATED IN THE NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 2 OF 2

LOT SUMMARY	
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TOTAL	20.5930

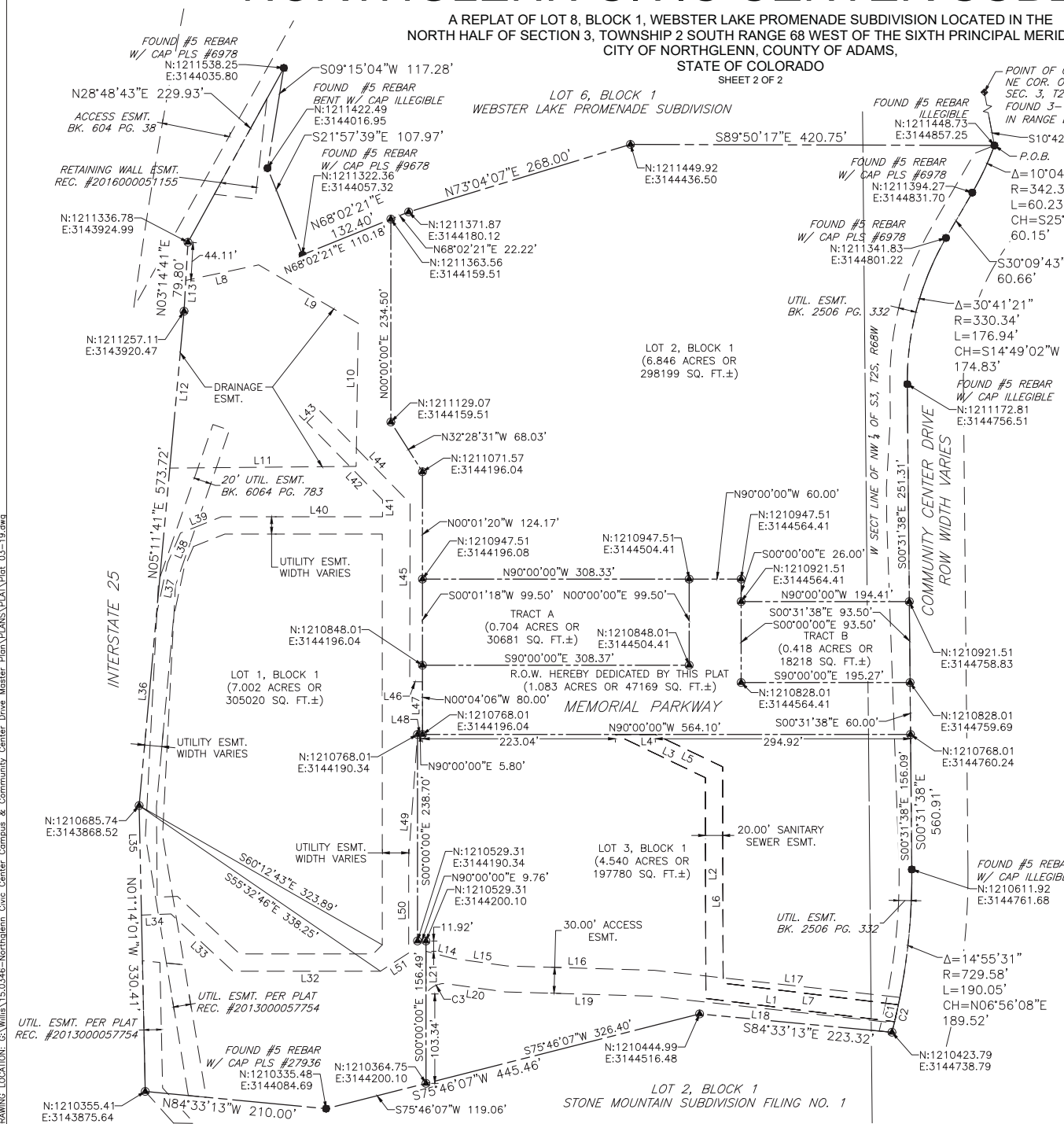
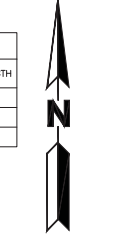
LAND USE TABLE	
GROSS ACREAGE	20.593
NET ACREAGE	19.510
NUMBER OF LOTS	5
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LARGEST LOT	6.993
NET ACREAGE FOR PUBLIC STREETS	1.083
NET ACREAGE FOR PRIVATE USE	11.395
NET ACREAGE FOR PUBLIC USE	8.115

LINE TABLE		LINE TABLE		LINE TABLE	
NUMBER	DIRECTION	LENGTH	NUMBER	DIRECTION	LENGTH
L1	S82°57'48"E	219.80'	L18	N83°42'19"W	281.50'
L2	S00°07'56"E	255.12'	L19	N88°20'03"W	170.16'
L3	S64°19'06"E	115.38'	L20	N82°04'39"W	64.55'
L4	N90°00'00"W	46.15'	L21	N00°00'00"E	49.30'
L5	N64°19'06"W	86.33'	L32	S89°59'53"W	170.56'
L6	N00°07'56"W	250.02'	L33	N47°13'23"W	97.46'
L7	N82°57'48"W	204.12'	L34	S87°46'37"W	34.13'
L8	S75°57'42"W	86.14'	L35	N01°14'01"W	126.54'
L9	N59°35'10"W	133.45'	L36	N05°11'41"E	221.83'
L10	N00°51'13"E	165.35'	L37	N12°03'36"E	60.25'
L11	N89°28'14"E	215.39'	L38	N23°18'36"E	38.28'
L12	S05°11'41"W	182.03'	L39	N68°18'36"E	51.02'
L13	S03°14'41"W	35.69'	L40	N90°00'00"E	186.12'
L14	S75°17'05"E	32.80'	L41	N00°00'00"E	19.52'
L15	S82°02'56"E	62.60'	L42	N44°17'31"W	125.12'
L16	S88°19'31"E	170.33'	L43	N45°42'29"E	20.00'
L17	S83°42'19"E	285.58'	L44	S44°17'31"E	150.29'

CURVE TABLE					
NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	1°34'42"	729.58'	20.10'	N12°37'28"E	20.10'
C2	2°07'18"	814.61'	30.17'	S12°16'24"W	30.16'
C3	73°08'38"	25.00'	31.92'	S67°48'38"W	29.79'

## LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT
- - - ADJACENT PARCEL
- - - LOT LINE
- - - SECTION LINE
- FOUND MONUMENT AS DESCRIBED
- SET #4 REBAR WITH CAP PLS 23899



DRAWING LOCATION: G:\Willis\15.0346-Northglenn Civic Center Campus & Community Center Drive Master Plan\PLANS\PLAT\Plat\_03--19.dwg

SEPTEMBER 5, 2019

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