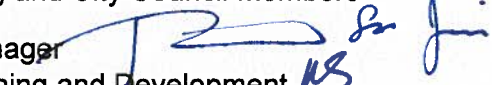




PLANNING AND DEVELOPMENT DEPARTMENT

MEMORANDUM 17-50

DATE: August 28, 2017

TO: Honorable Mayor Joyce Downing and City Council Members

FROM: James A. Hayes, AICP, City Manager 
Brook Svoboda, Director of Planning and Development 
Eric Ensey, AICP, Senior Planner 

SUBJECT: CB-1895–Rezoning for Certain Real Properties at 10701 Washington Street
(Second Reading)

PURPOSE

City Council will be considering a zone change for the property located at the northwest corner of Washington Street and Garland Drive (1701 Washington Street) from C-4 (Conditional) Commercial to Planned Unit Development (PUD). This rezoning to PUD includes the relocation of the Starbucks container store with drive-thru currently located at W. 104th Avenue and Bannock Street to the subject site, which is currently a vacant pad site at the Garland Center.

BACKGROUND

Attached to this memo is a proposed ordinance, which if approved, would rezone the existing property located at 10701 Washington Street to PUD. Staff presented the Preliminary and Final PUD application to the Planning Commission at a Public Hearing held August 15, 2017. The Commission voted unanimously (6-0) to forward a recommendation for approval to the City Council of the proposed PUD. The Planning Commission basis for the decision for a PUD proposal on the following criteria:

- The proposed development is compatible with the surrounding area;
- The proposed development is not inconsistent with the City's Master Plan;
- The proposed development does not adversely affect the health, safety, and welfare of the inhabitants of the area and the City of Northglenn;
- Adequate circulation exists and traffic movement will not be impeded by the proposed development; and
- Additional municipal service costs will not be incurred.

Planning Commission Resolution 2017-20 included the following conditions for final adoption by the Council:

1. The Planning Commission's approval of the Final PUD is subject to approval of the Preliminary PUD by the City Council. Should the City Council deny the Preliminary PUD, then the Planning Commission's approval of the Final PUD is rendered null and void.
2. All other necessary permits will be obtained prior to construction.
3. The applicant will be required to enter into a Stormwater Facilities Maintenance Agreement prior to issuance of a Certificate of Occupancy.

The Commission requested the applicant provide information on a couple topics as a result of public comment. The first item was the proposed hours of operation for the Starbucks. The applicant has indicated that the proposed Starbucks will be open Monday through Friday from 4:30 a.m. to 9:00 p.m. and till 10:00 p.m. on weekends. However, the City's Zoning Ordinance does not regulate hours of operation for businesses. The second item was to describe lighting proposed for the site. The site plan indicates the use of the existing lighting in the Walmart parking lot. However, the existing building has building-mounted accent and security lighting that will remain with the relocation. The City's Zoning Ordinance has minimal lighting regulations for commercial development. The code allows for lighting to provide for safety and security of a site, provided that such lighting does not negatively impact adjacent rights-of-way and properties. The lighting proposed is minimal and will not negatively impact adjacent rights-of-way or properties.

A copy of the proposed Planning Commission Recommendation Resolution and Staff Report with PUD Plan Set are included as **Attachments 1 & 2**.

UPDATE

CB-1895 was approved on first reading at the August 14, 2017 meeting and the second reading and public hearing was scheduled for August 28, 2017.

BUDGET IMPLICATIONS

This ordinance amendment request has no budgetary impacts.

SCHEDULE/TIME IMPLICATIONS

N/A.

CITY COUNCIL OPTIONS

Following the public hearing on this item, the City Council is tasked to make the final decision regarding Preliminary PUD. The City Council options are as follows:

1. Approve the request, with or without conditions or stipulations;
2. Deny the request for reasons stated; or
3. Table the request for further consideration.

STAFF RECOMMENDATION

Staff recommends approval of CB-1895 on second reading.

STAFF REFERENCE

Brook Svoboda, Director of Planning and Development

bsvoboda@northglenn.org

303.450.8937

Eric Ensey, AICP, Senior Planner

eensity@northglenn.org

303.450.8740

ATTACHMENTS

Attachment 1 Planning Commission Resolution 2017-20

Attachment 2 Staff Report

Attachment 3 Staff Presentation

RESOLUTION 2017-20
NORTHGLENN PLANNING COMMISSION

A RESOLUTION PROVIDING A FAVORABLE RECOMMENDATION TO THE CITY COUNCIL FOR APPROVAL OF THE STARBUCKS AT WASHINGTON AND GARLAND PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD) AND APPROVAL OF ANY FINAL PLANNED UNIT DEVELOPMENT ELEMENTS CONTAINED THEREIN

WHEREAS, Northglenn Ordinance 11-37-2 requires that the Northglenn Planning Commission review and make recommendation to Council any application for rezoning; and

WHEREAS, the Northglenn Planning Commission therefore desires to make its recommendations to the City Council as required by law; and

WHEREAS, the Planning Commission has found that the application satisfies the applicable criteria for rezoning and PUD criteria under 11-37-2 & 11-16-2 for purposes of approving the Final Planned Unit Development respectively.

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. The City of Northglenn Planning Commission hereby provides a favorable recommendation to the City Council for approval of the STARBUCKS AT WASHINGTON AND GARLAND Preliminary and Final PUD in accordance with the proposed Ordinance for adoption.

Section 2. The City of Northglenn Planning Commission hereby recommends that in addition to the conditions spelled out in the proposed adopting ordinance, they shall be reflected, if necessary, on the Final PUD to be recorded with the Adams County Clerk and Recorder, as required by law.

1. The Planning Commission's approval of the Final PUD is subject to approval of the Preliminary PUD by the City Council. Should the City Council deny the Preliminary PUD, then the Planning Commission's approval of the Final PUD is rendered null and void.
2. All other necessary permits will be obtained prior to construction.
3. The applicant will be required to enter into a Stormwater Facilities Maintenance Agreement prior to issuance of a Certificate of Occupancy.

DATED this 15th day of August, 2017



Sonia Di Carlo
Planning Commission Chair

ATTEST:


Rebecca Smith, AICP
Secretary

PLANNING AND DEVELOPMENT DEPARTMENT
MEMORANDUM

DATE: August 15, 2017
TO: Planning Commission
FROM: Eric Ensey, Senior Planner
THROUGH: Becky Smith, Planning Manager
Brook Svoboda, Director of Planning and Development
SUBJECT: Staff Report and Analysis – Starbucks at 550 W. 104th Avenue
Rezone to a Planned Unit Development and Minor Subdivision Plat

REQUEST

The applicant, SBX Helena Lyndale Ave., LLC, is seeking approval of a Rezone to a Planned Unit Development (PUD) to relocate the existing Starbucks container store currently located at W 104th and Bannock to an existing pad site at the Garland Center.

RECOMMENDATION

Staff Recommendation:

Staff recommends the Planning Commission recommend to the City Council for approval of a rezone to PUD based on the recommended findings of fact outlined in the resolutions attached. The approval shall be subject to the following conditions of approval:

1. The Planning Commission's approval of the Final PUD is subject to approval of the Preliminary PUD by the City Council. Should the City Council deny the Preliminary PUD, then the Planning Commission's approval of the Final PUD is rendered null and void.
2. All other necessary permits will be obtained prior to construction.
3. The applicant will be required to enter into a Stormwater Facilities Maintenance Agreement prior to issuance of a Certificate of Occupancy.

Recommended Motions:

The following is a recommended motion for the proposed rezoning to PUD:

"I move to approve Resolution 2017-20, recommending approval to the City Council of a rezone to PUD requested by Wadsworth Development Group (on behalf of the owner SBX Helena

Lyndale, LLC) for approval of case number Z-4-17, for a Preliminary and Final Planned Unit Development for construction of a drive-thru facility for Starbucks located at 10701 Washington Street, subject to the conditions outlined therein.”

DISCUSSION

Background:

Site Data.

Address	10701 Washington Street
General Location	Northwest corner of Washington Street and Garland Drive; property is part of the Garland Center
Zoning	C-4 (Conditional)
Acreage	15,625 square feet (.36 acres)
Building Square Footage (Existing/Proposed)	Existing site is an undeveloped pad site; new building will be 600 square feet and will be the site for the relocation of the Starbucks container store currently located at 104 th and Bannock.

Characteristics of the Site.

- The subject site is currently an undeveloped pad site at the Garland Center.
- The site will be part of the parking lot of the Walmart Neighborhood Market.
- The site will have one access point to Washington Street and connectivity to the Walmart Neighborhood Market parking lot.

Comprehensive Plan Compliance.

- The City of Northglenn’s Comprehensive Plan identifies the site as a “mixed use medium intensity” use.
- The proposed redevelopment of this site supports various policy goals of the city identified in Section 6 of the Comprehensive Plan discussing economic development.

Zoning and Surrounding Land Uses.

The following table summarizes the zoning and land uses for the properties surrounding this site (see Exhibit B for a Zoning Map of the vicinity):

	Zoning	Land Use
North	C-4	Walmart Neighborhood Market
South	R-1-C (south of Garland Drive)	Gethsemane Lutheran Church
East	R-1-C (east of Washington Street)	Existing single family detached residential
West	C-4	Walmart Neighborhood Market

Notification Requirements:

Notification for this application was conducted in accordance with the requirements of Section 11-37-3(a). Notice of the public hearing was published in the Northglenn Sentinel at least 15 days prior to the public hearing. Additionally, mailed notice was sent out to 35 surrounding properties and a sign was posted on the property at least 10 days prior to the public hearing.

Analysis:

The following section includes a discussion and analysis of various topics related to the development application package being presented to the Commission.

Land Use/Site Plan.

The existing site is zoned C-4 with conditions (see Exhibit D for the ordinance approved to rezone the property to C-4 along with the conditions associated). The C-4 zoning would allow the proposed use of the site as a drive-thru coffee shop. The rezoning will remove those conditions associated with the original zoning to C-4. The applicant is proposing the rezoning to a PUD to allow for some flexibility with setbacks for the drive-thru facility on site.

Section 11-19-4 stipulates setback requirements for commercial development. In this case the following setbacks apply:

Property Line:	Setback Requirement:
North (Side)	5'
East (Front)	25' from the curb (<i>front setback is applicable because adjacent to a public street</i>)
South (Front)	25' from the curb (<i>front setback is applicable because adjacent to a public street</i>)
West (Rear)	15'

The proposed building complies with the setbacks stipulated for the C-4 zone district. However, the code further stipulates the only improvements that may encroach into a required front setback is landscaping, sidewalks, trails and driveways. In this case, the proposed drive-thru aisle adjacent to Garland Drive is 14.8' from the back of curb along Garland to the edge of the drive-thru aisle. Staff is supportive of this deviation because of constraints to the site associated with its size. The lot is only .38 acres in size and has two frontages, which makes it more challenging to develop for a drive-thru restaurant use without flexibility with the setback requirements. The proposed drive-thru aisle complies with the setback along Washington Street, which is a major arterial. However flexibility is sought along Garland Drive, which is a collector street. The applicant is also proposing landscaping along Garland that will buffer the drive-thru aisle from the street.

Traffic.

The city's Public Works Department has reviewed and approved the Traffic Impact Analysis for the site. The existing driveway access point along Washington Street will be maintained. No additional access points have been requested by the applicant along Garland Drive. The attached Exhibit E is the executive summary of the traffic study.

Parking and Circulation.

The proposed development of the site includes a total of 5 parking spaces. The city's minimum off-street parking requirements contained in Section 11-33-6(I) stipulates the required off-street parking ratio for food/beverage service businesses: 1 parking stall for each 3 seats, plus 1 parking space for each 2 employees. In this case, the applicant has indicated no seating area associated with this location and 4 employees at the maximum shift, which calculates to a total of 2 spaces required. The application is in excess of the city's requirements.

The applicant has also provided a Parking and Access Easement with the Walmart Neighborhood Market, which allows for additional parking and circulation for patrons of the

Starbucks on the Walmart site (see attached Exhibit G for a copy of the signed Access and Parking Easement).

The applicant has included the required ADA assessable route to the building via a connection with the sidewalk along Washington.

Drainage.

The city's Public Works Department has reviewed and approved the Drainage Report for the site. Because the site is less than an acre in area, no detention is required. However, the development of the site includes the required water quality through a grass swale system. The attached Exhibit F is the conclusion statement from the drainage study.

Utilities.

The proposed development will tap into the existing city main water and sanitary sewer lines located in the Garland Drive right-of-way. Through the building permitting process, any necessary permits required by Xcel Energy for electricity and gas, as well as any cable and/or phone connections will need to be coordinated through each respective entity's permitting process.

Landscaping.

The city's landscape requirements are found in Section 11-6-13 of the Zoning Ordinance. The proposal includes 29.8% of the site as landscaped, which exceeds the city requirement of 12%.

The code also requires a minimum of 1 shade tree for every 40 feet of linear street frontage and 1 ornamental tree for every 50 feet of frontage. In this case, the site would be required a total of 5 shade trees and 5 ornamentals. The applicant proposes to maintain 1 existing tree on site and will be providing a total of 7 shade trees and 3 ornamental trees, which equals the total of 10 trees required by the code.

Architectural and Elevations.

The architecture of the proposed facility is a finished shipping container concept that includes reclaimed wood siding and a mix of metal and glass elements. The building intended for this site is currently located at 104th and Bannock. Upon completion of the new Starbucks on 104th and Melody, the applicant proposes to relocate the 104th and Bannock building to the site proposed in this PUD application.

Signage.

Review of signage is not part of the PUD review. A separate permit is required to be submitted for all signage in accordance with Chapter 21 of the Municipal Code (Sign Code).

North Metro Fire Rescue Review.

Staff has referred this application to North Metro Fire Rescue District for their review. North Metro has reviewed the submitted plans and approved the plans. However, the applicant is still required to obtain additional approval from NMFRD for the construction drawings. This review is required prior to issuance of a building permit.

APPROVAL CRITERIA

Applicable Approval Code Provisions:

The following sections of the code should be considered with review of the various components of this application.

- Article 16 of the Zoning Ordinance (Planned Unit Development, PUD)

Criteria Analysis:

Section 11-16-6 of the Zoning Ordinance refers to the approval criteria listed in Section 11-37-2(h) for consideration of a rezone to PUD. The Planning Commission shall review the proposal and give consideration to each of the criteria if considering approval of the rezone to PUD. The following table is an analysis of each criteria along with staff’s finding on each criteria:

Criteria:	Staff Analysis:
(1) That a need exists for the development.	The proposed drive-thru coffee shop will be an addition to the economic base of the city, thereby creating jobs and revenue.
(2) That this particular parcel of ground is indeed the correct site for the proposed development.	The site currently is an undeveloped pad site. The proposal will develop and invigorate the site again. Further the location of the site has been designated in the city’s future land use plan element of the Comprehensive Plan as an appropriate use for the proposed Starbucks.
(3) That there has been an error in the original zoning.	Not applicable.
(4) That there have been significant changes in the area to warrant a zone change.	Previous improvements to this site were demolished many years ago. This proposed zone change would contribute to redevelopment of this site. The proposed use of the site would be consistent with the current C-4 zoning, however rezoning to a PUD allows for some flexibility in setbacks for the drive-thru aisle adjacent to the Garland Drive frontage.
(5) That adequate circulation exists and traffic movement would not be impeded by development.	The vehicular and pedestrian circulation of the site is sufficient to accommodate the proposed use. The city’s Public Works Department has reviewed and approved the Traffic Impact Analysis and determined that the proposed use will not have a significant impact on the traffic flow pattern in the vicinity.
(6) That additional municipal service costs will not be incurred which the City is not prepared to meet.	The proposed development does not increase municipal service costs.

ADMINISTRATION

Possible Actions by the Planning Commission.

The Planning Commission is tasked at providing a recommendation to the City Council on a proposed Preliminary PUD, however its decision regarding the Final PUD is final. The Commission’s options are as follows:

1. Approve the request, with or without conditions or stipulations;

2. Deny the request for reasons states; or
3. Table the request for further consideration.

Next Steps.

The Planning Commission is the final approval authority for the Final PUD. However, the Preliminary PUD request requires approval by the City Council. The ordinance for rezoning to PUD is scheduled for review the City Council on first reading on August 14, 2017 and second reading on August 28, 2017. The Planning Commission's approval of the Final PUD is subject to approval of the Preliminary PUD by the City Council. Additionally, all necessary building permits and NMFRD approvals must be obtained prior to construction

ATTACHMENTS

- Exhibit A - Aerial Vicinity Map
- Exhibit B - Zoning Map
- Exhibit C - Planned Unit Development
- Exhibit D - Conditional Zone Ordinance
- Exhibit E - Executive Summary of the Traffic Impact Analysis
- Exhibit F - Executive Summary of the Drainage Report
- Exhibit G - Access and Parking Easement

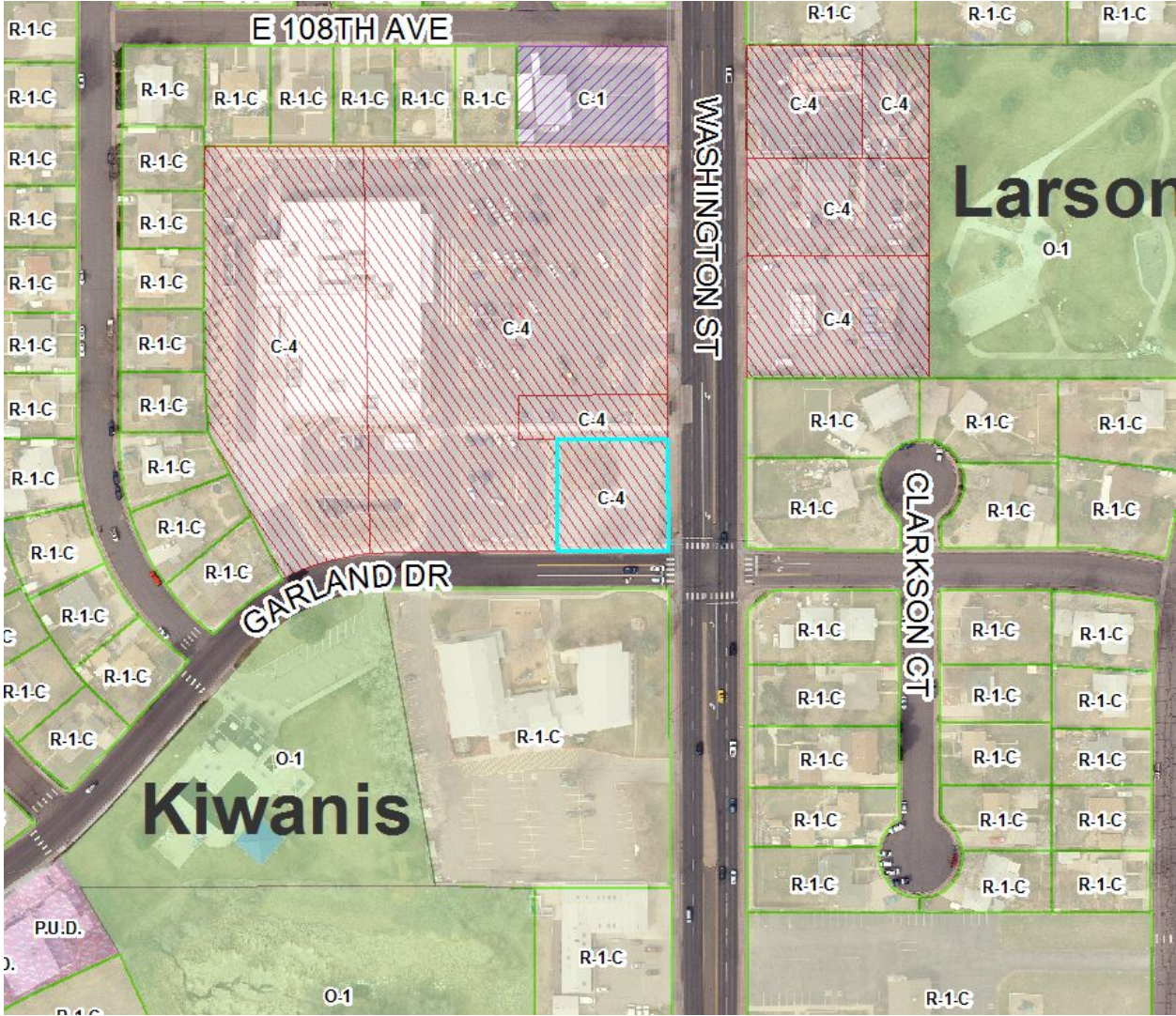
EXHIBIT A

Aerial Map



EXHIBIT B

Zoning Map



ZONING			
	A-1		P.U.D.
	C-0		R-1-A
	C-1		R-1-B
	C-3		R-1-C
	C-4		R-2
	C-5		R-3
	I-2		R-3-A
	O-1		R-4

STARBUCKS AT WASHINGTON & GARLAND

A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
SITUATED IN THE SE $\frac{1}{4}$ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD

EXHIBIT C



2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

SITE USE INFORMATION

ALLOWED USES:
IN ADDITION TO THOSE SET FORTH IN ARTICLE 23 OF CHAPTER 11 (C-4 ZONING) OF THE NORTHGLENN MUNICIPAL CODE, THE FOLLOWING USES SHALL BE USES-BY-RIGHT:
RESTAURANTS INCLUDING THOSE WITH DRIVE-THRU SERVICES
ALL USES ALLOWED IN THE C-4 ZONE DISTRICT SET FORTH IN ARTICLE 23, CHAPTER 11 OF THE NORTHGLENN MUNICIPAL CODE.

MINIMUM BUILDING SETBACKS:
EAST (N. WASHINGTON AVE.) - 40'
SOUTH (GARLAND DR.) - 20'
WEST - 10'
NORTH - 10'

PARKING SETBACKS:
EAST (N. WASHINGTON AVE.) - 40'
SOUTH (GARLAND DR.) - 20'
WEST - 0'
NORTH - 0'

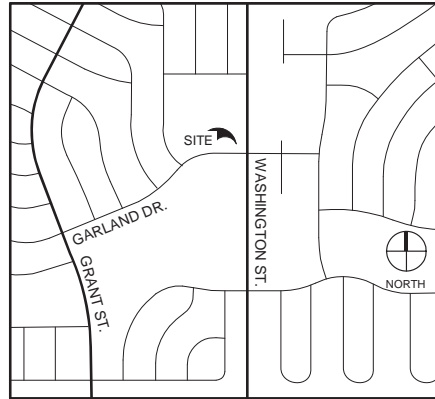
PARKING
AT A MINIMUM, PARKING REQUIREMENTS SHALL BE PER SECTION 11-33-6 OF THE ZONING ORDINANCE.

DEVIATIONS FROM ZONING REGULATIONS:
BUILDING AND DRIVE-THRU LANE SETBACKS - SOUTH (GARLAND DR.)

PROPOSED SCHEDULE FOR CONSTRUCTION:
CONSTRUCTION START - LATE SUMMER/FALL 2017
OPEN FOR BUSINESS - WINTER 2017-2018

THE CITY OF NORTHGLENN RESERVES THE RIGHT TO PERIODICALLY REVIEW THIS PUD FOR CONFORMANCE WITH ITS PROPOSED CONSTRUCTION SCHEDULE AND, WHEN APPROPRIATE, REZONE THIS PROPERTY TO A DIFFERENT ZONING CLASSIFICATION.

VICINITY MAP



SITE DATA

PROPOSED USES	COFFEE SHOP WITH DRIVE-THRU	
	C-4	PUD
ZONING - EXISTING AND PROPOSED		
TOTAL AREA OF PROPERTY	15,625 SF	100%
TOTAL BUILDING COVERAGE	660 SF	4.2%
TOTAL LANDSCAPE COVERAGE	4,654 SF	29.8%
TOTAL LOT COVERAGE BY STRUCTURES & PAVING	10,311 SF	66.0%
	REQUIRED (PER 11-33-6(j))*	PROVIDED
NUMBER OF PARKING SPACES	2	5
NUMBER OF HANDICAP SPACES	1	1

* PARKING REQUIREMENT IS 1 SPACE / 3 SEATS, PLUS 1 SPACE / 2 EMPLOYEES ON LARGEST SHIFT. THIS STARBUCKS HAS NO SEATING AREAS BUT A WALK-UP WINDOW, WHICH COULD BE ESTIMATED TO HAVE 2 CUSTOMERS AT ONE TIME. IT IS ESTIMATED 4 EMPLOYEES DURING THE MAXIMUM SHIFT WOULD EQUAL 2 ADDITIONAL SPACES = EQUALS 4 PARKING SPACES TOTAL REQUIRED.

LEGAL DESCRIPTION

THE EAST 125 FEET OF THE SOUTH 125 FEET OF LOT 15, BLOCK 37, NORTH GLENN-SECOND FILING, SITUATED IN THE SE $\frac{1}{4}$ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M. CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO.

SHEET INDEX

1 OF 10	COVER SHEET
2 OF 10	SITE PLAN
3 OF 10	GRADING & DRAINAGE PLAN
4 OF 10	UTILITY PLAN
5 OF 10	LANDSCAPE PLAN
6 OF 10	LANDSCAPE DETAILS
7 OF 10	ARCHITECTURAL ELEVATIONS
8 OF 10	ARCHITECTURAL ELEVATIONS
9 OF 10	ACCESSORY BUILDING ELEVATIONS
10 OF 10	TRASH ENCLOSURE ELEVATIONS

OWNER:

I, _____, ON BEHALF OF SBX HELENA LYNDALAE AVE., LLC, HEREBY AFFIRM THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREIN, KNOWN AS STARBUCKS AT WASHINGTON AND GARLAND

OWNER _____ DATE _____

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2017, BY _____

WITNESS MY HAND AND OFFICIAL SEAL,

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

ENGINEER'S CERTIFICATE:

I, RYAN J LOFTUS, A REGISTERED PROFESSIONAL ENGINEER, DO CERTIFY THAT THE GRADING, DRAINAGE, AND UTILITY PLANS FOR THE STARBUCKS AT WASHINGTON & GARLAND PUD WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ENGINEER _____ DATE _____

APPROVAL LIST:

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

DIRECTOR OF COMMUNITY DEVELOPMENT _____ DATE _____

DIRECTOR OF PUBLIC WORKS AND UTILITIES _____ DATE _____

MAYOR _____ DATE _____

CITY CLERK _____ DATE _____

CERTIFICATE OF CLERK AND RECORDER:

THIS PUD WAS FILED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER IN THE COUNTY OF ADAMS, STATE OF COLORADO, THIS _____ DAY OF _____, 2017, AND ENTERED INTO PLAT BOOK _____ AT PAGE _____, RECEPTION NO. _____

BY: _____
DEPUTY _____

CLERK AND RECORDER _____

MY COMMISSION EXPIRES _____

INSTRUMENT NO. _____

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 6/28/2017	BY: CP / RJL
DESCRIPTION: PUD RESUBMITTAL		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: 05/08/2017	SCALE: N/A
PROJECT MANAGER: CMP	PROJECT NO.: -
DRAWN BY: CMP	DRAWING FILE: -

PROJECT:



STARBUCKS COFFEE COMPANY
10701 WASHINGTON ST
NORTHGLENN, CO 80233

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
1 OF 10

DEVELOPMENT CONTACTS:

CIVIL ENGINEER / LANDSCAPE ARCHITECT

STERLING DESIGN ASSOCIATES, LLC
2009 W. LITTLETON BLVD., #300
LITTLETON, CO 80120
PH: (303) 794-4727
CONTACT: CINDY PEDRIOLI
E-MAIL: cindy@sterlingdesignassociates.com

APPLICANT / DEVELOPER

WADSWORTH DEVELOPMENT GROUP
166 E. 14000 S., SUITE 210
DRAPER, UT 84020
PH: (801) 748-4088
CONTACT: BRAD WATSON
EMAIL: brad@wadsdev.com

SURVEYOR

ENGINEERING SERVICE COMPANY
14190 E. EVANS AVENUE
AURORA, CO 80014
PH: (303) 337-1393
CONTACT: CHARLES BECKSTROM
E-MAIL: cbeckstrom@engineeringserviceco.com

STARBUCKS AT WASHINGTON & GARLAND

A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
SITUATED IN THE SE 1/4 OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
Littleton, CO 80120
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www.SterlingDesignAssociates.com

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
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DESCRIPTION: -		
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DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
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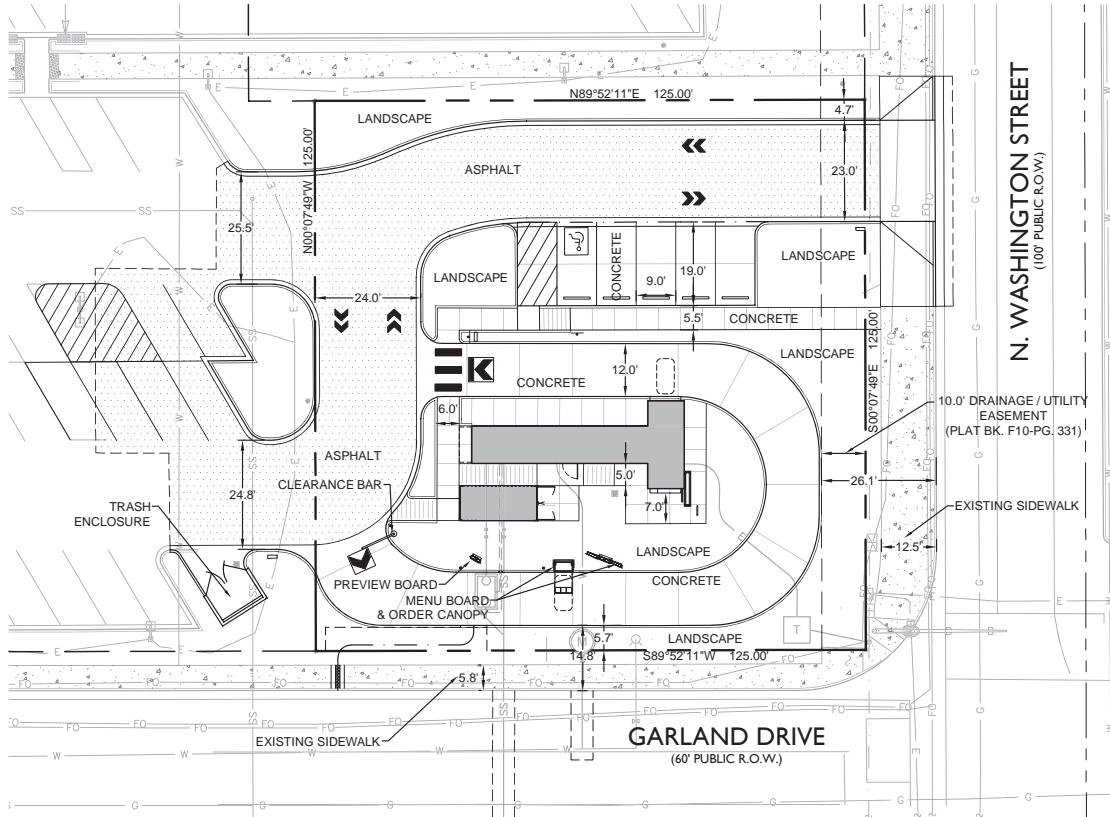
PROJECT:

STARBUCKS COFFEE COMPANY
10701 WASHINGTON ST
NORTHGLENN, CO 80233

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
TEL: (206) 318-1575

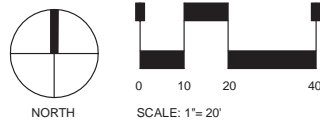
SHEET TITLE:
SITE PLAN

SHEET NUMBER:
2 OF 10



LEGEND

- R.O.W. / PROPERTY LINE
- ADJOINING PROPERTY
- EASEMENT LINE
- EXISTING SIDEWALK
- EXISTING CURB & GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- CONCRETE PAVEMENT
- EXISTING SIGN
- PROPOSED SIGNS
- DIRECTIONAL PAVEMENT ARROWS



STARBUCKS AT WASHINGTON & GARLAND

A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
SITUATED IN THE SE ¼ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



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PRELIMINARY
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STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
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NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
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DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	05/08/2017	SCALE:	1"=20'
PROJECT MANAGER:	CMP	PROJECT NO.:	-
DRAWN BY:	RJL	DRAWING FILE:	-

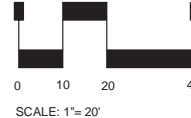
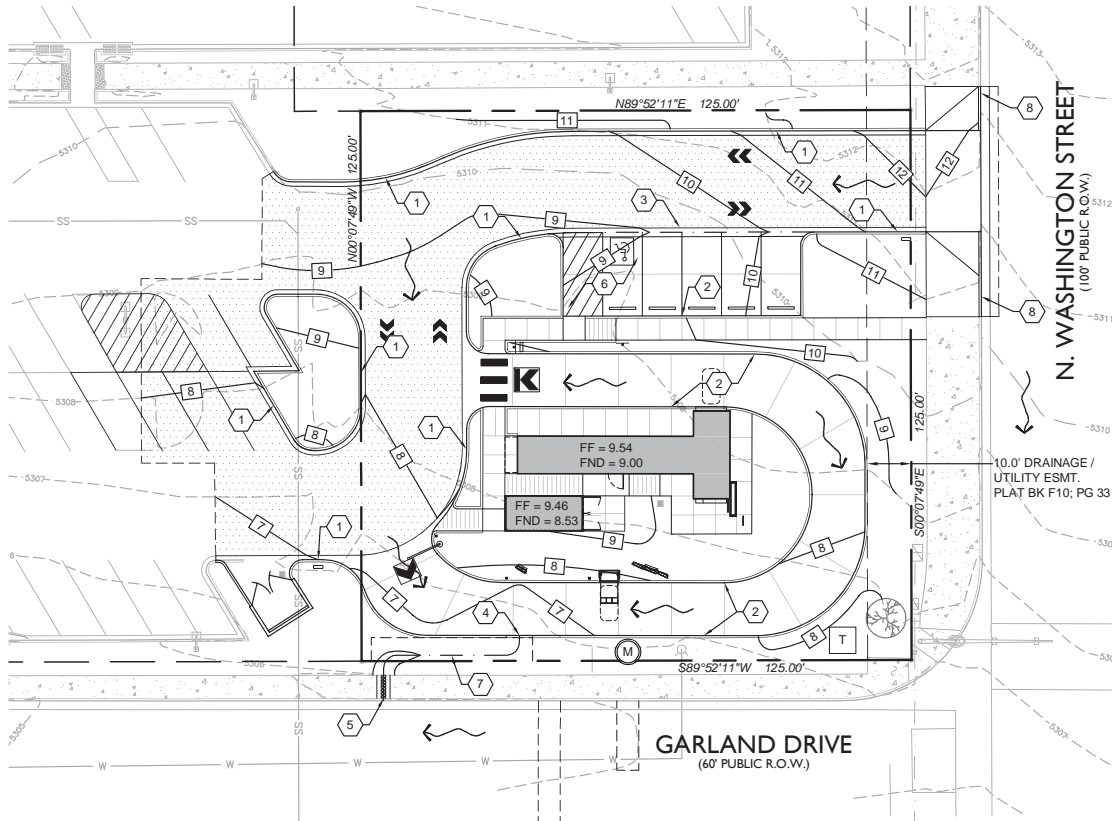
PROJECT:

STARBUCKS COFFEE COMPANY
10701 WASHINGTON ST
NORTHGLENN, CO 80233

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
TEL: (206) 318-1575

SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
3 OF 10



CONSTRUCTION NOTES

- 1 CONSTRUCT 6-INCH VERTICAL CONCRETE CURB AND GUTTER WITH 1-FOOT PAN.
- 2 CONSTRUCT 6-INCH VERTICAL CONCRETE CURB MONOLITHIC TO THE ADJOINING PAVING.
- 3 CONSTRUCT 2-FOOT CONCRETE PAN.
- 4 CONSTRUCT 1-FOOT CURB CUT WITH 2-FOOT TAPER EITHER SIDE.
- 5 CONSTRUCT SIDEWALK CHASE.
- 6 CONSTRUCT HANDICAP PARKING AREA - NO GRADES GREATER THAN 2.0% IN ANY DIRECTION.
- 7 CONSTRUCT ROCK SWALE.
- 8 CONSTRUCT PUBLIC CURB AND GUTTER WITH ATTACHED WALK.

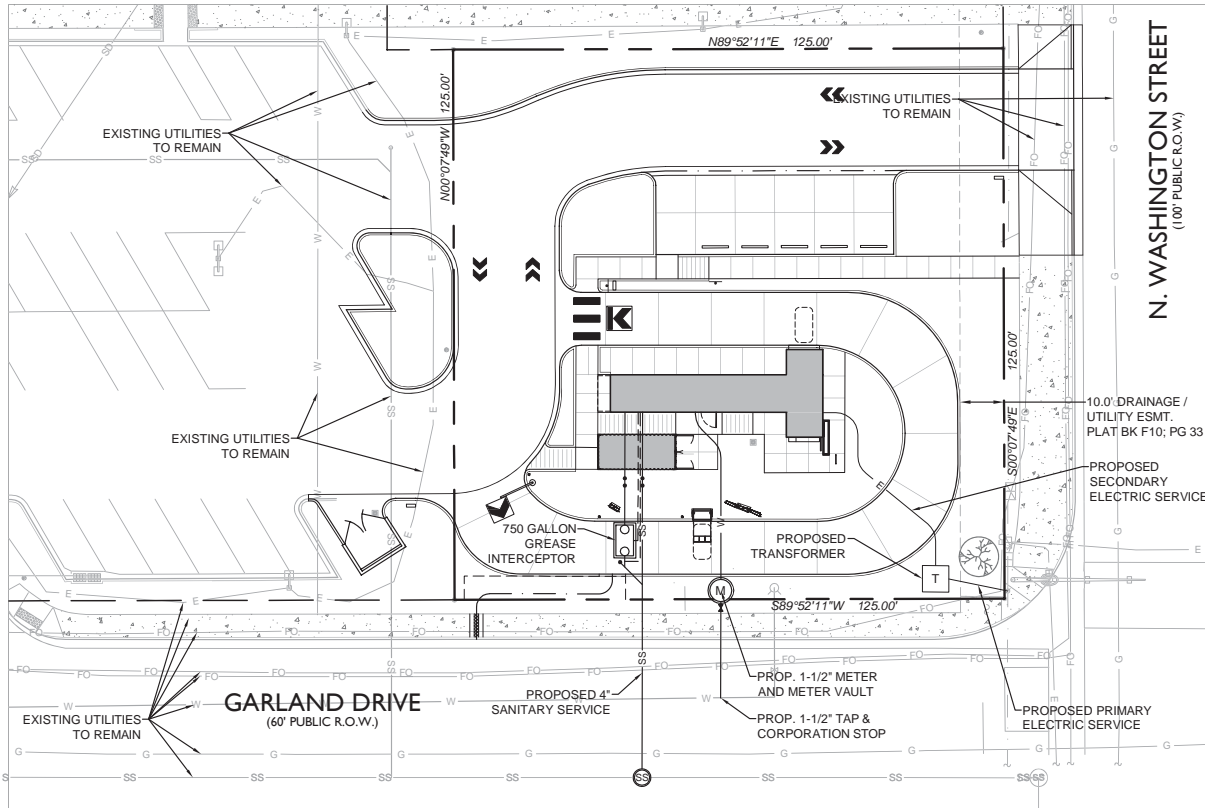
LEGEND

	R.O.W. / PROPERTY LINE		EXIST. SIGN
	ADJOINING PROPERTY		PROP. SIGN
	EASEMENT LINE		EXIST. CONTOUR
	EXIST. SIDEWALK		PROP. CONTOUR
	EXIST. CURB & GUTTER		FLOW DIRECTION ARROW
	PROP. CURB AND GUTTER		SAWCUT LINE
	PROP. SIDEWALK		
	CONCRETE PAVEMENT		
	EXIST. SAN. MANHOLE		
	EXIST. WATER VALVE		

STARBUCKS AT WASHINGTON & GARLAND
 A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
 SITUATED IN THE SE ¼ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
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STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 6/28/2017	BY: CP / RJL
DESCRIPTION: PUD RESUBMITTAL		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
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DESCRIPTION: -		
NO. 4	DATE: -	BY: -
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NO. 6	DATE: -	BY: -
DESCRIPTION: -		

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DRAWN BY:	RJL	DRAWING FILE:	-

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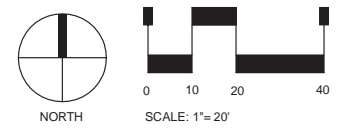
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 SEATTLE, WA 98134
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SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
4 OF 10

LEGEND			
	R.O.W. / PROPERTY LINE		EXIST. WATER LINE
	ADJOINING PROPERTY		EXIST. GAS LINE
	EASEMENT LINE		EXIST. SAN. SEWER LINE
	EXIST. SIDEWALK		EXIST. ELECTRIC LINE
	EXIST. CURB & GUTTER		EXIST. TELECOMM. LINE
	PROP. CURB AND GUTTER		EXIST. FIBER OPTIC LINE
	PROP. SIDEWALK		PROP. WATER SERVICE
	EXIST. CURB & GUTTER		PROP. GAS SERVICE
	PROP. CURB AND GUTTER		PROP. SAN. SEWER SERVICE
	EXIST. SIDEWALK		PROP. ELECTRIC SERVICE
	PROP. SIDEWALK		PROP. WATER METER
	CONCRETE PAVEMENT		PROP. TRANSFORMER
	EXIST. WATER VALVE		



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DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
05/08/2017	1"=20'
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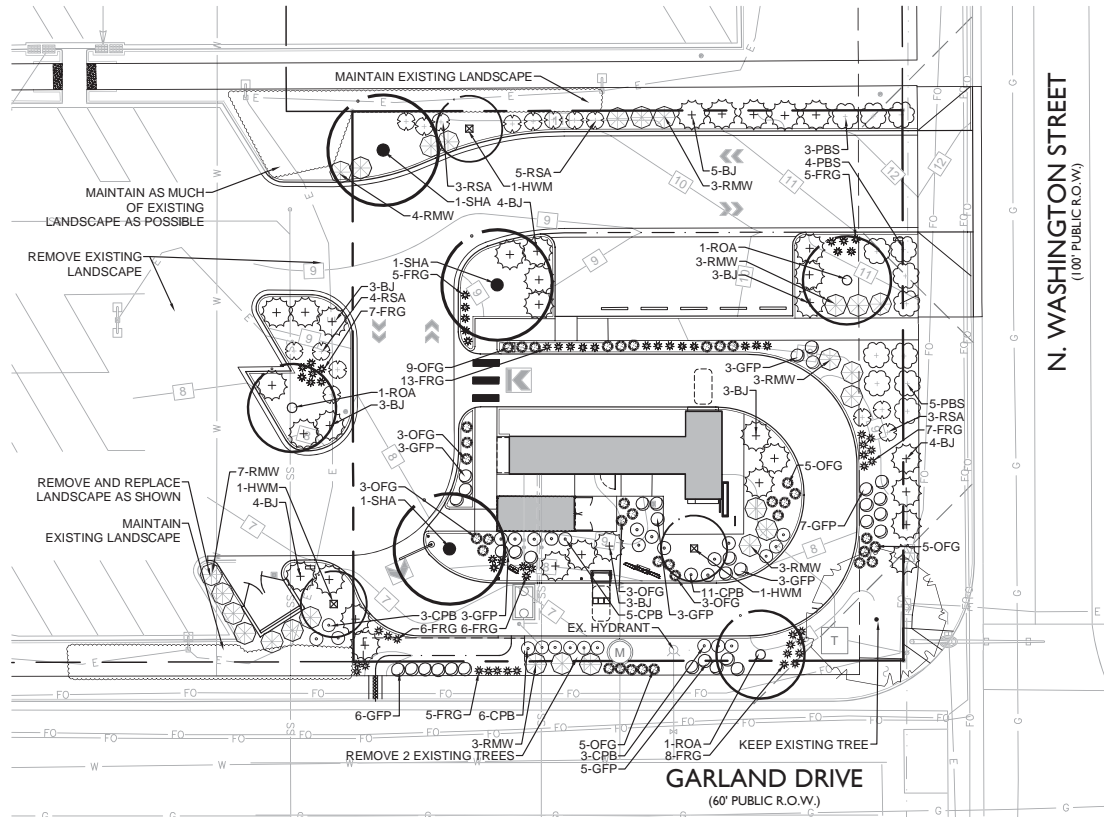
TEL: (206) 318-1575

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

5 OF 10

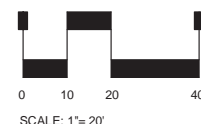


PLANT LIST

QTY	SYM.	COMMON NAME	SCIENTIFIC NAME	SIZE	QUALITY
DECIDUOUS CANOPY TREES					
3	SHA	SHADEMASTER HONEYLOCUST	GLEDTISIA TRIANCANTHOS INERMIS 'SHADEMASTER'	2" CAL	B&B, SPECIMEN QUALITY
3	ROA	NORTHERN RED OAK	QUERCUS RUBRA	2" CAL	B&B SPECIMEN QUALITY
DECIDUOUS ORNAMENTAL TREES					
3	HWM	HOT WINGS MAPLE	ACER TATARICUM 'GARANN'	1.5" CAL	MULTI-STEM
EVERGREEN SHRUBS					
32	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL	CONTAINER, 24" SPREAD
DECIDUOUS SHRUBS					
28	CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	5 GAL	CONTAINER
12	PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL	CONTAINER
15	RSA	RUSSIAN SAGE	PEROVSKIA ARTIPICIFOLIA	5 GAL	CONTAINER
33	GFP	GOLDFINGER POTENTILLA	POTENTILLA FRUTICOSA 'GOLDFINGER'	5 GAL	CONTAINER
22	RMW	MEIDLAND ROSE, ALBA	ROSA SP. 'MELCOUBLAN'	5 GAL	CONTAINER
ORNAMENTAL GRASSES					
62	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL	WELL ESTABLISHED
36	OFG	ORIENTAL FOUNTAIN GRASS	PENNISSETUM ORIENTALE	1 GAL	WELL ESTABLISHED

TREE REQUIREMENT DATA

STREET	REQUIRED	PROVIDED	EXISTING TREE DIAM.
	1 CANOPY / 40 LF, 1 ORNAMENTAL / 50 LF		
WASHINGTON ST	106.5'-24"-82.5 LF, 2 CANOPY, 2 ORN.	2 CANOPY (1 EXIST, 1 NEW)	15"
GARLAND DR	125'-0"=125 LF, 3 CANOPY, 3 ORN.	1 CANOPY (NEW), 1 ORN (NEW)	0"
ON-SITE	-	4 CANOPY (1 REPLACE - WAL-MART, 3 NEW), 2 ORN (NEW)	0"
TOTAL	5 CANOPY, 5 ORN. = 10 TOTAL	7 CANOPY, 3 ORN = 10 TOTAL	15"



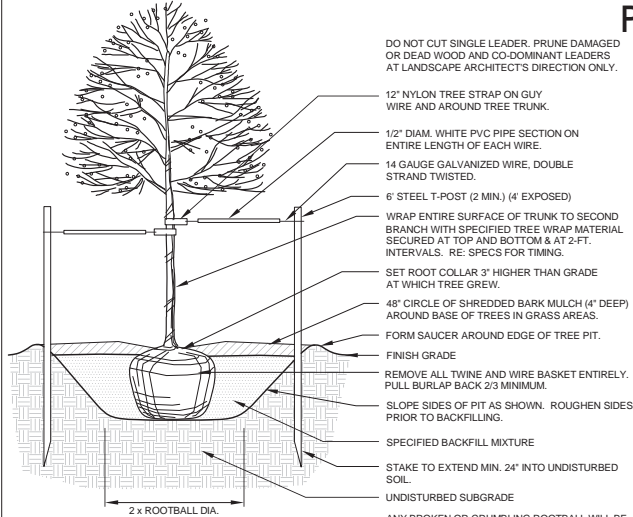
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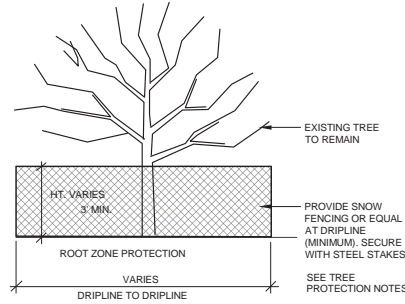


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ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE WIRE WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.

REMOVE STAKING AFTER ONE YEAR.



EXISTING TREE PROTECTION
NOT TO SCALE

TREE PROTECTION NOTES

- CONTRACTORS SHALL COMPLY WITH THESE NOTES AND THE CITY OF NORTHGLENN STANDARDS FOR ALL EXISTING TREES TO REMAIN.
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE. CITY OF NORTHGLENN MAY STOP CONSTRUCTION IF TREE PRESERVATION MEASURES ARE NOT IN PLACE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- TREES CALLED OUT FOR PRESERVATION SHALL BE FENCED AT THE DRIPLINE. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES. PLACE 3 INCH BARK MULCH BENEATH DRIPLINES OF TREES TO BE PRESERVED.
- FENCING SHALL BE 3 FEET TALL SNOW FENCING WITH STEEL POSTS EMBEDDED IN THE GROUND.
- NO GRADING SHALL OCCUR WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- CONSTRUCTION VEHICLES OR MACHINERY MAY NOT PASS BETWEEN TWO OR MORE EXISTING TREES IDENTIFIED FOR PRESERVATION IF THEIR CANOPIES ARE WITHIN 10 FEET OF TOUCHING. ADDITIONAL FENCING MAY BE REQUIRED.
- THE CONTRACTOR IS REQUIRED TO HAVE AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) ON SITE IF SITE CONSTRUCTION EFFORTS REQUIRE REMOVAL OF EXISTING ROOTS OR BRANCH PRUNING.
- UNAUTHORIZED TREE REMOVAL OR DAMAGE IS SUBJECT TO REPLACEMENT EQUAL TO THE APPRAISED VALUE OF THE TREE LOST. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTATION OF ALL EXISTING TREES TO REMAIN, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. AN EARTH BERM MEASURING MINIMUM 6 FEET IN DIAMETER, AND 6 INCHES IN HEIGHT SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS A TEMPORARY WATERING BASIN DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE SPECIES REQUIREMENTS.

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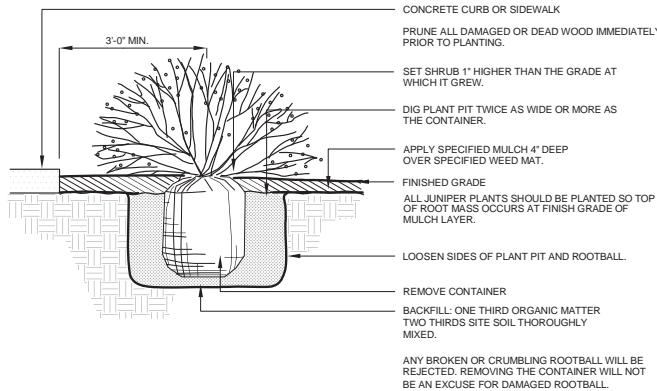
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NO. 5	DATE: -	BY: -	
DESCRIPTION: -			
NO. 6	DATE: -	BY: -	
DESCRIPTION: -			

SHADE TREE PLANTING

NOT TO SCALE

1



SHRUB PLANTING

NOT TO SCALE

2

LANDSCAPE NOTES

- NO TREE OR SHRUB MORE THAN 30 INCHES HIGHER THAN THE TOP OF CURB SHALL BE PLANTED NEITHER IN ANY 50 FOOT VISION TRIANGLE AT ANY STREET INTERSECTION NOR IN ANY 25 FOOT VISION TRIANGLE AT THE INTERSECTION OF ANY DRIVEWAY AND PUBLIC STREET.
- NO TREE SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE.
- COORDINATION
THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE
A. FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE LA SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE LA SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
B. MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS
LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING
A. CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
B. CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION
OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
- SOIL PREPARATION
SOD AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. AMEND SOIL WITH FOUR CUBIC YARDS PER THOUSAND SQUARE FEET OF ORGANIC COMPOST. COMPOST TO HAVE A C:N RATIO BETWEEN 15:1 AND 30:1, LESS THAN 6 mg/kg of SALT CONTENT, A pH BETWEEN 6.5 AND 8.5, AND OVER 90% ORGANIC MATTER. APPLY 5 LBS. OF 20-10-5 GRANULAR FERTILIZER PER THOUSAND SQ. FEET. ROTOTILL AMENDMENTS AND TOPSOIL TO A DEPTH OF SIX INCHES. VERIFY SOIL PREP SPECIFICATIONS WITH WATER PROVIDER STANDARDS. PROVIDE EVIDENCE OF APPLICATION AS REQUIRED.
- SOODING
SOD SHALL BE "RTF" FESCUE BY GREEN VALLEY TURF (GVT) (303-798-6764). SOIL PREP., INSTALL AND WATER ACCORDING TO GVT GUIDELINES.
- PLANTING
TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- MULCH
INSTALL 1" DIAMETER ROCK MULCH TO MATCH WAL-MART ROCK MULCH AS MUCH AS POSSIBLE. A MINIMUM OF 3-4" DEEP UNLESS OTHERWISE SHOWN. LARGER 3-5" DIAMETER ROCK OF A SIMILAR COLOR TO BE INSTALLED IN THE DRAINAGE SWALE ON THE SOUTHWEST CORNER OF THE SITE. BOTH ROCK MULCHES TO BE PLACED OVER DEWITT PRO 5 FILTER FABRIC 3-4" DEEP.
- MAINTENANCE
THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
- IRRIGATION
ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM TO INCLUDE IRRIGATION TO ALL PROPOSED PLANT MATERIAL. ALL SHRUB BEDS SHALL BE IRRIGATED USING A DRIP IRRIGATION SYSTEM. THE WAL-MART IRRIGATION SYSTEM WILL NEED TO BE MAINTAINED IN WORKING ORDER DURING SITE DEMOLITION, CONSTRUCTION AND AFTER LANDSCAPE INSTALLATION. THE LANDSCAPE SHOWN ON THE WAL-MART SITE SHALL BE IRRIGATED BY THE EXISTING SYSTEM. RETROFITTING THAT SYSTEM WILL BE NECESSARY. THE STARBUCKS SITE WILL HAVE A SEPARATE IRRIGATION SYSTEM.

DATE:	SCALE:
05/08/2017	N/A
PROJECT MANAGER:	PROJECT NO.:
CMP	-
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CMP	-

PROJECT:



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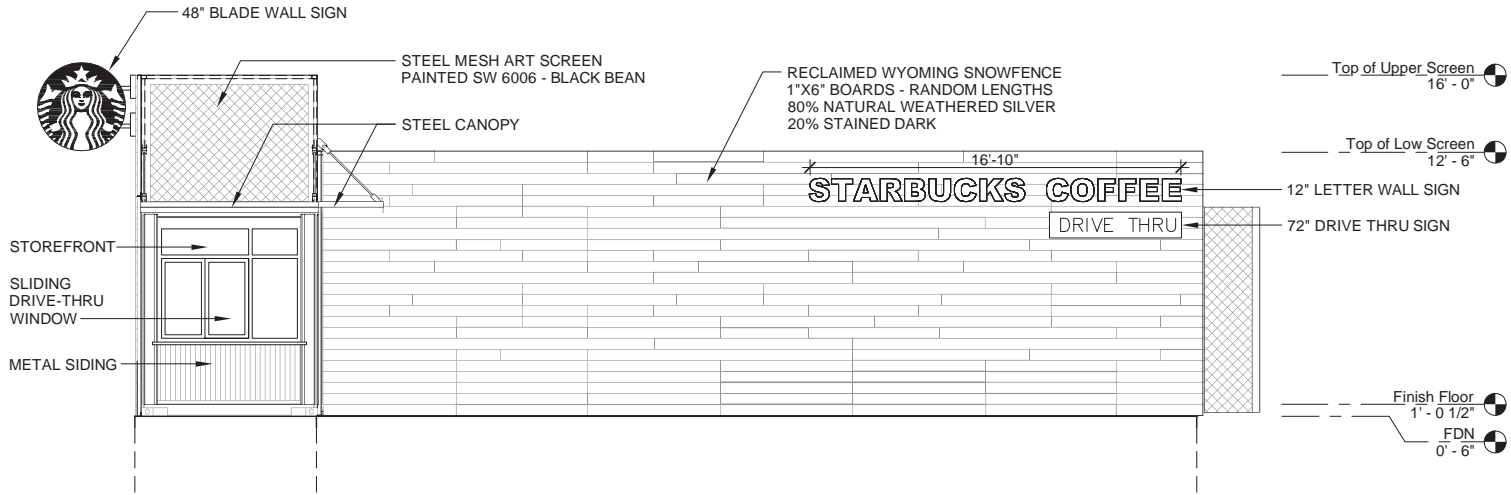
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SHEET TITLE:
LANDSCAPE DETAILS

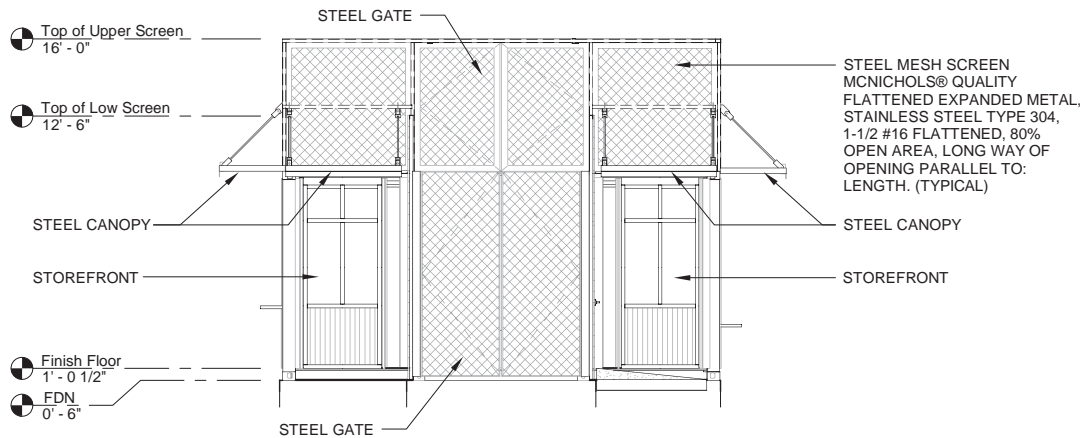
SHEET NUMBER:

6 OF 10

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1 North Elevation
 Scale: 1/4" = 1'-0"



2 East Elevation
 Scale: 1/4" = 1'-0"

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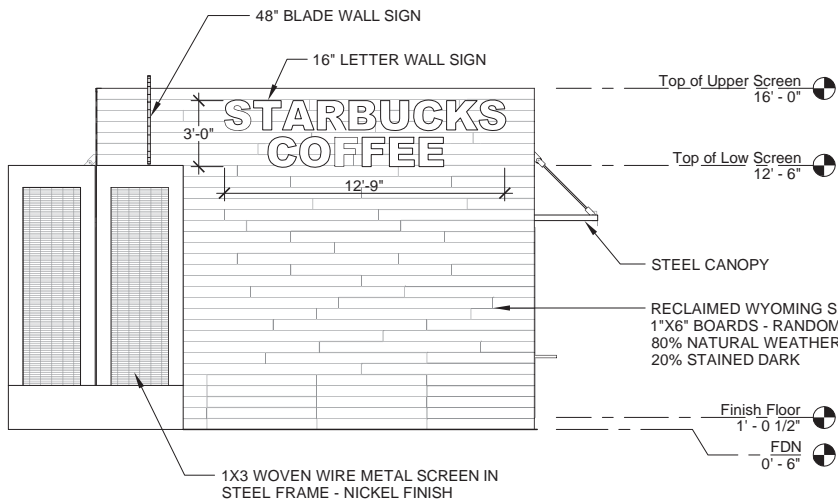
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SHEET NUMBER:
7 OF 10

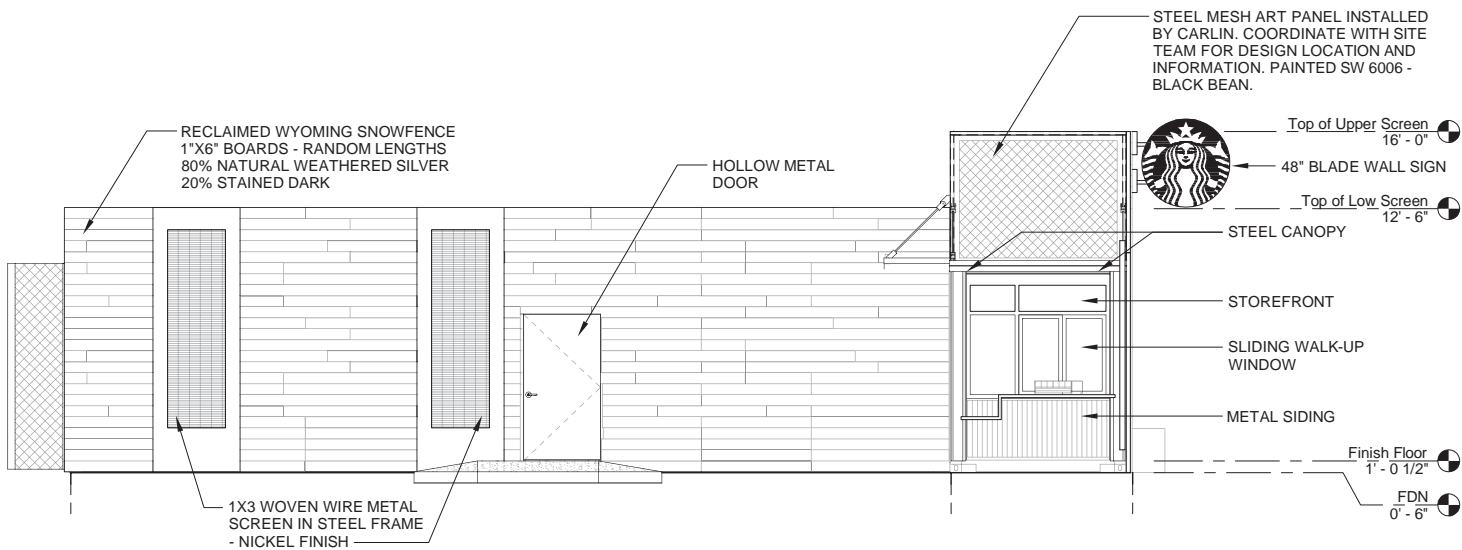
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1 West Elevation
Scale: 1/4" = 1'-0"



2 South Elevation
Scale: 1/4" = 1'-0"

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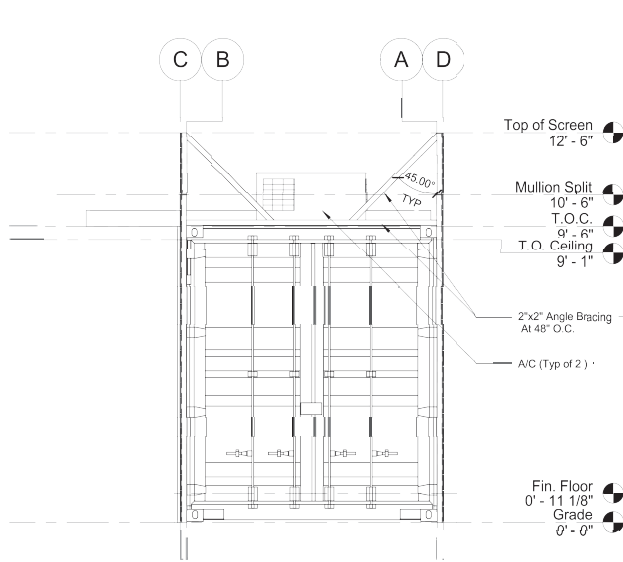
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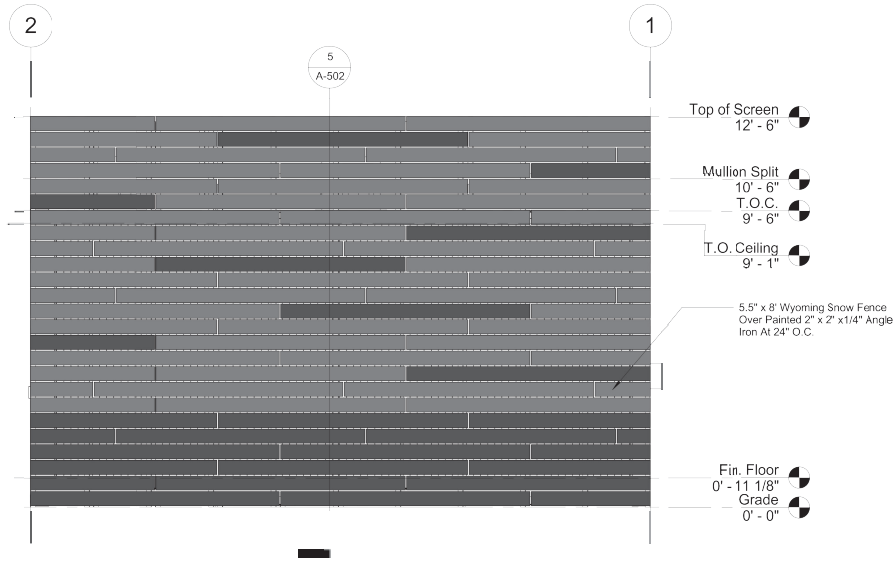
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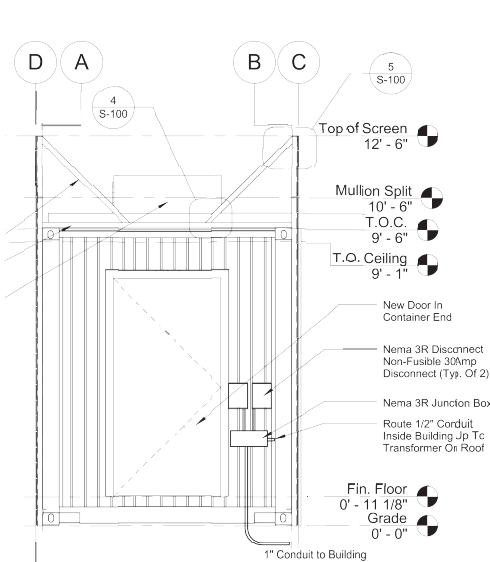
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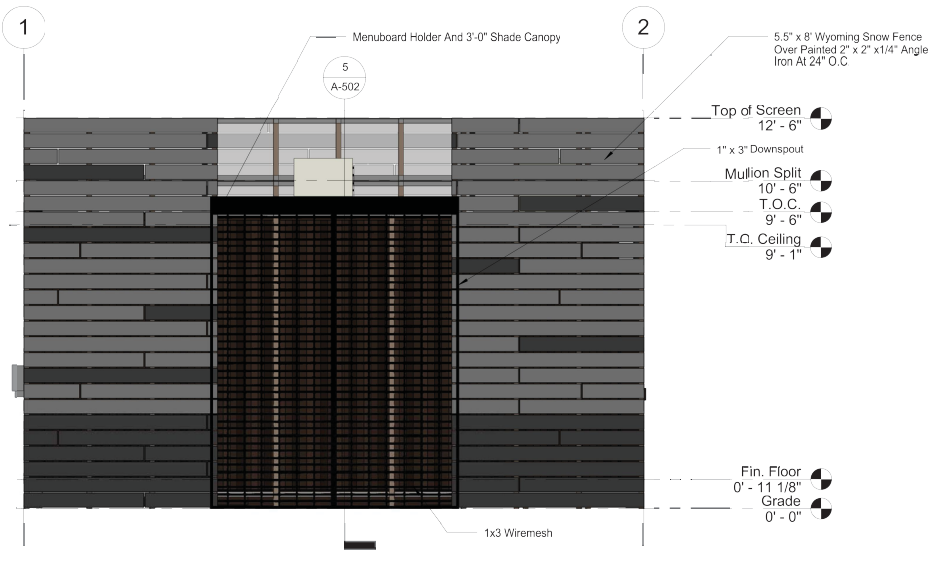
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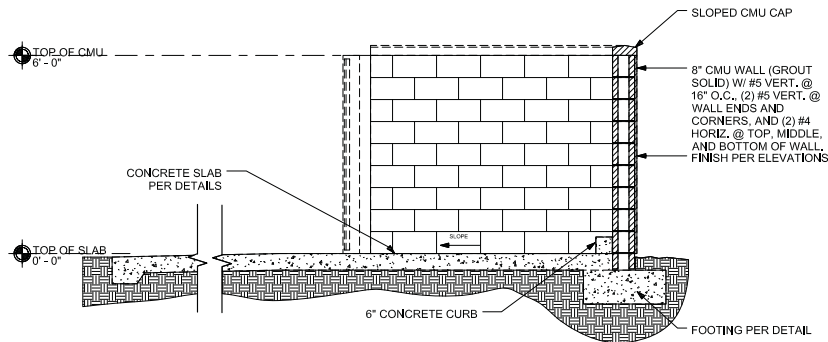
CLIENT:
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134
 TEL: (206) 318-1575

SHEET TITLE:
ACCESSORY BUILDING ELEVATIONS

SHEET NUMBER:

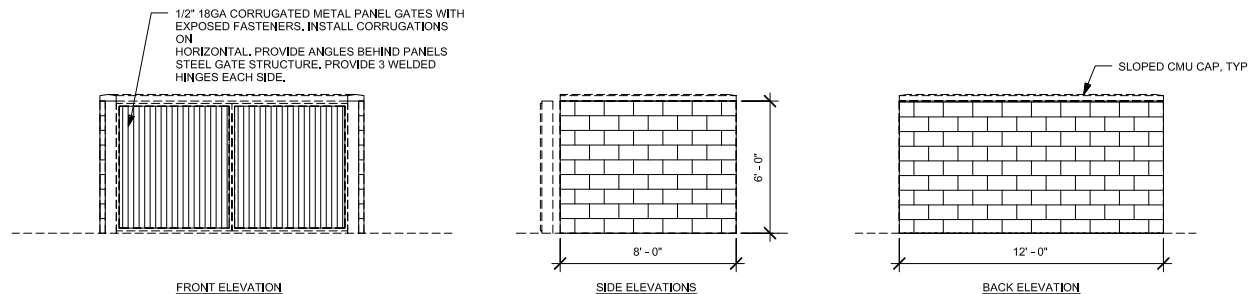
9 OF 10

STARBUCKS AT WASHINGTON & GARLAND
 A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
 SITUATED IN THE SE 1/4 OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD



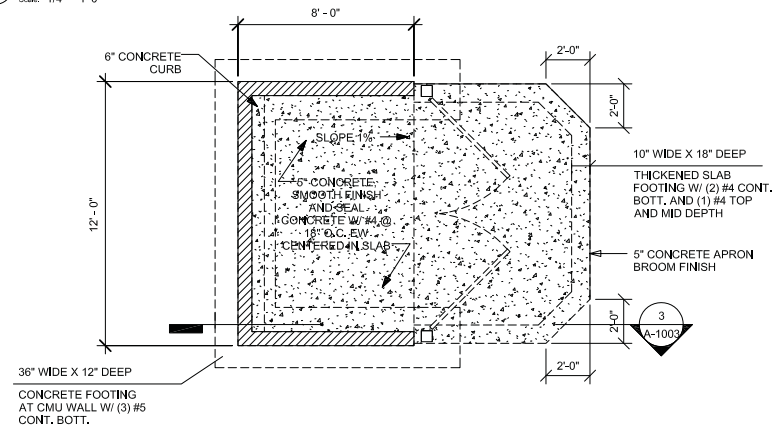
3 SECTION @ TRASH ENCLOSURE

Scale: 3/8" = 1'-0"



2 TRASH ENCLOSURE ELEVATIONS

Scale: 1/4" = 1'-0"



1 TRASH ENCLOSURE PLAN

Scale: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUES & REVISIONS		
NO. 1	DATE: 6/28/2017	BY: CP / RJL
DESCRIPTION: PUD RESUBMITTAL		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
05/08/2017	N/A
PROJECT MANAGER:	PROJECT NO.:
CMP	-
DRAWN BY:	DRAWING FILE:
CMP	-

PROJECT:

STARBUCKS COFFEE COMPANY
 10701 WASHINGTON ST
 NORTHGLENN, CO 80233

CLIENT:
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134
 TEL: (206) 318-1575

SHEET TITLE:
TRASH ENCLOSURE DETAILS

SHEET NUMBER:

10 OF 10

SPONSORED BY: COUNCILMAN TICHY

COUNCILMAN'S BILL

ORDINANCE NO.

NO. CB - 1451
Series of 2003

1348
Series of 2003

A BILL FOR A SPECIAL ORDINANCE REZONING FROM COMMERCIAL C-5 CONDITIONAL TO COMMERCIAL C-4 CONDITIONAL, CERTAIN REAL PROPERTY IN THE CITY OF NORTHGLENN LOCATED ON THE NORTHWEST CORNER OF WASHINGTON STREET AND GARLAND DRIVE, COUNTY OF ADAMS, STATE OF COLORADO, AMENDING THE ZONING MAP OF THE CITY OF NORTHGLENN, AND IMPOSING PENALTIES FOR VIOLATIONS OF THE ORDINANCE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. Change of Zoning District. Pursuant to the provisions of the Northglenn Zoning Ordinance, as amended, and upon the recommendation of the Northglenn Planning Commission (Case No. Z-3-02), a change of zoning from Commercial C-5 Conditional to Commercial C-4 Conditional is hereby allowed and granted for the real property in the City of Northglenn, Colorado, described as follows, to-wit:

The east 125 feet of the south 125 feet of Lot 15, Block 37, North Glenn - Second Filing, Adams County, Colorado.

Section 2. Conditions. The conditions established and approved by the Planning Commission of the City of Northglenn for Commercial C-4 Conditional granted in Section 1 of this Ordinance, are hereby established as the conditions of the change of zoning effected by this Ordinance, as follows:

1. The existing building exterior shall be maintained in appearance in accord with the building elevation shown on "Exhibit No. 1, Case No. Z-2-74," on file in the City of Northglenn, Department of Community Services.
2. The site shall be landscaped in accordance with "Exhibit No. 2, Case No. Z-2-74," on file in the City of Northglenn, Department of Community Services.
3. The existing low profile sign shall be the only sign permitted on the site.

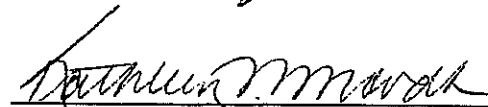
Section 3. Change of Zone Maps. The official zoning map of the City of Northglenn, pursuant to the provisions of Section 11-3-1 of the Municipal Code of the City of Northglenn, as amended, and the comprehensive Master Plan of the City of Northglenn shall be and hereby are ordered amended to conform with the provisions of Section 1 of this Ordinance.

Section 4. Enforcement of Conditions. The conditions established by Section 2 of this Ordinance shall be construed and enforced pursuant to the provisions of Chapter 11 of the Municipal Code of the City of Northglenn, and a violation of any such condition or conditions shall be deemed a violation of this Ordinance.

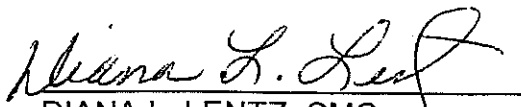
Section 5. Repeal of Existing Ordinance. Ordinance No. 360 by which this property was previously zoned to Commercial C-5 Conditional, is hereby repealed.

Section 6. Violations-Penalty. Violations of the provisions of this Ordinance shall be punishable by a fine of not more than one thousand dollars (\$1,000.00), or by imprisonment for a period of not more than one (1) year, or both such fine and imprisonment.


INTRODUCED, READ, AND POSTED this 24th day of July, 2003.


KATHLEEN M. NOVAK
Mayor

ATTEST:


DIANA L. LENTZ, CMC
City Clerk

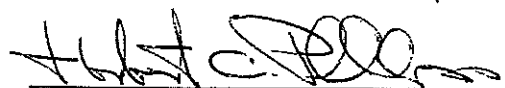
PASSED ON SECOND AND FINAL READING this 14th day of August, 2003.


KATHLEEN M. NOVAK
Mayor

ATTEST:


DIANA L. LENTZ, CMC
City Clerk

APPROVED AS TO FORM:


HERBERT C. PHILLIPS
City Attorney

Basin B1 is as described below:

Basin B1 (0.02-acres) is comprised of only landscaped areas. This basin consists of areas that could not be routed to the rock swale. The runoff from basin B1 flows overland into the curb and gutter of Garland Drive.

The Walmart parking area to be redesign will not impact the drainage of the proposed site. The proposed runoff of the parking area will follow existing drainage patterns as developed in the *Final Drainage Report for Garland Shopping Center Redevelopment* as prepared by Galloway & Company, Inc., dated November 5, 2013.

- iii. Site constraints are described previously in this report. No other specific drainage problems were encountered in the design of the proposed system as described herein.
- iv. A Stormwater Facility Maintenance Agreement (SFMA) has been developed for this drainage facility. Refer to the agreement (separate document) for information on maintenance and inspections.
- v. Compliance with other local, state, or federal drainage requirements is not applicable to this report.

4. CONCLUSIONS

A. Compliance with Standards

- i. The drainage design presented in this report is in compliance with the City of Northglenn's Municipal Code – Article 16-13 – City Urban Drainage Runoff Ordinance.
- ii. As described previously, there are no major drainageway planning studies for this site to comply with.
- iii. The drainage design presented in this report is in compliance with the UDFCD USDCM (DISTRICT MANUAL) as applicable.
- iv. There are no waivers being requested.

C. Water Quality

- i. Water quality is required for the site. The site and site disturbance is less than one acre. Water quality for the site is as previously described.

VII. Conclusion

This traffic impact study addresses the capacity, geometric, and control requirements associated with the development entitled Starbucks – Washington & Garland. This proposed development consists of a 480-square foot Starbucks coffee shop with a drive through. This coffee shop has no indoor seating. The development is located at the northwest corner of Washington Street and Garland Drive in Northglenn, Colorado.

The study area to be examined in this analysis encompasses the Washington Street intersection of Garland Drive and proposed site access.

Analysis was conducted for critical AM Peak Hour and PM Peak Hour traffic operations for existing traffic condition, Year 2019 and Year 2037 background traffic conditions, and Year 2019 and Year 2037 total traffic conditions.

Analysis of existing traffic conditions indicates that the signalized intersection of Washington Street with Garland Drive has overall operations at LOS B during morning and afternoon peak traffic hours. The stop-controlled intersection of Garland Drive with Access A has operations at or better than LOS B during the morning and afternoon peak hours.

Without the proposed development, Year 2019 background operational analysis shows that the signalized intersection of Washington Street with Garland Drive continues to project overall operations at LOS B during morning and afternoon peak traffic hours. The stop-controlled intersection of Garland Drive with Access A continues to project operations at or better than LOS B during the morning and afternoon peak hours.

By Year 2037 and without the proposed development, the Washington Street and Garland Drive intersection has overall projected operations at LOS C for the morning and afternoon peak traffic hours. The stop-controlled intersection of Garland Drive with Access A has projected operations at or better than LOS B during the morning peak hour and LOS C or better during the afternoon peak hour.

Analysis of future traffic conditions indicates that the addition of site-generated traffic is expected to create no negative impact to traffic operations for the existing and surrounding roadway system. With all conservative assumptions defined in this analysis, the study intersections are projected to operate at future levels of service comparable to Year 2037 background traffic. Proposed site accesses have long-term operations at LOS D or better during peak traffic periods and upon development completion.

ACCESS AND PARKING EASEMENT

THIS ACCESS AND PARKING EASEMENT (“Easement”) is entered into as of the 18th day of May, 2017, by and between WAL-MART REAL ESTATE BUSINESS TRUST, a Delaware statutory trust with an address of 702 S.W. 8th Street, Bentonville, AR 72716 and with notices sent to 2001 SE 10th Street, Bentonville, AR 72716-0550, Attention: Realty Manager of Colorado (“Wal-Mart”); and **SBX Helena Lyndale Ave**, a Utah limited liability company with an address of 166 E 14000 S #210, Draper, UT 84020(“Grantee”).

WITNESSETH

WHEREAS, Wal-Mart is the owner of that certain tract or parcel of land situated in the City of Northglenn, County of Adams, State of Colorado, identified as Tract 1 on the site plan attached hereto as Exhibit “A” and more fully described on Exhibit “B” (“Tract 1”); and

WHEREAS, Grantee is or will be by the time this instrument is recorded the owner of that 0.36 acre, more or less, tract or parcel of land in the same city, county, and state, which tract lies adjacent to Tract 1 and is identified as Tract 2 on Exhibit “A” and more fully described on Exhibit “B” (“Tract 2”); and

WHEREAS, Grantee has requested from Wal-Mart, and Wal-Mart is desirous of granting to Grantee, a non-exclusive easement for pedestrian and vehicular ingress and egress over and across that portion of Tract 1 identified as the Access Area on Exhibit “A” and more fully described on Exhibit “C” (“Access Area”); together with a non-exclusive easement for vehicular parking and a trash dumpster enclosure, each on those certain portions of Tract 1 identified as the “Parking Area” and “Trash Enclosure Area,” respectively, on Exhibit “C-1”.

NOW THEREFORE, in consideration of one dollar (\$1.00) and other good and valuable consideration, Wal-Mart does hereby grant to Grantee non-exclusive easements consistent with the foregoing recitals, subject to the following terms and conditions to which the parties hereto do hereby agree:

1. Grant of Easement and Use of Access Area; Parking Area and Trash Enclosure Area. Wal-Mart hereby grants to Grantee (i) a non-exclusive easement for pedestrian and vehicular ingress and egress over and across the Access Area, (ii) a non-exclusive easement for vehicular and pedestrian parking of passenger vehicles by employees, invitees, and guests of Tract 2 over, across and on the Parking Area, and (iii) a non-exclusive easement for placement of, together with pedestrian and vehicular access to and from, a trash enclosure located in the Trash Enclosure Area. The ingress and egress rights granted hereby may be used non-exclusively by, and are limited to, Grantee and its tenants and their respective customers and employees directly associated with the business operation to be located on Tract 2. Only passenger vehicles, light trucks and pedestrian traffic associated with Tract 2 may use the Access Area, but nothing herein shall be construed to limit or restrict ingress or egress associated with Tract 1 or any part

herein shall be construed to limit or restrict ingress or egress associated with Tract 1 or any part thereof. Grantee shall not be allowed to use the Access Area for heavy truck traffic, delivering merchandise to the business operation to be located on Tract 2 or parking of any kind. Subject to Section 7, Wal-Mart shall have the right, at Wal-Mart's sole discretion and expense to relocate the Access Area upon Wal-Mart's property. Upon termination of this Easement, Grantee shall provide a release and extinguishment of all Grantee's rights granted hereunder in recordable form.

2. **Restrictions.** Grantee covenants that Tract 2 will only be used for purposes of the kind typically found in shopping centers, and for no other purpose without the prior written consent of Wal-Mart, or its successors. Grantee further covenants that Tract 2 shall not be used for or in support of the following: (i) a discount store in excess of eight thousand (8,000) square feet in floor size, wholesale membership/warehouse club, grocery store/supermarket, pharmacy/drug store; (ii) gas station, quick lube/oil change facility, automobile tire sales; (iii) movie theater, bowling alley, health spa/fitness center larger than 3,000 square feet; (iv) adult book store, adult video store (an adult video store is a video store that sells or rents videos that are rated NC-17, X, XX, XXX, or of a rating assigned to works containing material more sexually explicit than XXX, by the film rating board of the Classification and Rating Administration), pawn shop, bar, night club, gaming activities including but not limited to gambling, slot machines (and other devices similar to the aforementioned), electronic gaming machines, billiard parlor, any place of recreation/amusement, or any business whose principal revenues are from the sale of alcoholic beverages for on or off-site consumption; or (v) any business whose major source of business is derived from the cashing of checks or making short-term or "payday advance" loans. This is not to exclude the regular business of any bank or financial institution insured by the F.D.I.C. or mortgage brokerage firm or other similar business providing long-term mortgage type loans.

3. **Maintenance.** (a) Wal-Mart shall be responsible for maintaining the Access Area and Parking Area and keeping the same in a smooth and usable condition except as made necessary due to the negligence of the owner of Tract 2, in which case, the owner of Tract 2 shall be solely responsible for any necessary repairs caused by said negligence. In connection with the maintenance of the Access Area and Parking Area, the owner of Tract 2 shall pay to Wal-Mart a one-time payment of \$25,000 as upfront payment of maintenance fees. Wal-Mart agrees that the Access Area, Parking Area, and Trash Enclosure Area shall remain clear and accessible at all times.

(b) In the event Wal-Mart fails to reasonably maintain or repair the Access Area or Parking Area Grantee may do so at its sole expense, provided Grantee uses like or similar quality and type of materials originally installed on the Access Area or Parking Area, as applicable, and further provided Grantee does not change the grade or elevation of the Access Area or Parking Area, as applicable, without the permission of Wal-Mart. Any repair or maintenance performed within the Access Area or Parking Area must be preceded by a thirty (30) day written notice to Wal-Mart.

(c) Grantee shall, at its sole cost and expense pave any unpaved portion of the curb cut area from Tract 2 to the Access Area, and if, in the process of paving and developing the Access Area, Parking Area or Trash Enclosure Area, Grantee encounters any irrigation equipment previously installed by Wal-Mart in the Access Area, Grantee shall disconnect and relocate any such equipment at Grantee's sole cost. If Grantee encounters any utility lines under the Access Area Parking Area or Trash Enclosure Area, Grantee shall encase said lines in order to protect same. If it is necessary for Grantee to remove trees or any other type of landscaping, it shall relocate same adjacent to the Access Area in a location acceptable to Wal-Mart.

4. Damage to Access Area, or Other Improvements. If, in the process of developing Tract 2, Grantee damages, breaks, destroys, or in any way impairs the Access Area Parking Area or Trash Enclosure Area, or any other improvements of Wal-Mart, Wal-Mart in its sole discretion, may require Grantee to either: (i) restore at Grantee's sole cost and expense the Access Area Parking Area or Trash Enclosure Area, or Wal-Mart's improvements, to their original quality and condition; or (ii) Wal-Mart may restore the Access Area Parking Area or Trash Enclosure Area, or improvements, and invoice Grantee for Wal-Mart's costs incurred restoring the damaged Access Area, or improvements; whereupon Grantee agrees to reimburse Wal-Mart within thirty (30) days of receipt of an invoice for such expenses.

5. Indemnification. Grantee shall indemnify and hold harmless Wal-Mart, Wal-Mart Stores, Inc., and all affiliates and subsidiaries thereto, and all officers, directors, shareholders employees and agents thereof, from any damages or liability to persons or property that might arise from the use of the Access Area Parking Area and Trash Enclosure Area by Grantee, its customers, suppliers, employees, and tenants or anyone else using the Access Area Parking Area or Trash Enclosure Area for ingress and egress to and from Tract 2 or parking thereon. Grantee further agrees that Grantee will at all times during the duration of this easement maintain and pay for commercial general liability insurance and property damage insurance against claims for personal injury, death or property damage occurring upon, in or about its property, such insurance to afford protection to the limit of not less than \$5,000,000.00 for injury or death of a single person, and to the limit of not less than \$5,000,000.00 for any one occurrence, and to the limit of not less than \$5,000,000.00 for property damage affording protection to Wal-Mart and Grantee naming Wal-Mart as an additional insured on the policy or policies. Grantee further agrees, upon request to deliver to Wal-Mart a certificate or certificates from an insurance company or insurance companies satisfactory to Wal-Mart evidencing the existence of such insurance and naming Wal-Mart as an additional insured.

6. Curb Cuts. Grantee shall be entitled to install no more than two (2) thirty (30) foot curb cut(s) as shown on the Grantee's Plan of Development as approved by Wal-Mart

7. Relocation. Upon first obtaining Grantee's prior written consent, which consent shall not be unreasonably withheld, delayed or conditioned, Wal-Mart reserves the right to modify or relocate the Access Area provided such modification or relocation does not materially restrict or prevent ingress and egress to and from Tract 2.

8. Compliance. Grantee hereby warrants and represents to Wal-Mart that Grantee in exercising its rights under this Easement shall comply fully with any federal, state or local laws, regulations, ordinances, permits or other authorizations. In addition to the other representations contained herein, Grantee hereby warrants and represents to Wal-Mart that Grantee shall comply fully with any federal, state or local laws, regulations, ordinances, permits or other authorizations or approvals or other requirements relating to storm water discharges or the control of erosion or sediment discharges from construction projects, including but not limited to the Clean Water Act, 33 U.S.C. § 1251 et seq., and the Storm Water General Permit for Discharges Associated with Construction Activities (collectively the "Storm Water Requirements") (including without limitation preparing a Storm Water Pollution Prevention Plan (if applicable) to avoid negatively impacting any erosion or sediment controls during earth-disturbing activities, if any) in exercising any rights or privileges under this Easement, Grantee recognizing and affirming Wal-Mart would not enter into this Easement without this warranty and representation from Grantee. Furthermore, Grantee hereby warrants and represents to Wal-Mart that Grantee has a policy to (i) comply in all respects with all immigration laws, statutes, rules, codes and regulations, (ii) properly maintain all records required by the United States Citizenship and Immigration Services (the "USCIS"), including, without limitation, the completion and maintenance of the Form I-9 for each of Grantee's employees, and (iii) respond in a timely fashion to any inspection requests related to such I-9 Forms. Grantee warrants and represents it has a policy to fully cooperate in all respects with any audit, inquiry, inspection or investigation that may be conducted by the USCIS of Grantee or any of its employees. Grantee warrants and represents to Wal-Mart it has a policy to conduct an annual audit of the I-9 Forms for its employees and has a policy to promptly correct any defects or deficiencies which are identified as a result of such audit. Grantee warrants and represents it has a policy to require all subcontractors performing any work for Grantee to comply with the covenants set forth in this Section. Grantee recognizes and affirms Wal-Mart would not enter into this Easement if Grantee did not have such policies.

9. Payment. Any reimbursable due under this agreement (payment reimbursing Wal-Mart for an expenditure made on behalf of Grantee) should be sent to either of the following addresses:

(Regular Mail)
Wal-Mart Stores, Inc.
P.O. Box 502215
St. Louis, MO 63150-2215

OR

(Overnight Mail)
Wal-Mart Stores, Inc.
800 Market St., 4th Floor
Lockbox # 502215
St. Louis, MO 63101

10. Public Grant. Nothing contained herein shall be used or construed as a grant of any rights to any public or governmental authority or agency.

11. Duration. The agreements contained herein and the rights granted hereby shall run with the titles to Tract 1, Tract 2 and the Access Area Parking Area, and Trash Enclosure Area and shall bind and inure to the benefit of the parties hereto and their respective heirs, successors, and assigns.

12. Change of Ownership. In the event Grantee conveys or transfers title to Tract 2 to another party, Wal-Mart shall be notified thereof within thirty (30) days thereafter at the address in the introductory paragraph. Wal-Mart shall be provided the name and address of such transferee.

13. Effective Date. This instrument shall become effective on the date first written above.

14. Headings. The headings of the paragraphs contained herein are intended for reference purposes only and shall not be used to interpret the agreements contained herein or the rights granted hereby.

15. Counterparts. This document, and any modifications, may be executed in one or more counterparts, including by facsimile, all parties need not be signatories to the same documents, and all counterpart signed documents shall be deemed to be an original and one (1) instrument.

IN WITNESS WHEREOF, the parties hereto have executed this instrument the day and year first above written.

ATTEST:

Michele Butler - Thule

Assistant Secretary

**WAL-MART REAL ESTATE
BUSINESS TRUST**

By: Kelly Dail
Kelly Dail

TITLE: Sr. Mgr. II

SBX HELENA LYNDAL AVE, LLC
a Utah limited liability company

By: Wadsworth & Sons IV, LLC
a Utah limited liability company
Its: Manager

WITNESS OR ATTEST:

R. Roman GROSSBECK

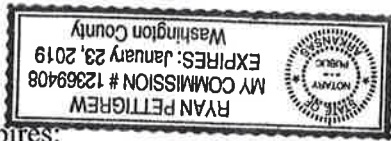
By: Nate Ballard
Nate Ballard, COO

TRUST ACKNOWLEDGMENT

STATE OF ARKANSAS)
) ss.
COUNTY OF BENTON)

On this 2 day of June, 2017, before me, the undersigned notary public in and for said County and State, personally appeared before me Kelly Dail to me personally known, who, being by me duly sworn, did say that he is Director of Wal-Mart Real Estate Business Trust, and that the seal affixed to the foregoing instrument is the seal of said trust, and that said instrument was signed, sealed and delivered on behalf of said trust by authority of its Managing Trustee and said Kelly Dail acknowledged said instrument to be the free act and deed of said trust.

WITNESS my hand and notarial seal subscribed and affixed in said county and state, the day and year in this certificate above written.



[Signature]
NOTARY PUBLIC

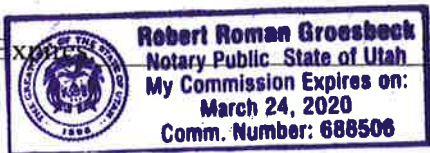
My Commission Expires: _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

On this 18th day of May, 2017, before me, the undersigned notary public in and for said County and State, personally appeared before me [Signature] to me personally known, who, being by me duly sworn, did say that he/she is COO of GRANTEE and that the seal affixed to the foregoing instrument is the corporate seal of said corporation, and that said instrument was signed, sealed and delivered on behalf of said corporation by authority of its Board of Directors, and said [Signature] acknowledged said instrument to be the free act and deed of said corporation.

WITNESS my hand and notarial seal subscribed and affixed in said County and State the 18th day of May, 2017.

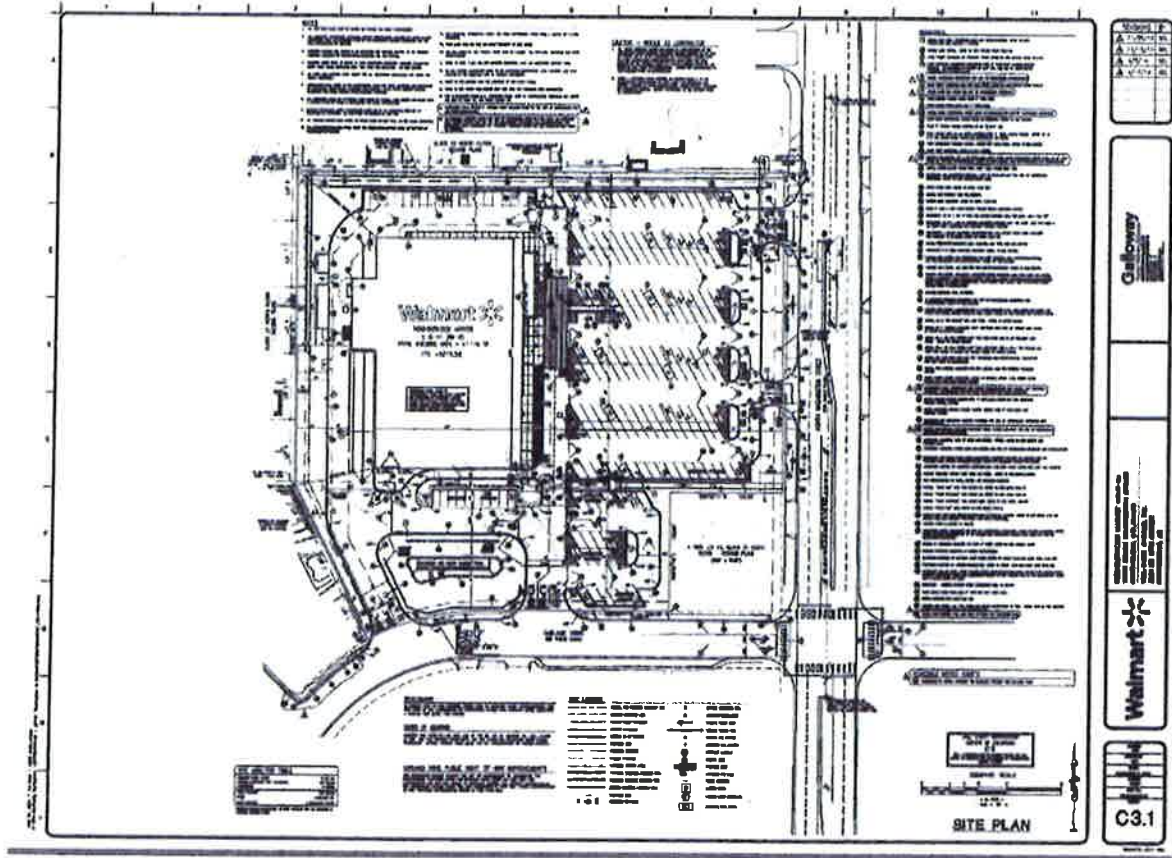


[Signature]
NOTARY PUBLIC

My Commission Expires: _____

EXHIBIT "A"

Site Plan



Robert Horns Greenbelt
Notary Public State of Utah
My Commission Expires on
March 24, 2013
Commission Number: 68800

EXHIBIT "B"

Tract 1

(Wal-Mart's Tract legal description)

NORTHGLENN URBAN RENEWAL AUTHORITY, BEING THE OWNER OF THE REAL PROPERTY OF 6.210 ACRES DESCRIBED AS FOLLOWS:
THAT PART OF LOT 16, BLOCK 37, NORTHGLENN - SECOND FILING AS RECORDED IN FILE 10 AT MAP 331, ADAMS COUNTY RECORDS, EXCEPT THE SOUTH 125 FEET OF THE EAST 125 FEET AS DESCRIBED IN BOOK 1998, PAGE 537, ADAMS COUNTY RECORDS, A SUBDIVISION BEING A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 08 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS:
COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 10; THENCE N00°12'00"E ALONG THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 10, A DISTANCE OF 2529.38 FEET; THENCE S89°48'00"W A DISTANCE OF 50.00 TO THE WEST RIGHT-OF-WAY LINE OF NORTH WASHINGTON STREET AND THE POINT OF BEGINNING; THENCE S00°12'00"W ALONG SAID WEST LINE, A DISTANCE OF 338.88 FEET TO THE NORTHEAST CORNER OF A PARCEL DESCRIBED IN BOOK 1998 AT PAGE 531; THENCE N89°48'00"W ALONG THE NORTH LINE OF SAID PARCEL, A DISTANCE OF 128.00 FEET; THENCE S00°12'00"W ALONG THE WEST LINE OF SAID PARCEL, A DISTANCE OF 126.00 FEET TO THE SOUTH LINE OF SAID LOT 16 AND THE NORTH RIGHT-OF-WAY LINE OF GARLAND DRIVE; THENCE ALONG SAID SOUTH LINE AND ALONG SAID NORTH RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES AND DISTANCES: 1) N89°48'00"W, A DISTANCE OF 104.18 FEET TO THE BEGINNING OF A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 27°17'31", THE RADIUS OF SAID CURVE IS 277.74 FEET, THE CHORD OF SAID CURVE BEARS S78°33'16"W, 131.05 FEET; THENCE 2) ALONG THE ARC OF SAID CURVE A DISTANCE OF 132.50 FEET TO THE SOUTHWEST CORNER OF SAID LOT 16; THENCE ALONG THE WEST LINE OF SAID LOT 16 THE FOLLOWING TWO (2) COURSES AND DISTANCES: 1) N27°08'00"W, A DISTANCE OF 102.04 FEET; THENCE 2) N00°12'00"E, A DISTANCE OF 333.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 16; THENCE S89°48'00"E ALONG THE NORTH LINE OF SAID LOT 16, A DISTANCE OF 830.00 FEET TO THE POINT OF BEGINNING. CONTAINS 6.210 ACRES MORE OR LESS.

Tract 2

(Grantee's Tract legal description)

THE EAST 125 FEET OF THE SOUTH 125 FEET OF LOT 15, BLOCK 37, NORTH GLENN-SECOND FILING, COUNTY OF ADAMS, STATE OF COLORADO.

EXHIBIT "C"

Access Area
(Part of Tract 1 legal description)

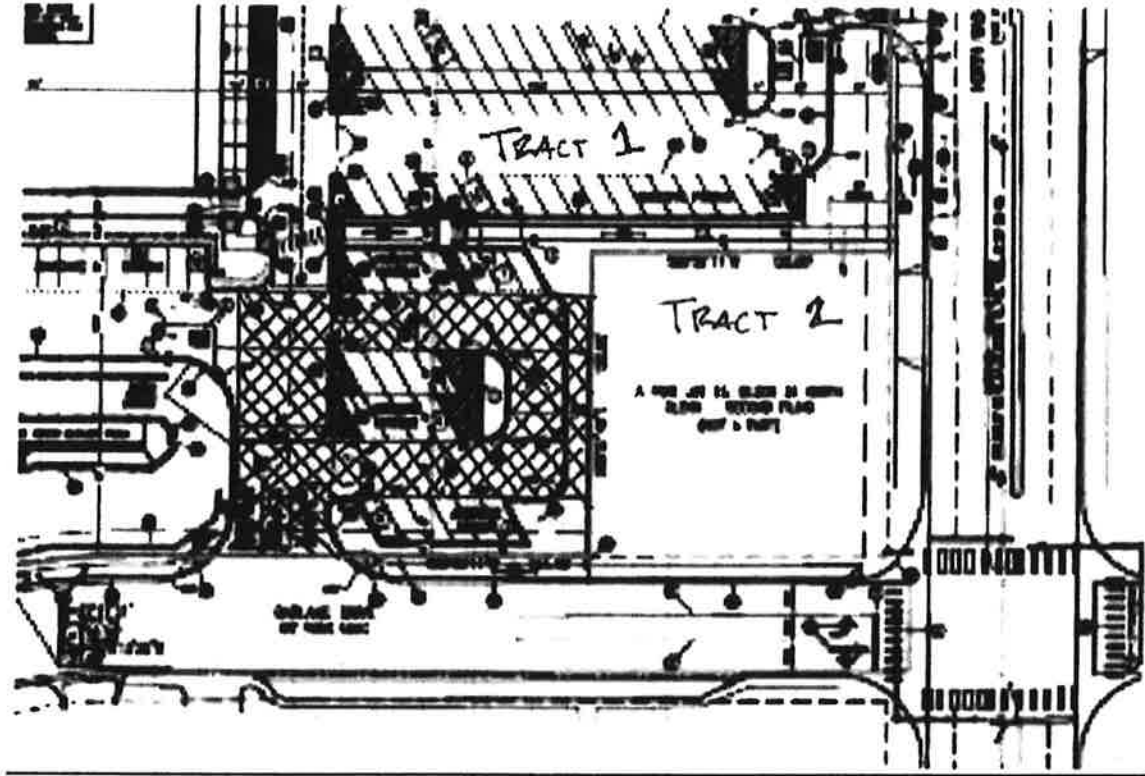
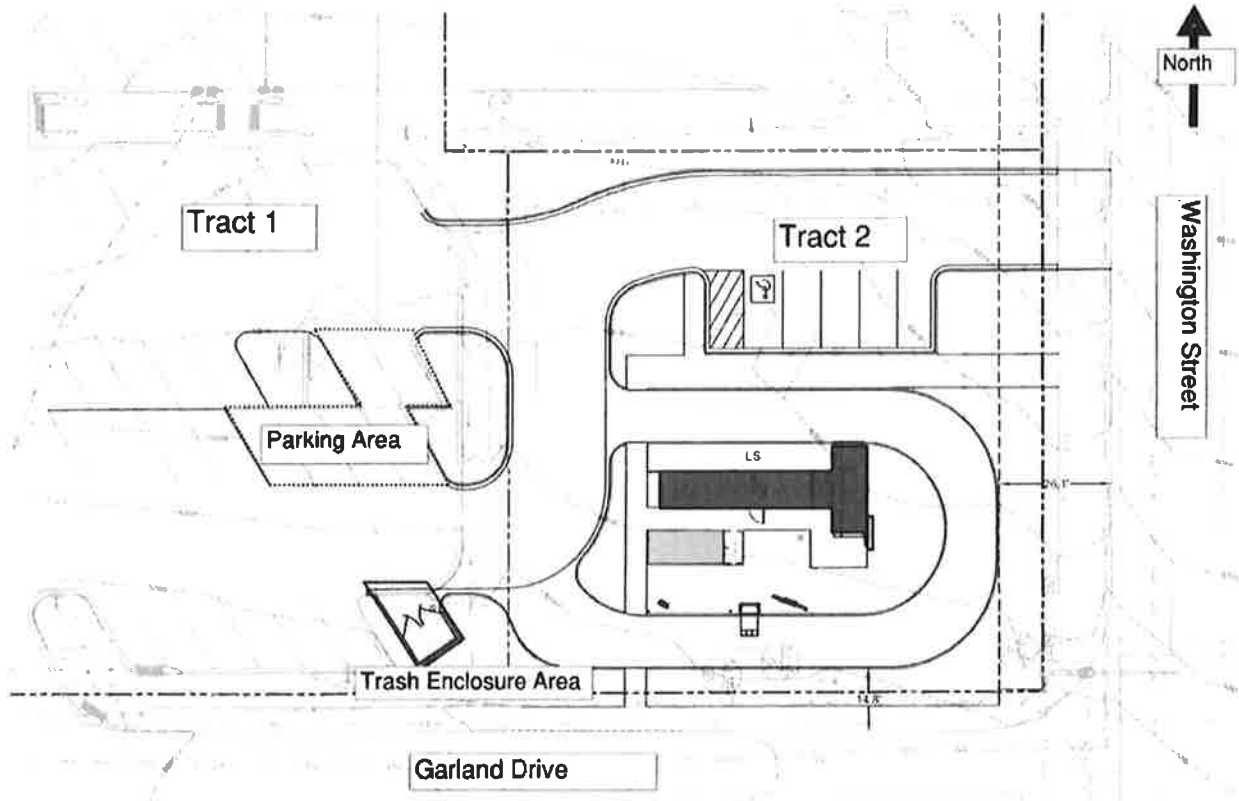


EXHIBIT "C-1"

Parking Area; Trash Enclosure Area
(Part of Tract 1 legal description)





Starbucks at Garland
Rezone to PUD (Z-4-17)

Presented to:

The Northglenn City Council:
August 28, 2017 (Second Reading)



REQUEST

The applicant (SBX Helena Lyndale Ave. LLC) is seeking approval of a rezone to Planned Unit Development (PUD) in conjunction with the relocation of the existing Starbucks container store currently locate at W. 104th and Bannock to an existing pad site at the Garland Center:

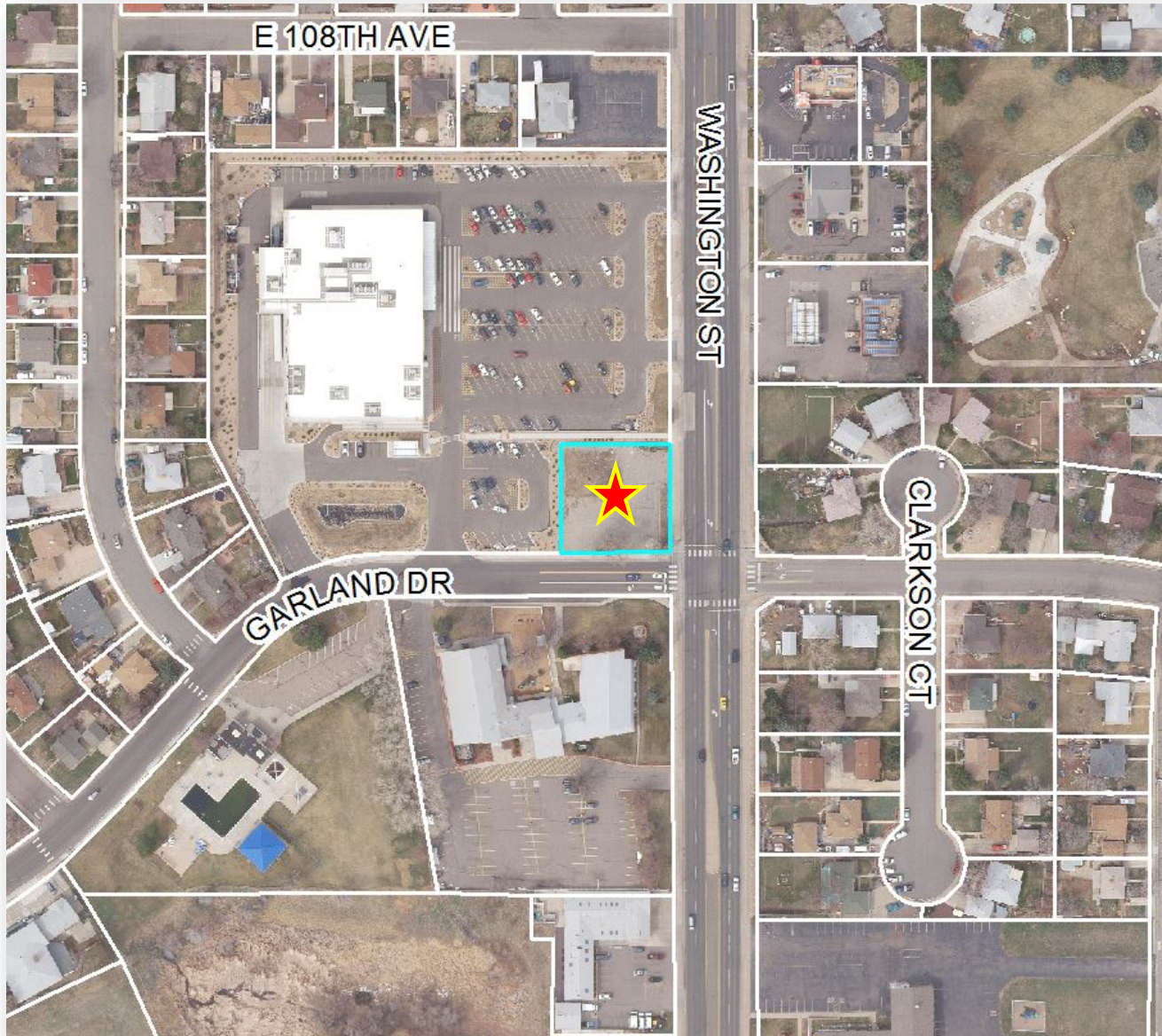


SITE CHARACTERISTICS

- Currently an undeveloped pad site.
- 15,625 square foot site (.36 acres).
- Located: NW corner of Washington Street and Garland Drive.
- Address: 10701 Washington Street.
- Existing access from Washington to remain; no curb-cut to Garland.
- Proposed building: relocation of the existing container store that is currently located at W. 104th Avenue and Bannock Street.



VICINITY MAP





View looking northwest (corner of Washington and Garland).

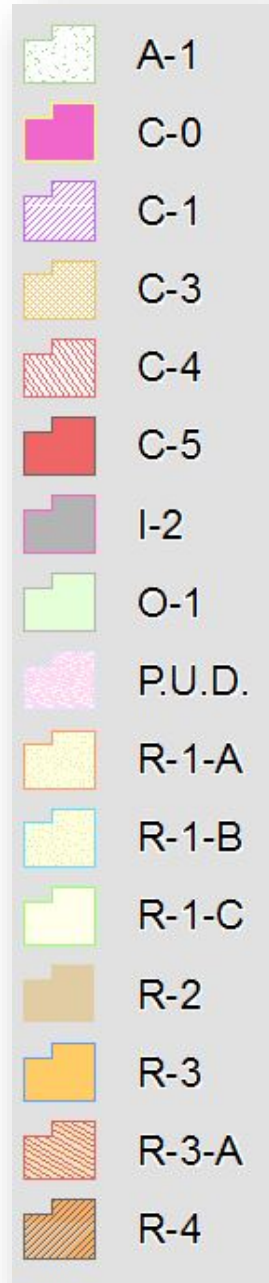
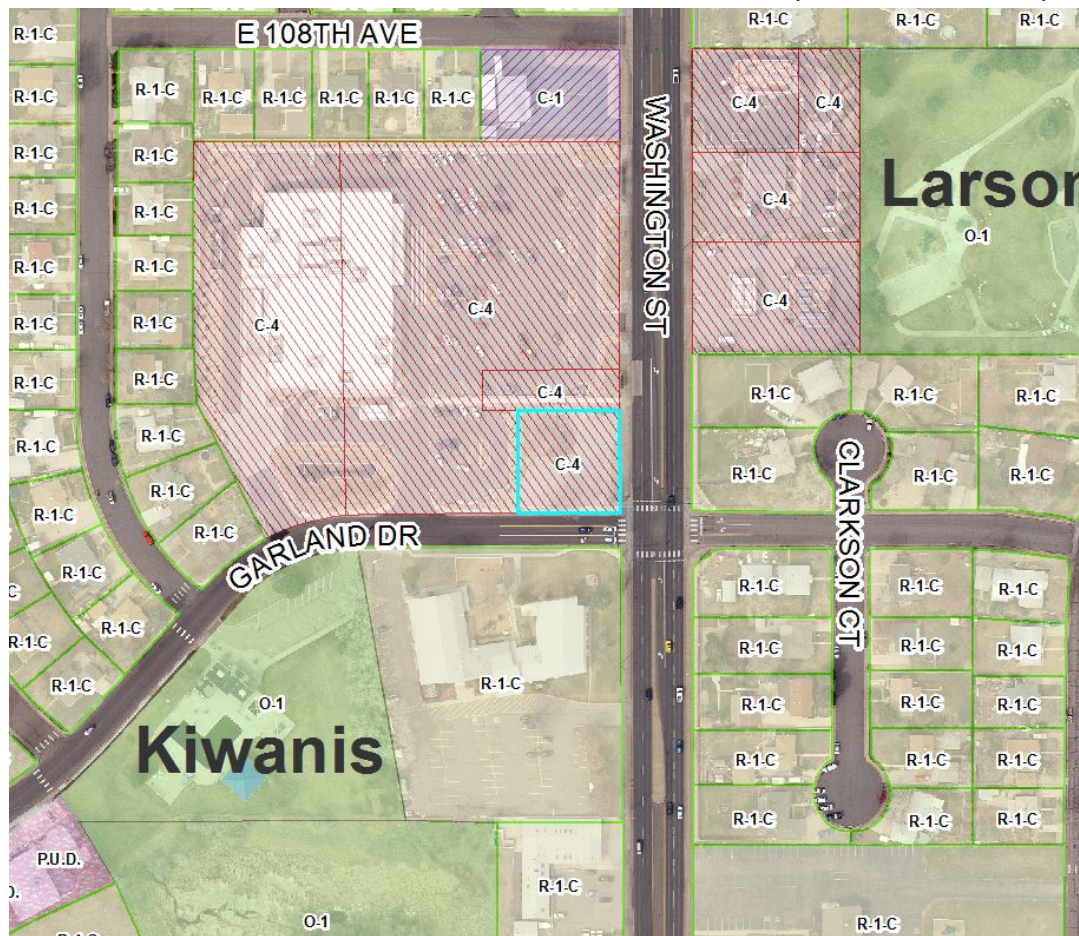


View looking southwest (along Washington).



ZONING

ZONING: C-4 (Conditional)



	Zoning	Land Use
North	C-4	Walmart Neighborhood Market
South	R-1-C (south of Garland Drive)	Gethsemane Lutheran Church
East	R-1-C (east of Washington Street)	Existing single family detached residential
West	C-4	Walmart Neighborhood Market

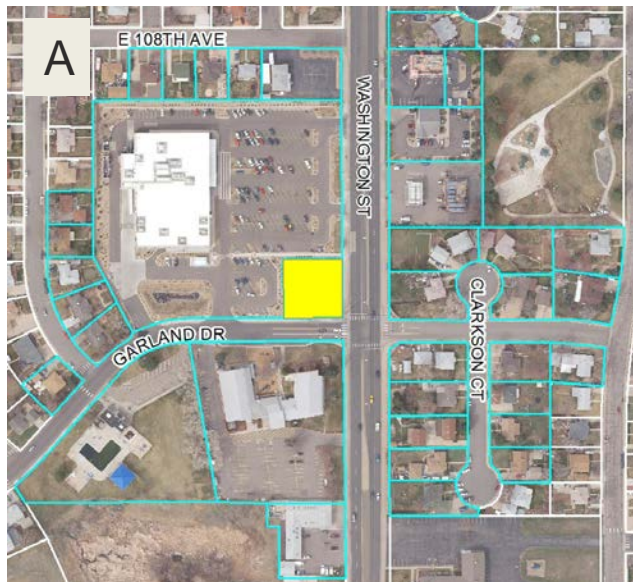


NOTIFICATION

Please note that notification shown here was performed for Planning Commission. The same notice was performed for City Council.

Notification was performed in accordance with the requirements of Section 11-6.5-4(b):

- A. Mailed notice sent to 35 surrounding properties.
- B. Publication in the Northglenn Sentinel.
- C. Public Hearing Notice sign was posted on the property



LEGAL NOTICE

CASE NUMBER: Z-4-17

To Whom It May Concern:

You are hereby notified that on Tuesday, August 15, 2017 at 7:00pm in the Council Chambers of the City of Northglenn, a public hearing will be held with the Planning Commission on a request by the applicant, **Wadsworth Acquisitions (on behalf of the owner SBX Helena Lyndale Ave LLC)**, for consideration of a Preliminary and Final PUD Rezoning from C-4 (Commercial) Conditional Zone to PUD Planned Unit Development for construction of a new **Starbucks Coffee** drive-thru. The proposal includes the relocation of the existing Starbucks building at the southwest corner of W. 104th Avenue and Bannock Street to the vacant pad site at the northwest corner of Washington Street and Garland Drive.

This hearing is for Adams County parcel number 0171910401012, which will be addressed 10701 Washington Street and is legally described as the following:

The east 125 feet of the south 125 feet of Lot 15, Northglenn Second Filing, City of Northglenn, County of Adams, State of Colorado.

All interested parties may appear and be heard.

Legal Notice No.: 67536
 First Publication: July 27, 2017
 Last Publication: July 27, 2017
 Publisher: Northglenn-Thomton Sentinel



B



ANALYSIS

Land Use/Compatibility:

- The site is currently zoned C-4 (Conditional Commercial), which would allow the proposed use.
- The applicant proposes a rezone to PUD to allow for some flexibility with the encroachment of the driveway within the required setback along Garland Drive.
- The site has 2 frontages on ROW's (on Washington and Garland); the code stipulates that each frontage meet the front setback requirements (no improvements permitted).
 1. The proposed drive thru aisle adjacent to Garland Drive is 14.8 feet from the edge of curb (25-foot setback required).



ANALYSIS

Parking and Circulation:

- Total Parking: 5 spaces
- Ratio: 1 stall for every 3 seats, plus 1 stall for every 2 employees.
- 2 required per code.
- Parking easement with Walmart.

Architecture and Elevations:

- Façade is a finished shipping container concept.
- Includes reclaimed wood siding and mix of metal and glass elements.



ANALYSIS

Landscaping:

- 29.8% landscaping coverage (exceeds code).
- Trees: 5 shade, 5 ornamental.
- Existing site includes 1 shade trees that will remain.
- Adding 10 additional trees to comply with code requirements.



ANALYSIS

Drainage:

- P.W. Department reviewed and approved the Drainage Report for this development.
- Because the site is less than an acre, no detention is required.
- Water quality has been met through a grass swale.

Traffic

- Public Works reviewed and approved the TIA.
- Access points to remain as are currently existing.
 1. Only 1 direct access point to Washington.
 2. Cross access and parking easement with Walmart.

STARBUCKS AT WASHINGTON & GARLAND
 A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
 SITUATED IN THE SE ¼ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
 CITY OF NORTHGLEN, COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD


Sterling Design Associates, Inc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Lincoln Blvd #600
 Littleton, CO 80120
 303.744.4727 ph
 www.SterlingDesignAssociates.com

PRELIMINARY
 NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUE #	REVISION	DATE	BY
NO. 1	DATE: 10/05/07		BY: CP/PAL
NO. 2	DATE: -		DESCRIPTION: PUD SUBMITTAL
NO. 3	DATE: -		DESCRIPTION: -
NO. 4	DATE: -		DESCRIPTION: -
NO. 5	DATE: -		DESCRIPTION: -
NO. 6	DATE: -		DESCRIPTION: -

DATE:	SCALE:
05/08/2017	1"=20'
PROJECT NUMBER:	PROJECT NO.:
CMP	-
DRAWN BY:	DRAWING FILE:
CMP	-

PROJECT:



STARBUCKS COFFEE COMPANY
 10701 WASHINGTON ST
 NORTHGLEN, CO 80233

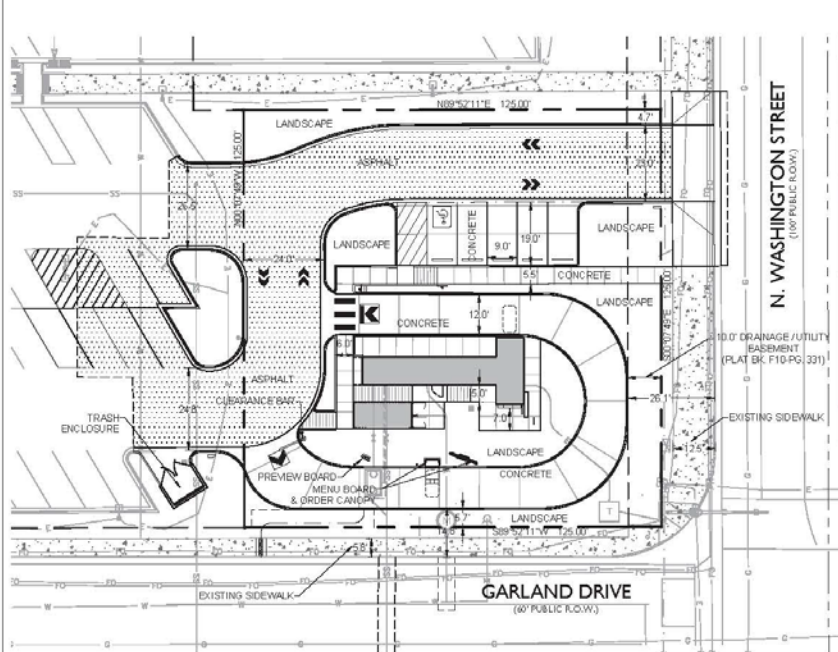
CLIENT:
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134
 TEL: (208) 318-1575

SHEET TITLE:








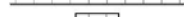



SITE PLAN

SHEET NUMBER:

2 OF 10



LEGEND

-  R.O.W. / PROPERTY LINE
-  ADJOINING PROPERTY
-  EASEMENT LINE
-  EXISTING SIDEWALK
-  EXISTING CURB & GUTTER
-  PROPOSED CURB AND GUTTER
-  PROPOSED SIDEWALK
-  CONCRETE PAVEMENT
-  EXISTING SIGN
-  PROPOSED SIGN
-  DIRECTIONAL PAVEMENT ARROWS



STARBUCKS AT WASHINGTON & GARLAND
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Sterling Design Associates, LLC
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
 2009 W. Lindsay Blvd #300
 Loveland, CO 80502
 303.794.4727 ph
 www.SterlingDesignAssociates.com

PRELIMINARY
 NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 9/28/2017	BY: CP/R&A
DESCRIPTION: PUD RESUBMITTAL		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

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DRAWN BY:	CMF	DRAWING FILE:	-

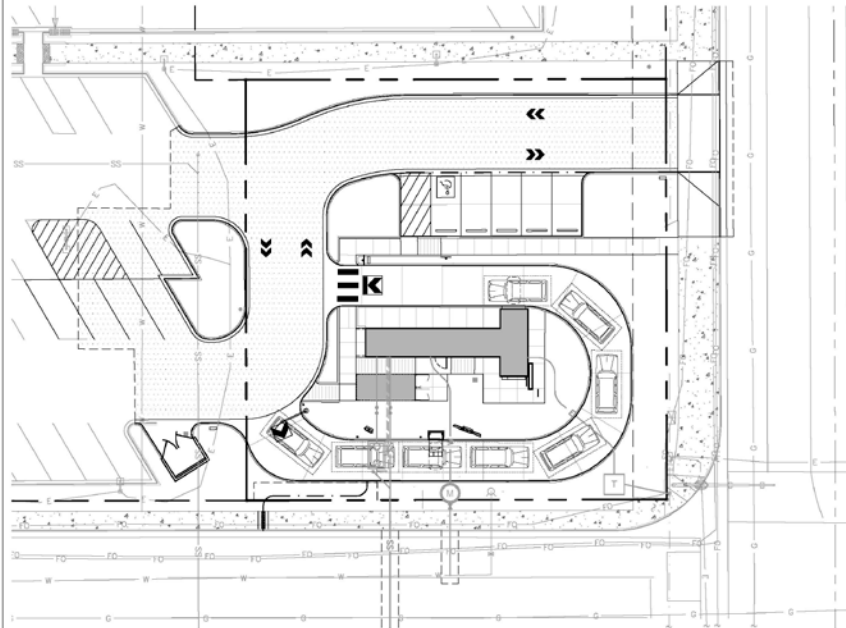
PROJECT:

STARBUCKS COFFEE COMPANY
 10701 WASHINGTON ST
 NORTHGLENN, CO 80233




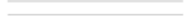







CLIENT:
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134
 TEL: (206) 318-1575

SHEET TITLE:
STACKING EXHIBIT

SHEET NUMBER:
1



LEGEND

	R.O.W. / PROPERTY LINE
	ADJOINING PROPERTY
	EASEMENT LINE
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	PROPOSED CURB AND GUTTER
	PROPOSED SIDEWALK
	CONCRETE PAVEMENT
	EXISTING SIGN
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 CITY OF NORTHGLEN, COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD

Sterling Design Associates, Inc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Ute Ave. Suite #900
 Lakewood, CO 80226
 303.794.4727 fax
 www.sterlingdesign.com

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

NO.	DATE, REVISION	BY, CP/FUL
NO. 1	DATE, REVISION	BY, CP/FUL
DESCRIPTION, PUD SUBMITTAL		
NO. 2	DATE, .	BY, .
DESCRIPTION, .		
NO. 3	DATE, .	BY, .
DESCRIPTION, .		
NO. 4	DATE, .	BY, .
DESCRIPTION, .		
NO. 5	DATE, .	BY, .
DESCRIPTION, .		
NO. 6	DATE, .	BY, .
DESCRIPTION, .		

DATE	SCALE
06/08/2017	1"=20'
PROJECT MANAGER	PROJECT NO.
CP	
DRAWN BY	DRAWING I.L.C.
CP	

PROJECT



STARBUCKS COFFEE COMPANY
 10701 WASHINGTON ST
 NORTHGLEN, CO 80233

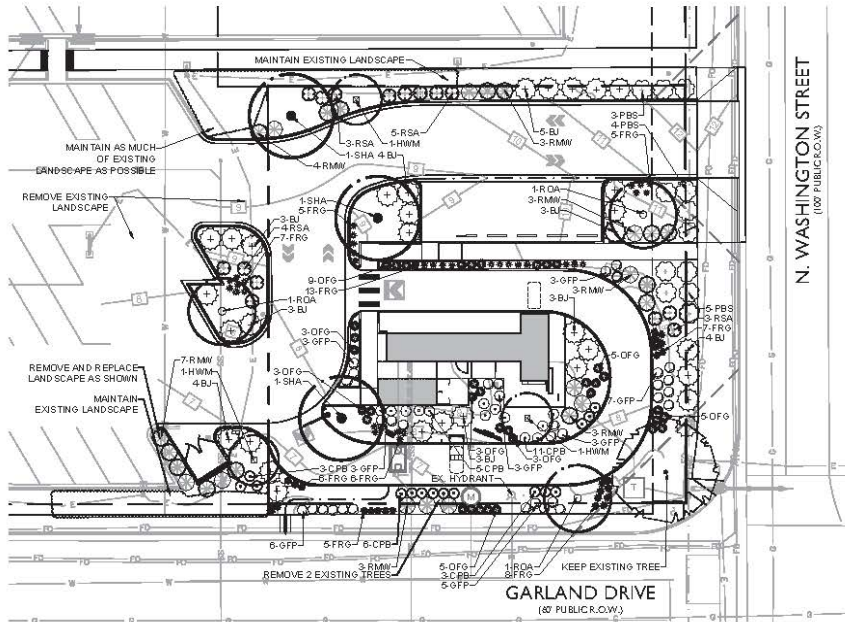
CLIENT
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134
 TEL: (206) 318-1575

SHEET FILE

LANDSCAPE PLAN

SHEET NUMBER

5 OF 10

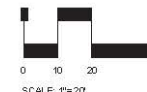


PLANT LIST

QTY	SYM.	COMMON NAME	SCIENTIFIC NAME	SIZE	QUALITY
DECIDUOUS CANOPY TREES					
3	SHA	SHADEMASTER HONEYLOCUST	GLEDITSIA TRIANCANTHOS INERMIS 'SHADEMASTER'	2" CAL	B&B, SPECIMEN QUALITY
3	ROA	NORTHERN RED OAK	QUERCUS RUBRA	2" CAL	B&B SPECIMEN QUALITY
DECIDUOUS ORNAMENTAL TREES					
3	HMM	POT WINGS MAPLE	ACER TATARICUM 'GARANN'	1.5" CAL	MULTI-STEM
EVERGREEN SHRUBS					
32	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL	CONTAINER, 24" SPREAD
DECIDUOUS SHRUBS					
28	CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	5 GAL	CONTAINER
12	PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL	CONTAINER
15	RSA	RUSSIAN SAGE	PEROVSKIA ARTIFUCIFOLIA	5 GAL	CONTAINER
33	GFF	GOLDFINGER POTENTILLA	POTENTILLA FRUTICOSA 'GOLDFINGER'	5 GAL	CONTAINER
22	RMW	MELDANDS ROSE, ALBA	ROSA SP. 'MELCOUBLAN'	5 GAL	CONTAINER
ORNAMENTAL GRASSES					
62	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL	WELL ESTABLISHED
36	OFG	ORIENTAL FOUNTAIN GRASS	PENNISETUM ORIENTALE	1 GAL	WELL ESTABLISHED

TREE REQUIREMENT DATA

STREET	REQUIRED	PROVIDED	EXISTING TREE DIAM.
WASHINGTON ST	1 CANOPY / 40 LF, 1 ORNAMENTAL / 50 LF		
GARLAND DR	106 5'-24"=82.5 LF, 2 CANOPY, 2 ORN.	2 CANOPY (1 EXIST, 1 NEW)	15"
ON-SITE	120'-0"=125 LF, 3 CANOPY, 3 ORN.	1 CANOPY (NEW), 1 ORN (NEW)	0"
TOTAL	5 CANOPY, 5 ORN = 10 TOTAL	7 CANOPY, 3 ORN = 10 TOTAL	15"





View of existing container store to be relocated.



Existing container store.



CITY COUNCIL OPTIONS

1. Approve the requests with or without conditions or stipulations;
2. Deny this request for reasons stated; or
3. Table the request for further consideration.



RECOMMENDATION

Staff is recommending the City Council consider approval of CB-1895 to rezone the subject site to PUD.

SPONSORED BY: MAYOR DOWNING

COUNCILMAN'S BILL

ORDINANCE NO.

No. CB-1895
Series of 2017

Series of 2017

A BILL FOR A SPECIAL ORDINANCE REZONING FROM C-4 (CONDITIONAL) COMMERCIAL TO PLANNED UNIT DEVELOPMENT (PUD), CERTAIN REAL PROPERTY IN THE CITY OF NORTHGLENN LOCATED AT 10701 WASHINGTON STREET IN THE COUNTY OF ADAMS, STATE OF COLORADO, AND AMENDING THE ZONING MAP OF THE CITY OF NORTHGLENN

WHEREAS, all of the property described in **Exhibit A** is currently zoned C-4 (Conditional) with a legal description as follows:

The east 125 feet of the south 125 feet of Lot 15, Block 37, Northglenn Second Filing, City of Northglenn, County of Adams, State of Colorado.

WHEREAS, the City Council desires to rezone the property described in **Exhibit A** to PUD, pursuant to the “Starbucks at Washington & Garland Preliminary & Final PUD” attached hereto as **Exhibit B**.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. Findings of Fact. The City Council hereby makes the following findings of fact:

- (a) The proposed development is compatible with the surrounding area;
- (b) The proposed development is not inconsistent with the City’s Master Plan;
- (c) The proposed development does not adversely affect the health, safety, and welfare of the inhabitants of the area and the City of Northglenn;
- (d) Adequate circulation exists and traffic movement will not be impeded by the proposed development; and
- (e) Additional municipal service costs will not be incurred.

Section 2. Rezoning. Pursuant to the provisions of the Northglenn Zoning Ordinance, as amended, and upon the recommendation of the Northglenn Planning Commission (Case No. Z-4-17), a zoning change to Planned Unit Development (PUD) is hereby allowed and granted for the real property in the City of Northglenn, Colorado described in the attached **Exhibit A**, pursuant to the “Preliminary & Final PUD” attached as **Exhibit B**.

Section 3. Change of Zone Maps. The official zoning map of the City of Northglenn, pursuant to the provisions of Section 11-3-1 of the Municipal Code of the City of Northglenn, as amended, and the Comprehensive Master Plan of the City of Northglenn shall be and hereby are ordered amended to conform with the provisions of this Ordinance.

Section 4. Violations-Penalty. Violations of the provisions of this Ordinance shall be punishable under the provisions provided in Section 1-1-10 of the Northglenn Municipal Code.

INTRODUCED, READ AND ORDERED POSTED this 14th day of August, 2017.



JOYCE DOWNING
Mayor

ATTEST:



JOHANNA SMALL, CMC
City Clerk


PASSED ON SECOND AND FINAL READING this ____ day of _____, 2017.

JOYCE DOWNING
Mayor

ATTEST:

JOHANNA SMALL, CMC
City Clerk

APPROVED AS TO FORM:



COREY Y. HOFMANN
City Attorney

EXHIBIT A

LEGAL DESCRIPTION

The east 125 feet of the south 125 feet of Lot 15, Block 37, Northglenn Second Filing, City of Northglenn, County of Adams, State of Colorado.

EXHIBIT B

PRELIMINARY PUD

STARBUCKS AT WASHINGTON & GARLAND

A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
SITUATED IN THE SE $\frac{1}{4}$ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

SITE USE INFORMATION

ALLOWED USES:

IN ADDITION TO THOSE SET FORTH IN ARTICLE 23 OF CHAPTER 11 (C-4 ZONING) OF THE NORTHGLENN MUNICIPAL CODE, THE FOLLOWING USES SHALL BE USES-BY-RIGHT:
RESTAURANTS INCLUDING THOSE WITH DRIVE-THRU SERVICES
ALL USES ALLOWED IN THE C-4 ZONE DISTRICT SET FORTH IN ARTICLE 23, CHAPTER 11 OF THE NORTHGLENN MUNICIPAL CODE.

MINIMUM BUILDING SETBACKS:

EAST (N. WASHINGTON AVE.) - 40'
SOUTH (GARLAND DR.) - 20'
WEST - 10'
NORTH - 10'

PARKING SETBACKS:

EAST (N. WASHINGTON AVE.) - 40'
SOUTH (GARLAND DR.) - 20'
WEST - 0'
NORTH - 0'

PARKING

AT A MINIMUM, PARKING REQUIREMENTS SHALL BE PER SECTION 11-33-6 OF THE ZONING ORDINANCE.

DEVIATIONS FROM ZONING REGULATIONS:

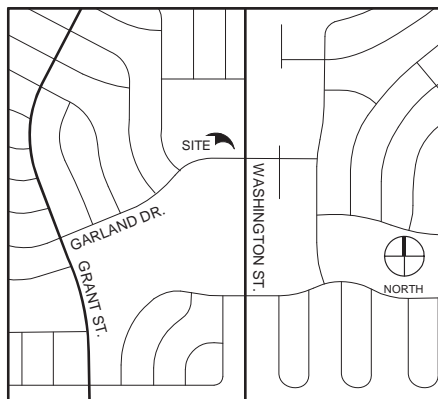
BUILDING AND DRIVE-THRU LANE SETBACKS - SOUTH (GARLAND DR.)

PROPOSED SCHEDULE FOR CONSTRUCTION:

CONSTRUCTION START - LATE SUMMER/FALL 2017
OPEN FOR BUSINESS - WINTER 2017-2018

THE CITY OF NORTHGLENN RESERVES THE RIGHT TO PERIODICALLY REVIEW THIS PUD FOR CONFORMANCE WITH ITS PROPOSED CONSTRUCTION SCHEDULE AND, WHEN APPROPRIATE, REZONE THIS PROPERTY TO A DIFFERENT ZONING CLASSIFICATION.

VICINITY MAP



SITE DATA

PROPOSED USES	COFFEE SHOP WITH DRIVE-THRU	
	C-4	PUD
ZONING - EXISTING AND PROPOSED		
	SQUARE FOOTAGE OR ACREAGE	PERCENTAGE OF TOTAL AREA
TOTAL AREA OF PROPERTY	15,625 SF	100%
TOTAL BUILDING COVERAGE	660 SF	4.2%
TOTAL LANDSCAPE COVERAGE	4,654 SF	29.8%
TOTAL LOT COVERAGE BY STRUCTURES & PAVING	10,311 SF	66.0%
	REQUIRED (PER 11-33-6(j))*	PROVIDED
NUMBER OF PARKING SPACES	2	5
NUMBER OF HANDICAP SPACES	1	1

* PARKING REQUIREMENT IS 1 SPACE / 3 SEATS, PLUS 1 SPACE / 2 EMPLOYEES ON LARGEST SHIFT. THIS STARBUCKS HAS NO SEATING AREAS BUT A WALK-UP WINDOW, WHICH COULD BE ESTIMATED TO HAVE 2 CUSTOMERS AT ONE TIME. IT IS ESTIMATED 4 EMPLOYEES DURING THE MAXIMUM SHIFT WOULD EQUAL 2 ADDITIONAL SPACES = EQUALS 4 PARKING SPACES TOTAL REQUIRED.

LEGAL DESCRIPTION

THE EAST 125 FEET OF THE SOUTH 125 FEET OF LOT 15, BLOCK 37, NORTH GLENN-SECOND FILING, SITUATED IN THE SE $\frac{1}{4}$ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M. CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO.

SHEET INDEX

1 OF 10	COVER SHEET
2 OF 10	SITE PLAN
3 OF 10	GRADING & DRAINAGE PLAN
4 OF 10	UTILITY PLAN
5 OF 10	LANDSCAPE PLAN
6 OF 10	LANDSCAPE DETAILS
7 OF 10	ARCHITECTURAL ELEVATIONS
8 OF 10	ARCHITECTURAL ELEVATIONS
9 OF 10	ACCESSORY BUILDING ELEVATIONS
10 OF 10	TRASH ENCLOSURE ELEVATIONS

OWNER:

I, _____, ON BEHALF OF SBX HELENA LYNDALAE AVE., LLC, HEREBY AFFIRM THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREIN, KNOWN AS STARBUCKS AT WASHINGTON AND GARLAND

OWNER _____ DATE _____

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2017, BY _____

WITNESS MY HAND AND OFFICIAL SEAL,

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

ENGINEER'S CERTIFICATE:

I, RYAN J LOFTUS, A REGISTERED PROFESSIONAL ENGINEER, DO CERTIFY THAT THE GRADING, DRAINAGE, AND UTILITY PLANS FOR THE STARBUCKS AT WASHINGTON & GARLAND PUD WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ENGINEER _____ DATE _____

APPROVAL LIST:

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

DIRECTOR OF COMMUNITY DEVELOPMENT _____ DATE _____

DIRECTOR OF PUBLIC WORKS AND UTILITIES _____ DATE _____

MAYOR _____ DATE _____

CITY CLERK _____ DATE _____

CERTIFICATE OF CLERK AND RECORDER:

THIS PUD WAS FILED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER IN THE COUNTY OF ADAMS, STATE OF COLORADO, THIS _____ DAY OF _____, 2017, AND ENTERED INTO PLAT BOOK _____ AT PAGE _____, AND RECEPTION NO. _____

BY: _____
DEPUTY _____

CLERK AND RECORDER _____

MY COMMISSION EXPIRES _____

INSTRUMENT NO. _____

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS

NO. 1 DATE: 6/28/2017 BY: CP / RJL

DESCRIPTION: PUD RESUBMITTAL

NO. 2 DATE: - BY: -

DESCRIPTION: -

NO. 3 DATE: - BY: -

DESCRIPTION: -

NO. 4 DATE: - BY: -

DESCRIPTION: -

NO. 5 DATE: - BY: -

DESCRIPTION: -

NO. 6 DATE: - BY: -

DESCRIPTION: -

DATE:
05/08/2017

SCALE:
N/A

PROJECT MANAGER:
CMP

PROJECT NO.:
-

DRAWN BY:
CMP

DRAWING FILE:
-

PROJECT:



STARBUCKS COFFEE COMPANY
10701 WASHINGTON ST
NORTHGLENN, CO 80233

CLIENT:

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

1 OF 10

DEVELOPMENT CONTACTS:

CIVIL ENGINEER / LANDSCAPE ARCHITECT

STERLING DESIGN ASSOCIATES, LLC
2009 W. LITTLETON BLVD., #300
LITTLETON, CO 80120
PH: (303) 794-4727
CONTACT: CINDY PEDRIOLI
E-MAIL: cindy@sterlingdesignassociates.com

SURVEYOR

ENGINEERING SERVICE COMPANY
14190 E. EVANS AVENUE
AURORA, CO 80014
PH: (303) 337-1393
CONTACT: CHARLES BECKSTROM
E-MAIL: cbeckstrom@engineeringserviceco.com

APPLICANT / DEVELOPER

WADSWORTH DEVELOPMENT GROUP
166 E. 14000 S., SUITE 210
DRAPER, UT 84020
PH: (801) 748-4088
CONTACT: BRAD WATSON
E-MAIL: brad@wadsdev.com

STARBUCKS AT WASHINGTON & GARLAND

A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
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CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



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PRELIMINARY
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STERLING DESIGN ASSOCIATES, LLC

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DESCRIPTION: -		
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DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	05/08/2017	SCALE:	1"=20'
PROJECT MANAGER:	CMP	PROJECT NO.:	-
DRAWN BY:	CMP	DRAWING FILE:	-

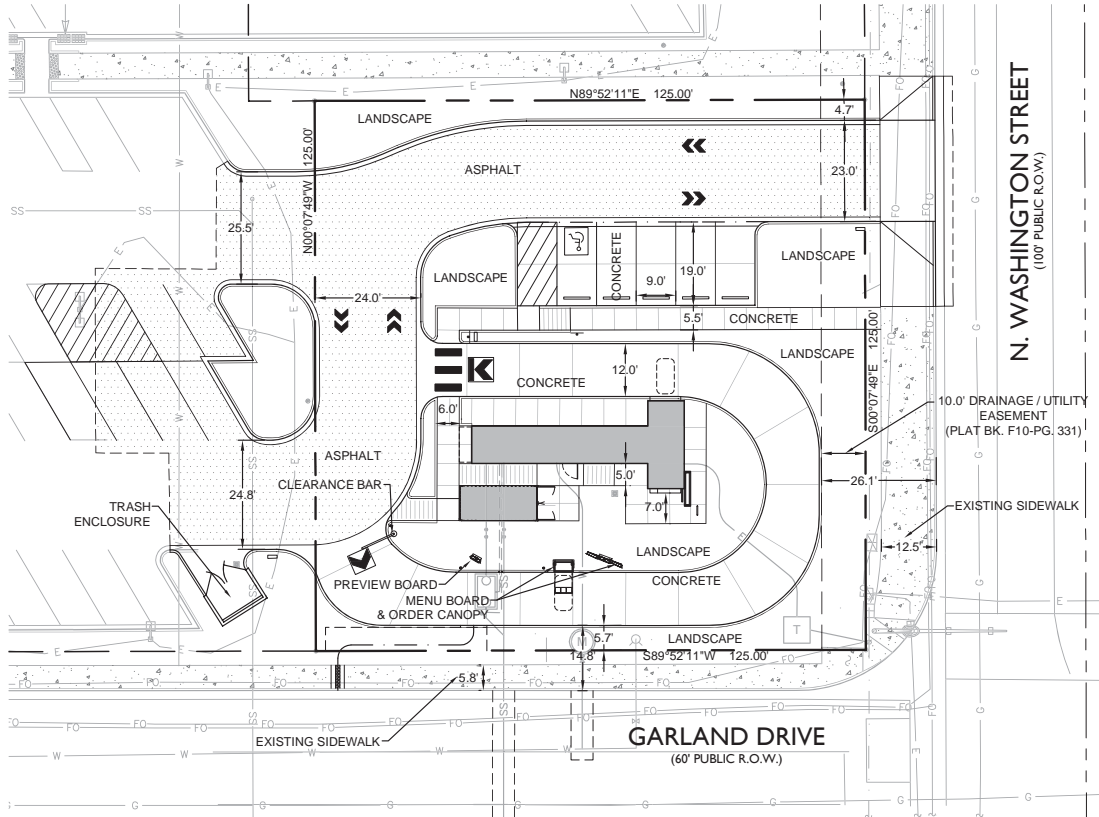
PROJECT:

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NORTHGLENN, CO 80233

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TEL: (206) 318-1575

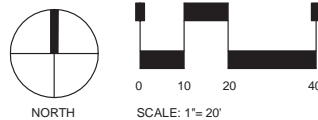
SHEET TITLE:
SITE PLAN

SHEET NUMBER:
2 OF 10



LEGEND

- R.O.W. / PROPERTY LINE
- ADJOINING PROPERTY
- EASEMENT LINE
- EXISTING SIDEWALK
- EXISTING CURB & GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- CONCRETE PAVEMENT
- EXISTING SIGN
- PROPOSED SIGNS
- DIRECTIONAL PAVEMENT ARROWS



STARBUCKS AT WASHINGTON & GARLAND

A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
SITUATED IN THE SE ¼ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 6/28/2017	BY: CP / RJL
DESCRIPTION: PUD RESUBMITTAL		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
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DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

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PROJECT MANAGER:	PROJECT NO.:
CMP	-
DRAWN BY:	DRAWING FILE:
RJL	-

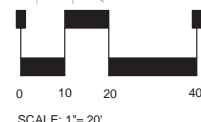
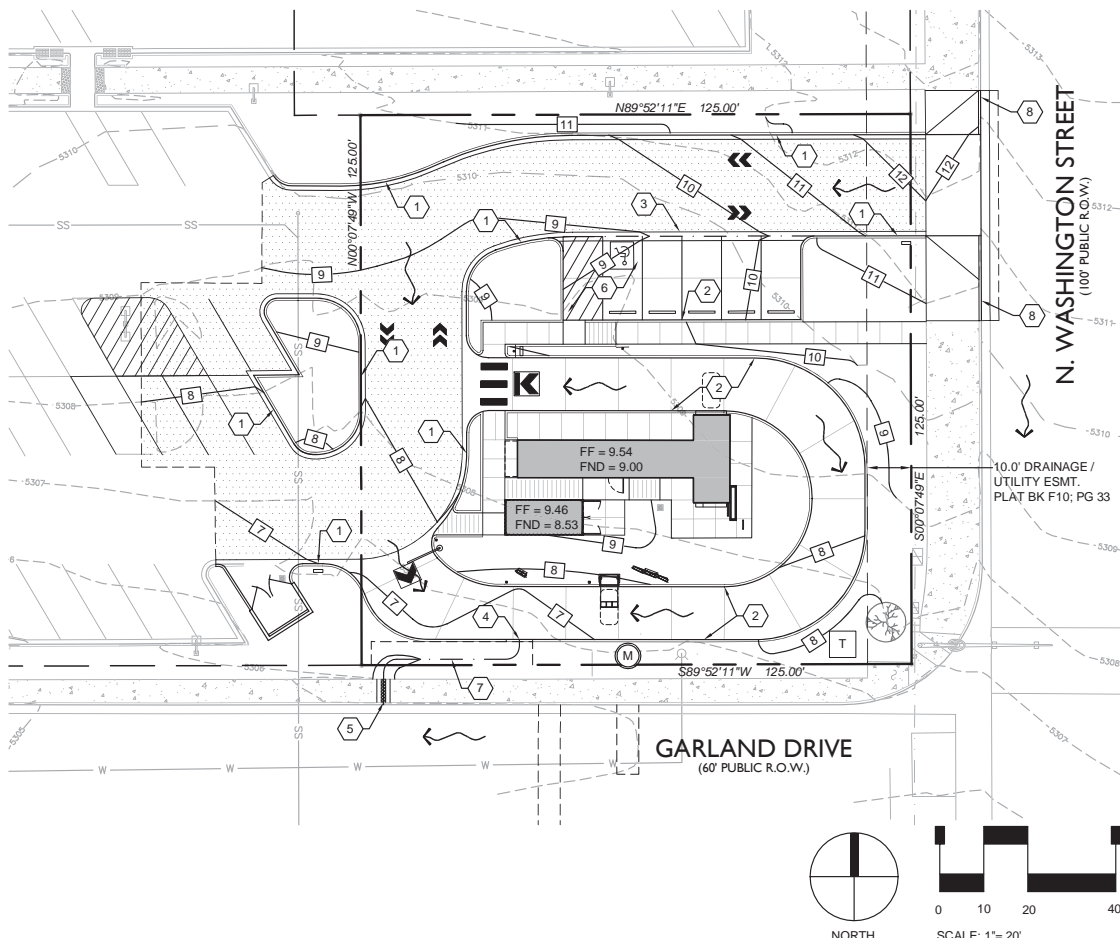
PROJECT:

STARBUCKS COFFEE COMPANY
10701 WASHINGTON ST
NORTHGLENN, CO 80233

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
TEL: (206) 318-1575

SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
3 OF 10



CONSTRUCTION NOTES

- 1 CONSTRUCT 6-INCH VERTICAL CONCRETE CURB AND GUTTER WITH 1-FOOT PAN.
- 2 CONSTRUCT 6-INCH VERTICAL CONCRETE CURB MONOLITHIC TO THE ADJOINING PAVING.
- 3 CONSTRUCT 2-FOOT CONCRETE PAN.
- 4 CONSTRUCT 1-FOOT CURB CUT WITH 2-FOOT TAPER EITHER SIDE.
- 5 CONSTRUCT SIDEWALK CHASE.
- 6 CONSTRUCT HANDICAP PARKING AREA - NO GRADES GREATER THAN 2.0% IN ANY DIRECTION.
- 7 CONSTRUCT ROCK SWALE.
- 8 CONSTRUCT PUBLIC CURB AND GUTTER WITH ATTACHED WALK.

LEGEND

	R.O.W. / PROPERTY LINE		EXIST. SIGN
	ADJOINING PROPERTY		PROP. SIGN
	EASEMENT LINE		EXIST. CONTOUR
	EXIST. SIDEWALK		PROP. CONTOUR
	EXIST. CURB & GUTTER		FLOW DIRECTION ARROW
	PROP. CURB AND GUTTER		SAWCUT LINE
	PROP. SIDEWALK		
	CONCRETE PAVEMENT		
	EXIST. SAN. MANHOLE		
	EXIST. WATER VALVE		

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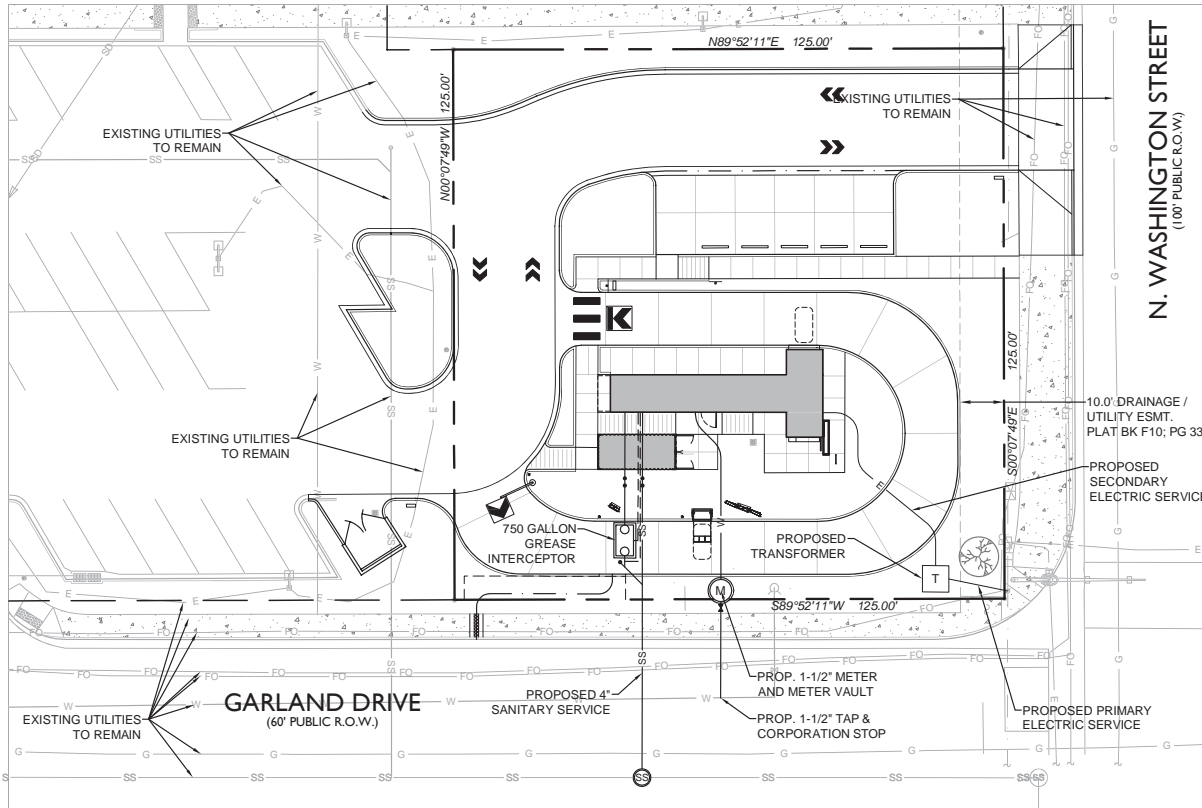
TEL: (206) 318-1575

SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

4 OF 10



LEGEND

	R.O.W. / PROPERTY LINE		EXIST. WATER LINE
	ADJOINING PROPERTY		EXIST. GAS LINE
	EASEMENT LINE		EXIST. SAN. SEWER LINE
	EXIST. SIDEWALK		EXIST. ELECTRIC LINE
	EXIST. CURB & GUTTER		EXIST. TELECOMM. LINE
	PROP. CURB AND GUTTER		EXIST. FIBER OPTIC LINE
	PROP. SIDEWALK		PROP. WATER SERVICE
	CONCRETE PAVEMENT		PROP. GAS SERVICE
	EXIST. WATER VALVE		PROP. SAN. SEWER SERVICE
			PROP. ELECTRIC SERVICE
			PROP. WATER METER
			PROP. TRANSFORMER



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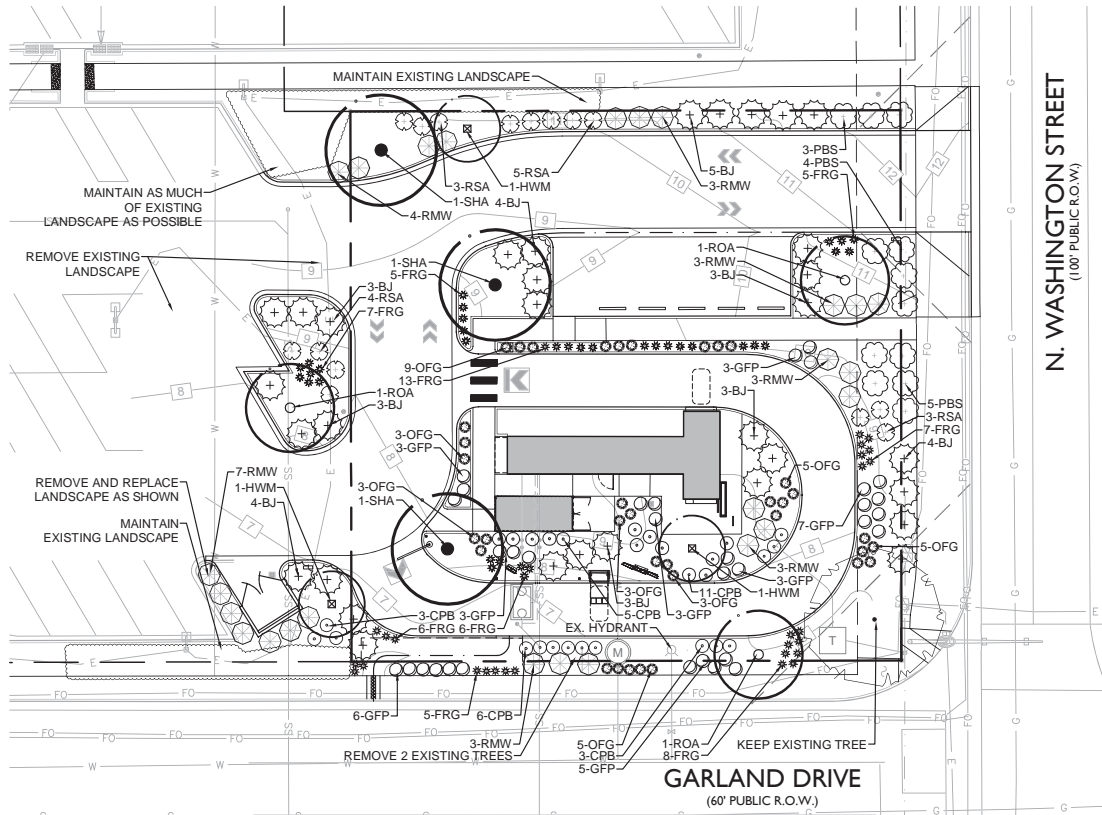
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SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:

5 OF 10

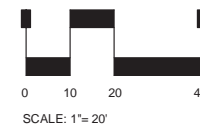


PLANT LIST

QTY	SYM.	COMMON NAME	SCIENTIFIC NAME	SIZE	QUALITY
DECIDUOUS CANOPY TREES					
3	SHA	SHADEMASTER HONEYLOCUST	GLEDTISIA TRIANCANTHOS INERMIS 'SHADEMASTER'	2" CAL	B&B, SPECIMEN QUALITY
3	ROA	NORTHERN RED OAK	QUERCUS RUBRA	2" CAL	B&B SPECIMEN QUALITY
DECIDUOUS ORNAMENTAL TREES					
3	HWM	HOT WINGS MAPLE	ACER TATARICUM 'GARANN'	1.5" CAL	MULTI-STEM
EVERGREEN SHRUBS					
32	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL	CONTAINER, 24" SPREAD
DECIDUOUS SHRUBS					
28	CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	5 GAL	CONTAINER
12	PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL	CONTAINER
15	RSA	RUSSIAN SAGE	PEROVSKIA ARTIPICIFOLIA	5 GAL	CONTAINER
33	GFP	GOLDFINGER POTENTILLA	POTENTILLA FRUTICOSA 'GOLDFINGER'	5 GAL	CONTAINER
22	RMW	MEIDLAND® ROSE, ALBA	ROSA SP. 'MELCOUBLAN'	5 GAL	CONTAINER
ORNAMENTAL GRASSES					
62	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL	WELL ESTABLISHED
36	OFG	ORIENTAL FOUNTAIN GRASS	PENNISSETUM ORIENTALE	1 GAL	WELL ESTABLISHED

TREE REQUIREMENT DATA

STREET	REQUIRED	PROVIDED	EXISTING TREE DIAM.
	1 CANOPY / 40 LF, 1 ORNAMENTAL / 50 LF		
WASHINGTON ST	106.5'-24"-82.5 LF, 2 CANOPY, 2 ORN.	2 CANOPY (1 EXIST, 1 NEW)	15"
GARLAND DR	125'-0"-125 LF, 3 CANOPY, 3 ORN.	1 CANOPY (NEW), 1 ORN (NEW)	0"
ON-SITE	-	4 CANOPY (1 REPLACE - WAL-MART, 3 NEW), 2 ORN (NEW)	0"
TOTAL	5 CANOPY, 5 ORN. = 10 TOTAL	7 CANOPY, 3 ORN = 10 TOTAL	15"



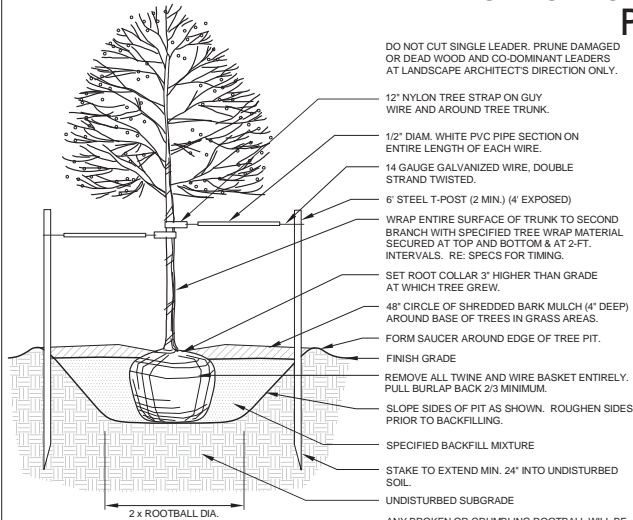
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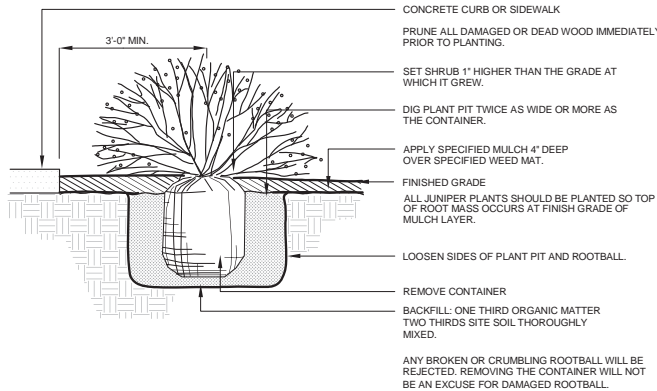
ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE WIRE WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.

REMOVE STAKING AFTER ONE YEAR.

SHADE TREE PLANTING

NOT TO SCALE

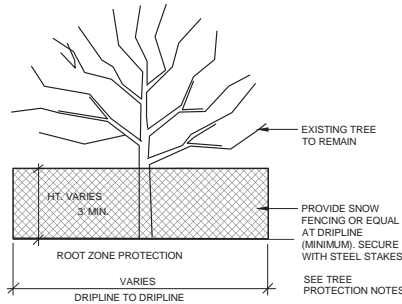
1



SHRUB PLANTING

NOT TO SCALE

2



EXISTING TREE PROTECTION

NOT TO SCALE

3

TREE PROTECTION NOTES

- CONTRACTORS SHALL COMPLY WITH THESE NOTES AND THE CITY OF NORTHGLENN STANDARDS FOR ALL EXISTING TREES TO REMAIN.
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE. CITY OF NORTHGLENN MAY STOP CONSTRUCTION IF TREE PRESERVATION MEASURES ARE NOT IN PLACE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- TREES CALLED OUT FOR PRESERVATION SHALL BE FENCED AT THE DRIPLINE. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES. PLACE 3 INCH BARK MULCH BENEATH DRIPLINES OF TREES TO BE PRESERVED.
- FENCING SHALL BE 3 FEET TALL SNOW FENCING WITH STEEL POSTS EMBEDDED IN THE GROUND.
- NO GRADING SHALL OCCUR WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- CONSTRUCTION VEHICLES OR MACHINERY MAY NOT PASS BETWEEN TWO OR MORE EXISTING TREES IDENTIFIED FOR PRESERVATION IF THEIR CANOPIES ARE WITHIN 10 FEET OF TOUCHING. ADDITIONAL FENCING MAY BE REQUIRED.
- THE CONTRACTOR IS REQUIRED TO HAVE AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) ON SITE IF SITE CONSTRUCTION EFFORTS REQUIRE REMOVAL OF EXISTING ROOTS OR BRANCH PRUNING.
- UNAUTHORIZED TREE REMOVAL OR DAMAGE IS SUBJECT TO REPLACEMENT EQUAL TO THE APPRAISED VALUE OF THE TREE LOST. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTATION OF ALL EXISTING TREES TO REMAIN, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. AN EARTH BERM MEASURING MINIMUM 6 FEET IN DIAMETER, AND 6 INCHES IN HEIGHT SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS A TEMPORARY WATERING BASIN DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE SPECIES REQUIREMENTS.

LANDSCAPE NOTES

- NO TREE OR SHRUB MORE THAN 30 INCHES HIGHER THAN THE TOP OF CURB SHALL BE PLANTED NEITHER IN ANY 50 FOOT VISION TRIANGLE AT ANY STREET INTERSECTION NOR IN ANY 25 FOOT VISION TRIANGLE AT THE INTERSECTION OF ANY DRIVEWAY AND PUBLIC STREET.
- NO TREE SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE.
- COORDINATION
THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE
A. FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE LA SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE LA SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
B. MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS
LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADERS AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING
A. CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
B. CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION
OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
- SOIL PREPARATION
SOD AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. AMEND SOIL WITH FOUR CUBIC YARDS PER THOUSAND SQUARE FEET OF ORGANIC COMPOST. COMPOST TO HAVE A C:N RATIO BETWEEN 15:1 AND 30:1, LESS THAN 6 mg/kg *as am* SALT CONTENT, A pH BETWEEN 6.5 AND 8.5, AND OVER 90% ORGANIC MATTER. APPLY 5 LBS. OF 20-10-5 GRANULAR FERTILIZER PER THOUSAND SQ. FEET. ROTOTILL AMENDMENTS AND TOPSOIL TO A DEPTH OF SIX INCHES. VERIFY SOIL PREP SPECIFICATIONS WITH WATER PROVIDER STANDARDS. PROVIDE EVIDENCE OF APPLICATION AS REQUIRED.
- SOODING
SOD SHALL BE "RTF" FESCUE BY GREEN VALLEY TURF (GVT) (303-798-6764). SOIL PREP., INSTALL AND WATER ACCORDING TO GVT GUIDELINES.
- PLANTING
TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- MULCH
INSTALL 1" DIAMETER ROCK MULCH TO MATCH WAL-MART ROCK MULCH AS MUCH AS POSSIBLE. A MINIMUM OF 3-4" DEEP UNLESS OTHERWISE SHOWN. LARGER 3-5" DIAMETER ROCK OF A SIMILAR COLOR TO BE INSTALLED IN THE DRAINAGE SWALE ON THE SOUTHWEST CORNER OF THE SITE. BOTH ROCK MULCHES TO BE PLACED OVER DEWITT PRO 5 FILTER FABRIC 3-4" DEEP.
- MAINTENANCE
THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
- IRRIGATION
ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM TO INCLUDE IRRIGATION TO ALL PROPOSED PLANT MATERIAL. ALL SHRUB BEDS SHALL BE IRRIGATED USING A DRIP IRRIGATION SYSTEM. THE WAL-MART IRRIGATION SYSTEM WILL NEED TO BE MAINTAINED IN WORKING ORDER DURING SITE DEMOLITION, CONSTRUCTION AND AFTER LANDSCAPE INSTALLATION. THE LANDSCAPE SHOWN ON THE WAL-MART SITE SHALL BE IRRIGATED BY THE EXISTING SYSTEM. RETROFITTING THAT SYSTEM WILL BE NECESSARY. THE STARBUCKS SITE WILL HAVE A SEPARATE IRRIGATION SYSTEM.

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05/08/2017	N/A
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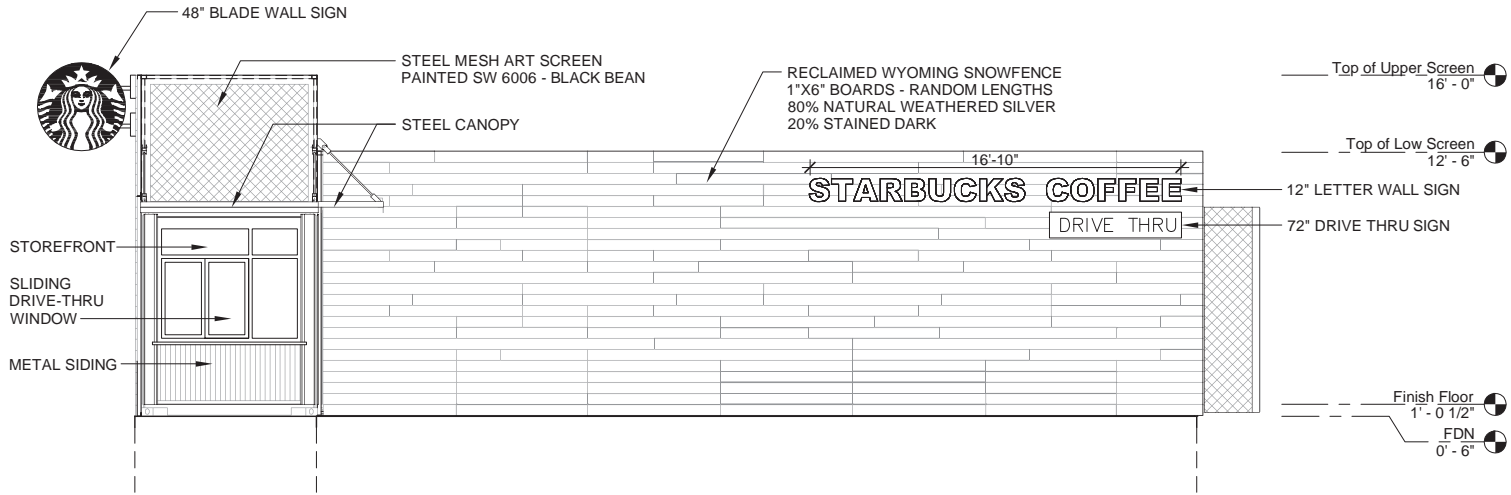
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LANDSCAPE DETAILS

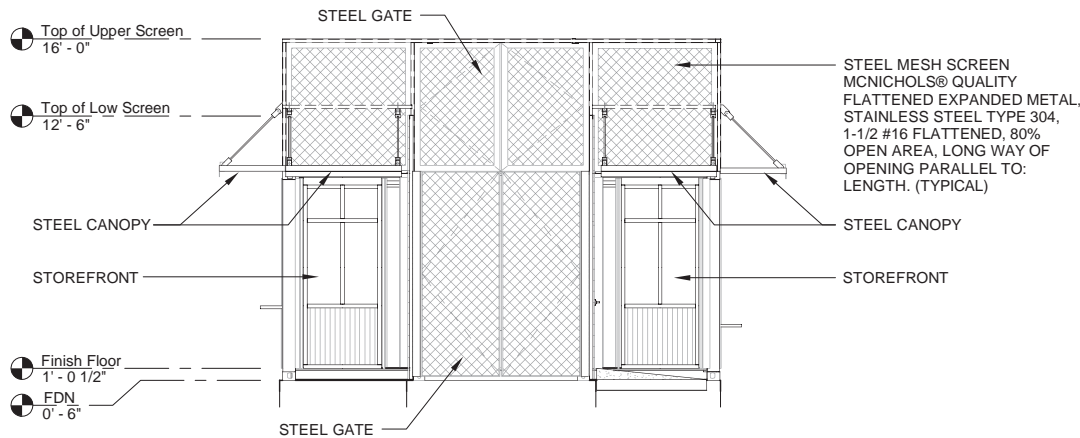
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1 North Elevation
 Scale: 1/4" = 1'-0"



2 East Elevation
 Scale: 1/4" = 1'-0"

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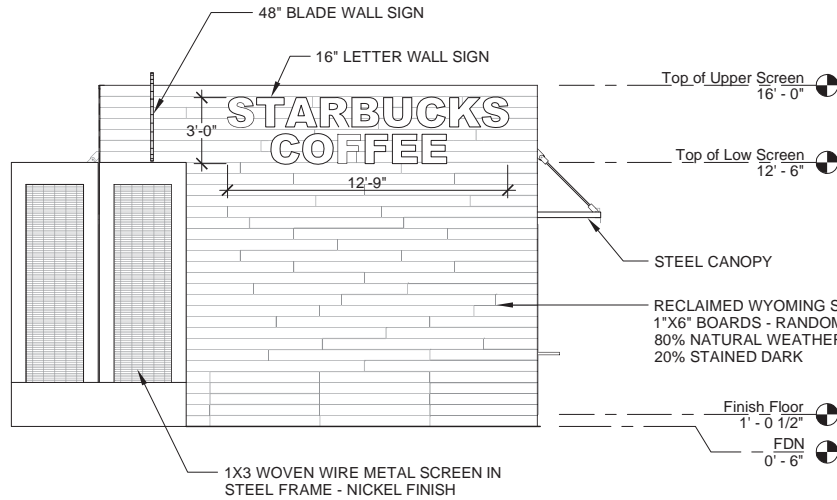
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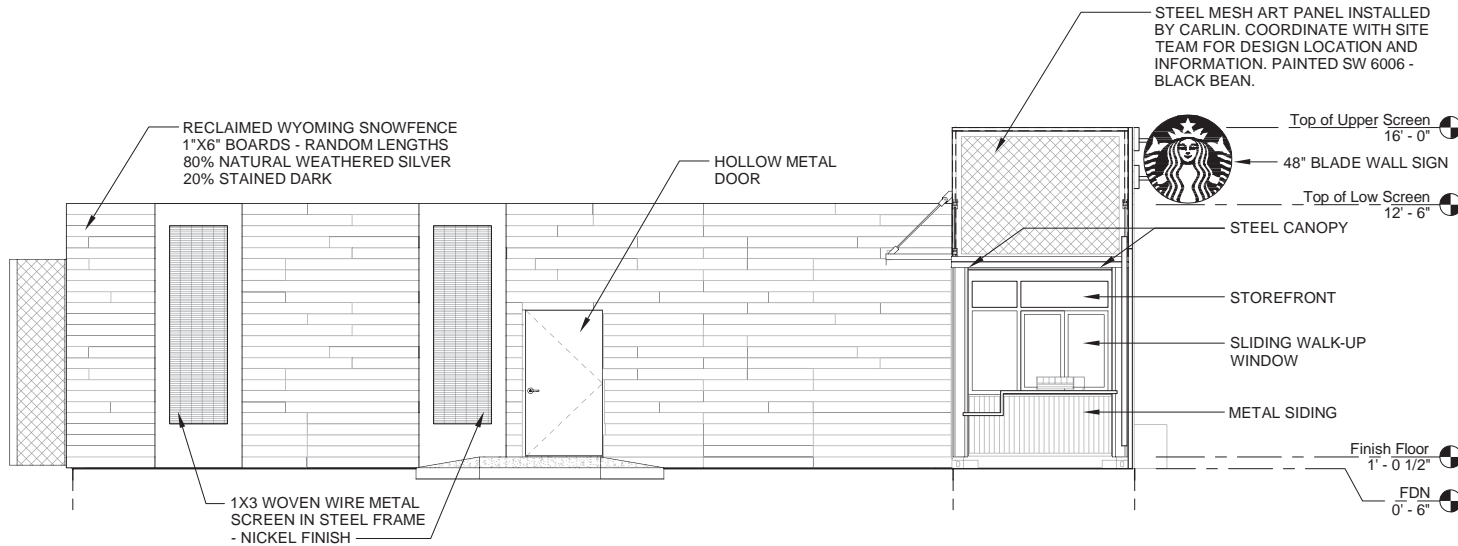
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BUILDING ELEVATIONS

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2 South Elevation
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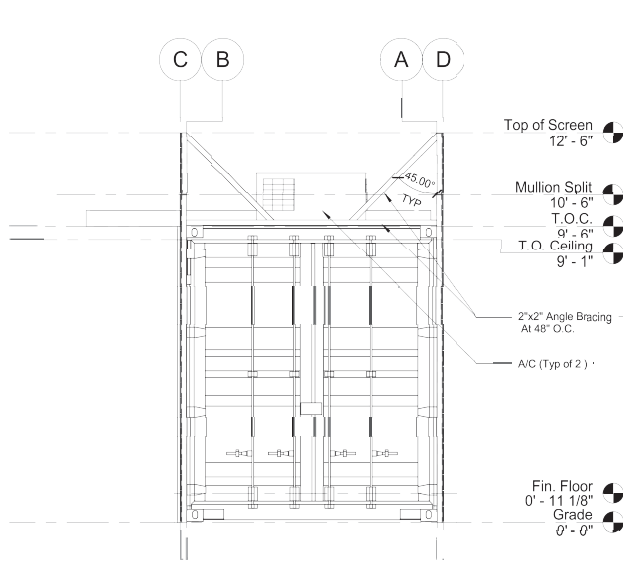
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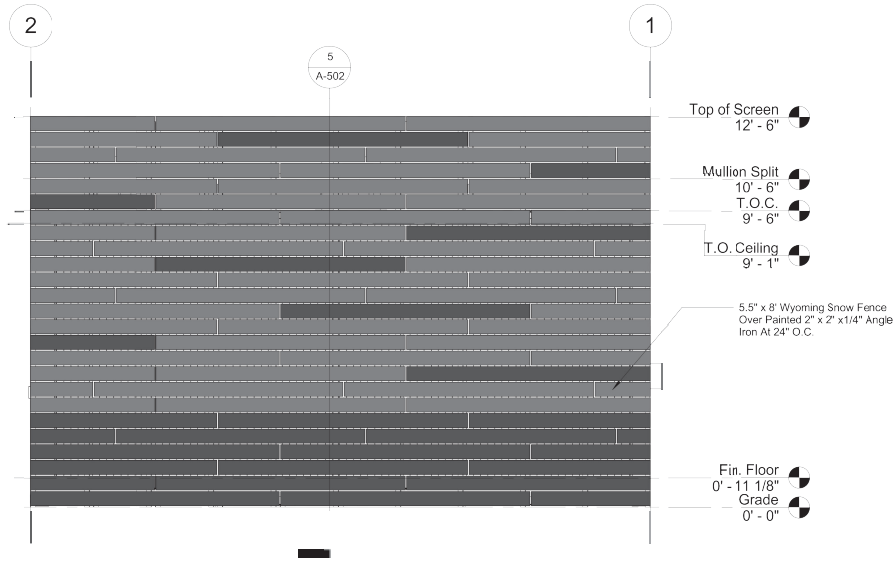
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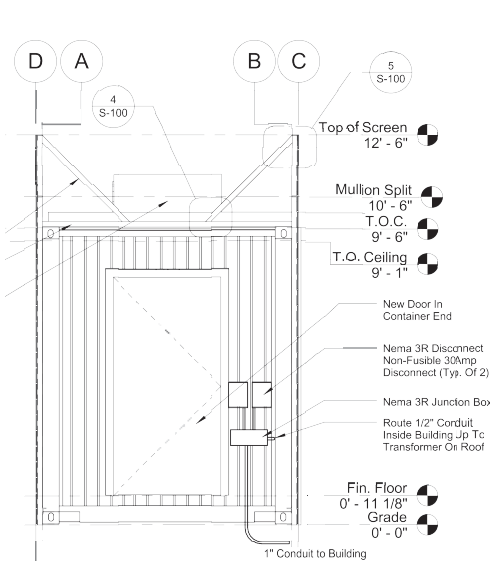
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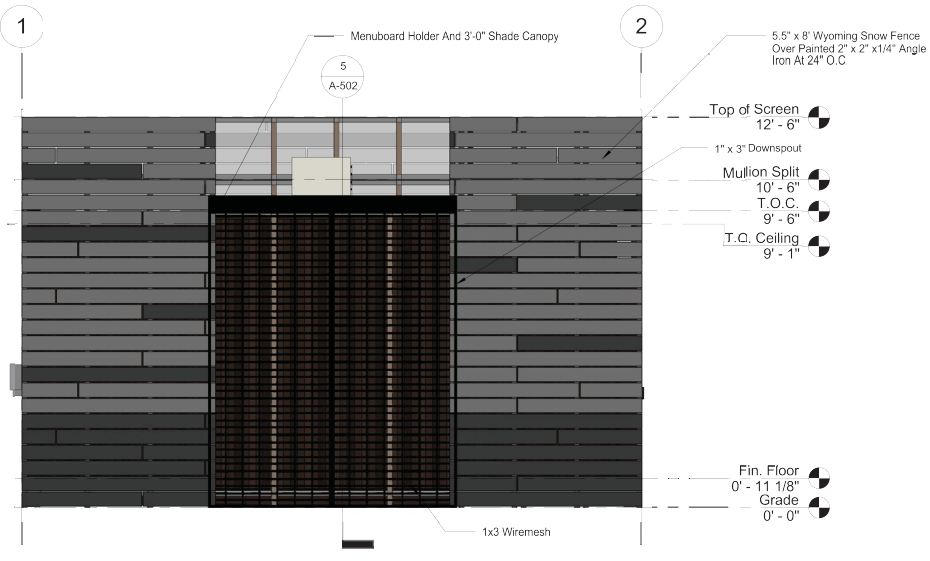
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2 East Elevation
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NO. 1	DATE: 6/28/2017	BY: CP / RJL
DESCRIPTION: PUD RESUBMITTAL		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: 05/08/2017	SCALE: -
PROJECT MANAGER: CMP	PROJECT NO.:
DRAWN BY: CMP	DRAWING FILE:

PROJECT:



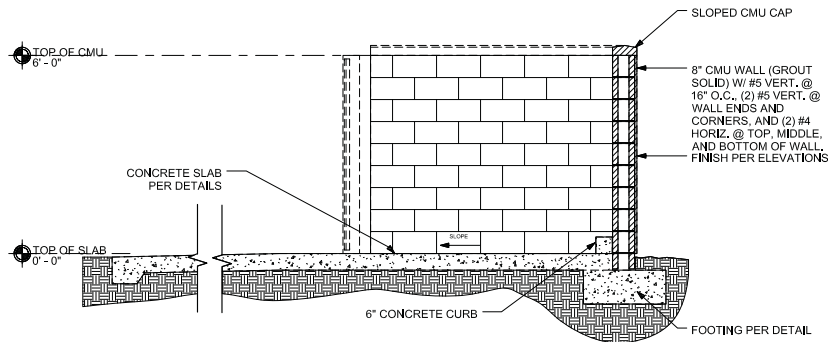
STARBUCKS COFFEE COMPANY
 10701 WASHINGTON ST
 NORTHGLENN, CO 80233

CLIENT:
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134
 TEL: (206) 318-1575

SHEET TITLE:
ACCESSORY BUILDING ELEVATIONS

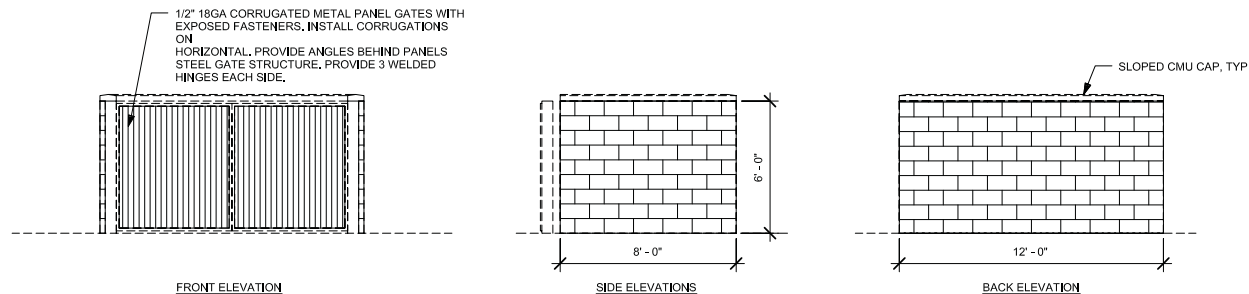
SHEET NUMBER:
9 OF 10

STARBUCKS AT WASHINGTON & GARLAND
 A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
 SITUATED IN THE SE 1/4 OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD



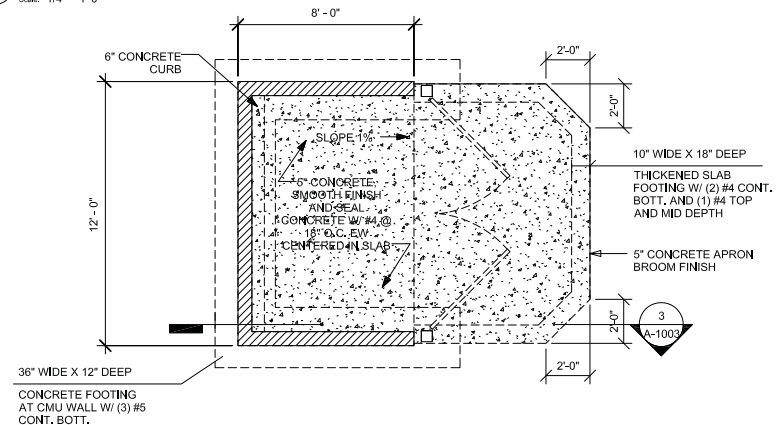
3 SECTION @ TRASH ENCLOSURE

Scale: 3/8" = 1'-0"



2 TRASH ENCLOSURE ELEVATIONS

Scale: 1/4" = 1'-0"



1 TRASH ENCLOSURE PLAN

Scale: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUES & REVISIONS		
NO. 1	DATE: 6/28/2017	BY: CP / RJL
DESCRIPTION: PUD RESUBMITTAL		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
05/08/2017	N/A
PROJECT MANAGER:	PROJECT NO.:
CMP	-
DRAWN BY:	DRAWING FILE:
CMP	-

PROJECT:

STARBUCKS COFFEE COMPANY
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 NORTHGLENN, CO 80233

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SHEET TITLE:
TRASH ENCLOSURE DETAILS

SHEET NUMBER:

10 OF 10