

SPONSORED BY: MAYOR DOWNING

COUNCILMAN'S RESOLUTION

NO. CB-1895
Series of 2017

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN,
COLORADO, THAT:

A PUBLIC HEARING WILL BE HELD ON CB-1895, SERIES OF 2017, ENTITLED "A BILL FOR A SPECIAL ORDINANCE REZONING FROM C-4 (CONDITIONAL) COMMERCIAL TO PLANNED UNIT DEVELOPMENT (PUD), CERTAIN REAL PROPERTY IN THE CITY OF NORTHGLENN LOCATED AT 10701 WASHINGTON STREE IN THE COUNTY OF ADAMS, STATE OF COLORADO, AND AMENDING THE ZONING MAP OF THE CITY OF NORTHGLENN" ON AUGUST 28, 2017 AT 7:00 P.M., CITY HALL COUNCIL CHAMBERS, 11701 COMMUNITY CENTER DRIVE, NORTHGLENN.

DATED this 14th day of August, 2017.


JOYCE DOWNING
Mayor

ATTEST:


JOHANNA SMALL, CMC
City Clerk

AFFIDAVIT OF POSTING:

I, Johanna Small, certify that CB-1895 was posted at the authorized posting places in the City of Northglenn this 17th day of August, 2017.


City Clerk's Office

SPONSORED BY: MAYOR DOWNING

COUNCILMAN'S BILL

ORDINANCE NO.

No. CB-1895
Series of 2017

Series of 2017

A BILL FOR A SPECIAL ORDINANCE REZONING FROM C-4 (CONDITIONAL) COMMERCIAL TO PLANNED UNIT DEVELOPMENT (PUD), CERTAIN REAL PROPERTY IN THE CITY OF NORTHGLENN LOCATED AT 10701 WASHINGTON STREET IN THE COUNTY OF ADAMS, STATE OF COLORADO, AND AMENDING THE ZONING MAP OF THE CITY OF NORTHGLENN

WHEREAS, all of the property described in **Exhibit A** is currently zoned C-4 (Conditional) with a legal description as follows:

The east 125 feet of the south 125 feet of Lot 15, Block 37, Northglenn Second Filing, City of Northglenn, County of Adams, State of Colorado.

WHEREAS, the City Council desires to rezone the property described in **Exhibit A** to PUD, pursuant to the “Starbucks at Washington & Garland Preliminary & Final PUD” attached hereto as **Exhibit B**.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. Findings of Fact. The City Council hereby makes the following findings of fact:

- (a) The proposed development is compatible with the surrounding area;
- (b) The proposed development is not inconsistent with the City’s Master Plan;
- (c) The proposed development does not adversely affect the health, safety, and welfare of the inhabitants of the area and the City of Northglenn;
- (d) Adequate circulation exists and traffic movement will not be impeded by the proposed development; and
- (e) Additional municipal service costs will not be incurred.

Section 2. Rezoning. Pursuant to the provisions of the Northglenn Zoning Ordinance, as amended, and upon the recommendation of the Northglenn Planning Commission (Case No. Z-4-17), a zoning change to Planned Unit Development (PUD) is hereby allowed and granted for the real property in the City of Northglenn, Colorado described in the attached **Exhibit A**, pursuant to the “Preliminary & Final PUD” attached as **Exhibit B**.

Section 3. Change of Zone Maps. The official zoning map of the City of Northglenn, pursuant to the provisions of Section 11-3-1 of the Municipal Code of the City of Northglenn, as amended, and the Comprehensive Master Plan of the City of Northglenn shall be and hereby are ordered amended to conform with the provisions of this Ordinance.

Section 4. Violations-Penalty. Violations of the provisions of this Ordinance shall be punishable under the provisions provided in Section 1-1-10 of the Northglenn Municipal Code.

INTRODUCED, READ AND ORDERED POSTED this 14th day of August, 2017.



JOYCE DOWNING
Mayor

ATTEST:



JOHANNA SMALL, CMC
City Clerk

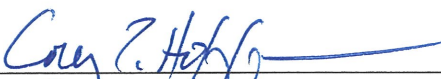
PASSED ON SECOND AND FINAL READING this ____ day of _____, 2017.

JOYCE DOWNING
Mayor

ATTEST:

JOHANNA SMALL, CMC
City Clerk

APPROVED AS TO FORM:



COREY Y. HOFMANN
City Attorney

EXHIBIT A

LEGAL DESCRIPTION

The east 125 feet of the south 125 feet of Lot 15, Block 37, Northglenn Second Filing, City of Northglenn, County of Adams, State of Colorado.

EXHIBIT B

PRELIMINARY PUD

STARBUCKS AT WASHINGTON & GARLAND

A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
SITUATED IN THE SE $\frac{1}{4}$ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

SITE USE INFORMATION

ALLOWED USES:

IN ADDITION TO THOSE SET FORTH IN ARTICLE 23 OF CHAPTER 11 (C-4 ZONING) OF THE NORTHGLENN MUNICIPAL CODE, THE FOLLOWING USES SHALL BE USES-BY-RIGHT:
RESTAURANTS INCLUDING THOSE WITH DRIVE-THRU SERVICES
ALL USES ALLOWED IN THE C-4 ZONE DISTRICT SET FORTH IN ARTICLE 23, CHAPTER 11 OF THE NORTHGLENN MUNICIPAL CODE.

MINIMUM BUILDING SETBACKS:

EAST (N. WASHINGTON AVE.) - 40'
SOUTH (GARLAND DR.) - 20'
WEST - 10'
NORTH - 10'

PARKING SETBACKS:

EAST (N. WASHINGTON AVE.) - 40'
SOUTH (GARLAND DR.) - 20'
WEST - 0'
NORTH - 0'

PARKING

AT A MINIMUM, PARKING REQUIREMENTS SHALL BE PER SECTION 11-33-6 OF THE ZONING ORDINANCE.

DEVIATIONS FROM ZONING REGULATIONS:

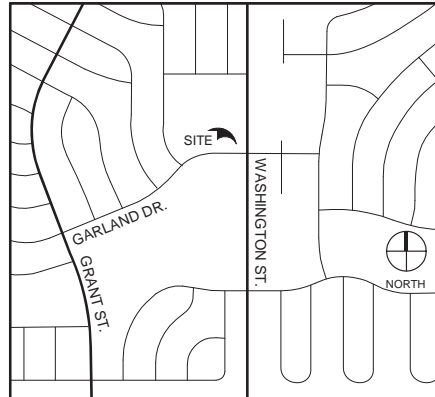
BUILDING AND DRIVE-THRU LANE SETBACKS - SOUTH (GARLAND DR.)

PROPOSED SCHEDULE FOR CONSTRUCTION:

CONSTRUCTION START - LATE SUMMER/FALL 2017
OPEN FOR BUSINESS - WINTER 2017-2018

THE CITY OF NORTHGLENN RESERVES THE RIGHT TO PERIODICALLY REVIEW THIS PUD FOR CONFORMANCE WITH ITS PROPOSED CONSTRUCTION SCHEDULE AND, WHEN APPROPRIATE, REZONE THIS PROPERTY TO A DIFFERENT ZONING CLASSIFICATION.

VICINITY MAP



SITE DATA

PROPOSED USES	COFFEE SHOP WITH DRIVE-THRU	
ZONING - EXISTING AND PROPOSED	C-4	PUD
	SQUARE FOOTAGE OR ACREAGE	PERCENTAGE OF TOTAL AREA
TOTAL AREA OF PROPERTY	15,625 SF	100%
TOTAL BUILDING COVERAGE	660 SF	4.2%
TOTAL LANDSCAPE COVERAGE	4,654 SF	29.8%
TOTAL LOT COVERAGE BY STRUCTURES & PAVING	10,311 SF	66.0%
	REQUIRED (PER 11-33-6(j))*	PROVIDED
NUMBER OF PARKING SPACES	2	5
NUMBER OF HANDICAP SPACES	1	1

* PARKING REQUIREMENT IS 1 SPACE / 3 SEATS, PLUS 1 SPACE / 2 EMPLOYEES ON LARGEST SHIFT. THIS STARBUCKS HAS NO SEATING AREAS BUT A WALK-UP WINDOW, WHICH COULD BE ESTIMATED TO HAVE 2 CUSTOMERS AT ONE TIME. IT IS ESTIMATED 4 EMPLOYEES DURING THE MAXIMUM SHIFT WOULD EQUAL 2 ADDITIONAL SPACES = EQUALS 4 PARKING SPACES TOTAL REQUIRED.

DEVELOPMENT CONTACTS:

CIVIL ENGINEER / LANDSCAPE ARCHITECT

STERLING DESIGN ASSOCIATES, LLC
2009 W. LITTLETON BLVD., #300
LITTLETON, CO 80120
PH: (303) 794-4727
CONTACT: CINDY PEDRIOLI
E-MAIL: cindy@sterlingdesignassociates.com

APPLICANT / DEVELOPER

WADSWORTH DEVELOPMENT GROUP
166 E. 14000 S., SUITE 210
DRAPER, UT 84020
PH: (801) 748-4088
CONTACT: BRAD WATSON
E-MAIL: brad@wadsdev.com

SURVEYOR

ENGINEERING SERVICE COMPANY
14190 E. EVANS AVENUE
AURORA, CO 80014
PH: (303) 337-1393
CONTACT: CHARLES BECKSTROM
E-MAIL: cbeckstrom@engineeringserviceco.com

LEGAL DESCRIPTION

THE EAST 125 FEET OF THE SOUTH 125 FEET OF LOT 15, BLOCK 37, NORTH GLENN-SECOND FILING, SITUATED IN THE SE $\frac{1}{4}$ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M. CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO.

SHEET INDEX

1 OF 10	COVER SHEET
2 OF 10	SITE PLAN
3 OF 10	GRADING & DRAINAGE PLAN
4 OF 10	UTILITY PLAN
5 OF 10	LANDSCAPE PLAN
6 OF 10	LANDSCAPE DETAILS
7 OF 10	ARCHITECTURAL ELEVATIONS
8 OF 10	ARCHITECTURAL ELEVATIONS
9 OF 10	ACCESSORY BUILDING ELEVATIONS
10 OF 10	TRASH ENCLOSURE ELEVATIONS

OWNER:

I, _____, ON BEHALF OF SBX HELENA LYNDAL AVE., LLC, HEREBY AFFIRM THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREIN, KNOWN AS STARBUCKS AT WASHINGTON AND GARLAND

OWNER _____ DATE _____

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2017,
BY _____

WITNESS MY HAND AND OFFICIAL SEAL,

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

ENGINEER'S CERTIFICATE:

I, RYAN J LOFTUS, A REGISTERED PROFESSIONAL ENGINEER, DO CERTIFY THAT THE GRADING, DRAINAGE, AND UTILITY PLANS FOR THE STARBUCKS AT WASHINGTON & GARLAND PUD WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ENGINEER _____ DATE _____

APPROVAL LIST:

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

DIRECTOR OF COMMUNITY DEVELOPMENT _____ DATE _____

DIRECTOR OF PUBLIC WORKS AND UTILITIES _____ DATE _____

MAYOR _____ DATE _____

CITY CLERK _____ DATE _____

CERTIFICATE OF CLERK AND RECORDER:

THIS PUD WAS FILED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER IN THE COUNTY OF ADAMS, STATE OF COLORADO, THIS _____ DAY OF _____, 2017, AND ENTERED INTO PLAT BOOK _____ AT PAGE _____, AND RECEPTION NO. _____

BY: _____
DEPUTY _____

CLERK AND RECORDER _____

MY COMMISSION EXPIRES _____

INSTRUMENT NO. _____

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS

NO. 1	DATE: 6/28/2017	BY: CP / RJL
DESCRIPTION: PUD RESUBMITTAL		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: 05/08/2017	SCALE: N/A
PROJECT MANAGER: CMP	PROJECT NO: -
DRAWN BY: CMP	DRAWING FILE: -

PROJECT:



STARBUCKS COFFEE COMPANY
10701 WASHINGTON ST
NORTHGLENN, CO 80233

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

1 OF 10

STARBUCKS AT WASHINGTON & GARLAND

A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
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STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS

NO.	DATE	DESCRIPTION	BY
1	6/28/2017	PUD RESUBMITTAL	CP / RJL
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

DATE:	05/08/2017	SCALE:	1"=20'
PROJECT MANAGER:	CMP	PROJECT NO.:	-
DRAWN BY:	CMP	DRAWING FILE:	-

PROJECT:



STARBUCKS COFFEE COMPANY
10701 WASHINGTON ST
NORTHGLENN, CO 80233

CLIENT:
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2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

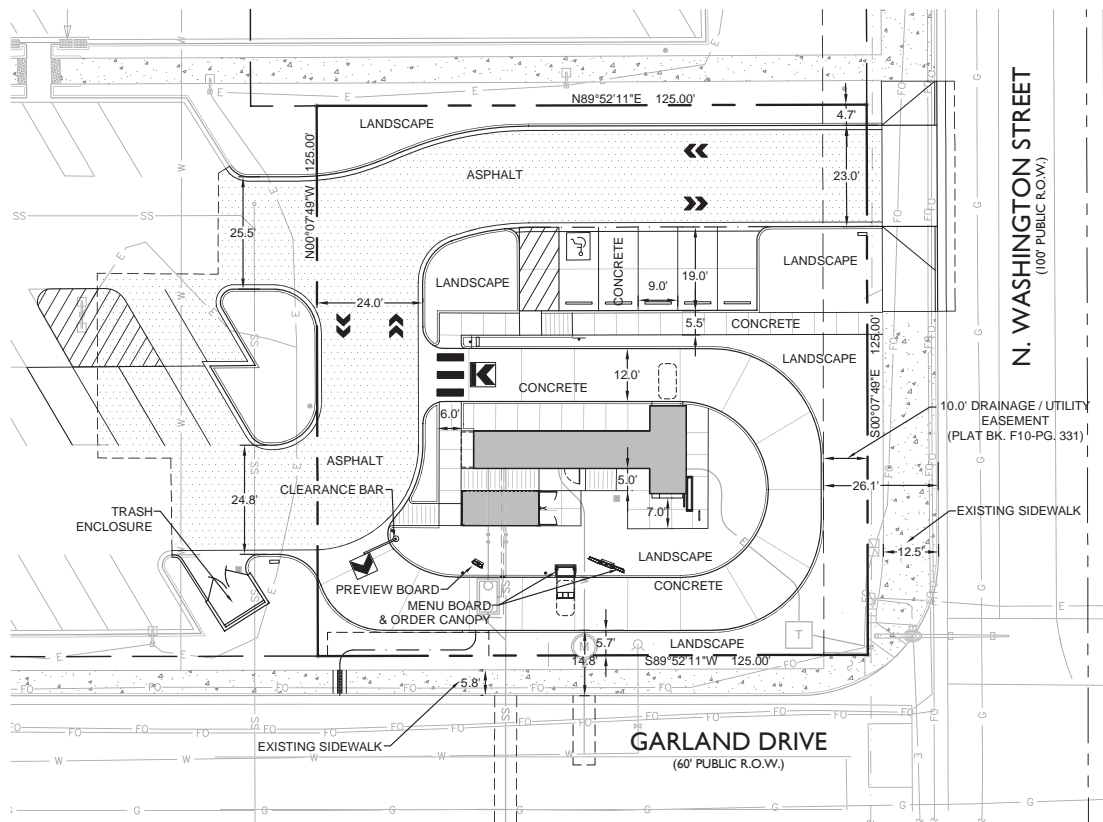
TEL: (206) 318-1575

SHEET TITLE:

SITE PLAN

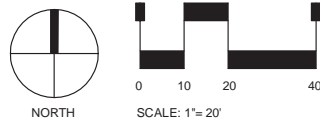
SHEET NUMBER:

2 OF 10



LEGEND

- R.O.W. / PROPERTY LINE
- ADJOINING PROPERTY
- EASEMENT LINE
- EXISTING SIDEWALK
- EXISTING CURB & GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- CONCRETE PAVEMENT
- EXISTING SIGN
- PROPOSED SIGNS
- DIRECTIONAL PAVEMENT ARROWS



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DRAWN BY:	RJL	DRAWING FILE:	-

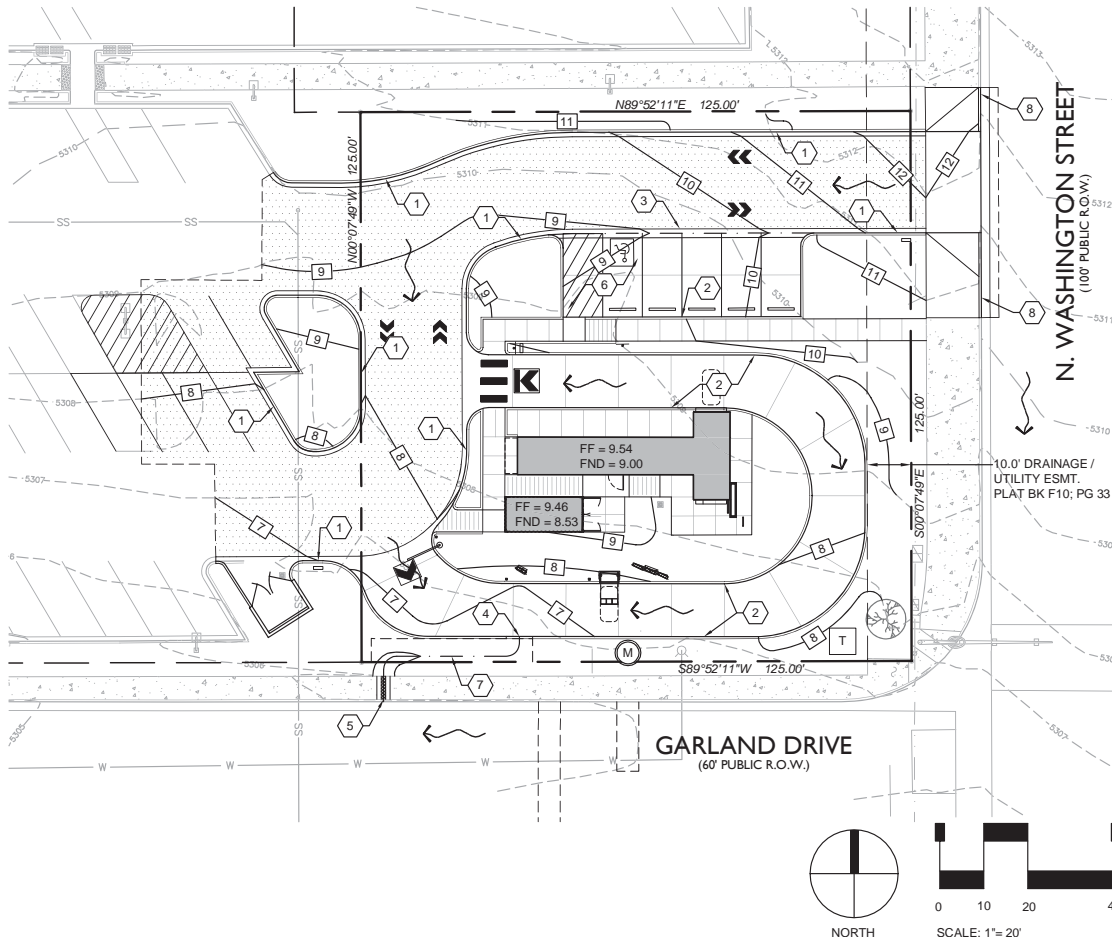
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TEL: (206) 318-1575

SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
3 OF 10



CONSTRUCTION NOTES

- 1 CONSTRUCT 6-INCH VERTICAL CONCRETE CURB AND GUTTER WITH 1-FOOT PAN.
- 2 CONSTRUCT 6-INCH VERTICAL CONCRETE CURB MONOLITHIC TO THE ADJOINING PAVING.
- 3 CONSTRUCT 2-FOOT CONCRETE PAN.
- 4 CONSTRUCT 1-FOOT CURB CUT WITH 2-FOOT TAPER EITHER SIDE.
- 5 CONSTRUCT SIDEWALK CHASE.
- 6 CONSTRUCT HANDICAP PARKING AREA - NO GRADES GREATER THAN 2.0% IN ANY DIRECTION.
- 7 CONSTRUCT ROCK SWALE.
- 8 CONSTRUCT PUBLIC CURB AND GUTTER WITH ATTACHED WALK.

LEGEND

	R.O.W. / PROPERTY LINE		EXIST. SIGN
	ADJOINING PROPERTY		PROP. SIGN
	EASEMENT LINE		EXIST. CONTOUR
	EXIST. SIDEWALK		PROP. CONTOUR
	EXIST. CURB & GUTTER		FLOW DIRECTION ARROW
	PROP. CURB AND GUTTER		SAWCUT LINE
	PROP. SIDEWALK		
	CONCRETE PAVEMENT		
	EXIST. SAN. MANHOLE		
	EXIST. WATER VALVE		

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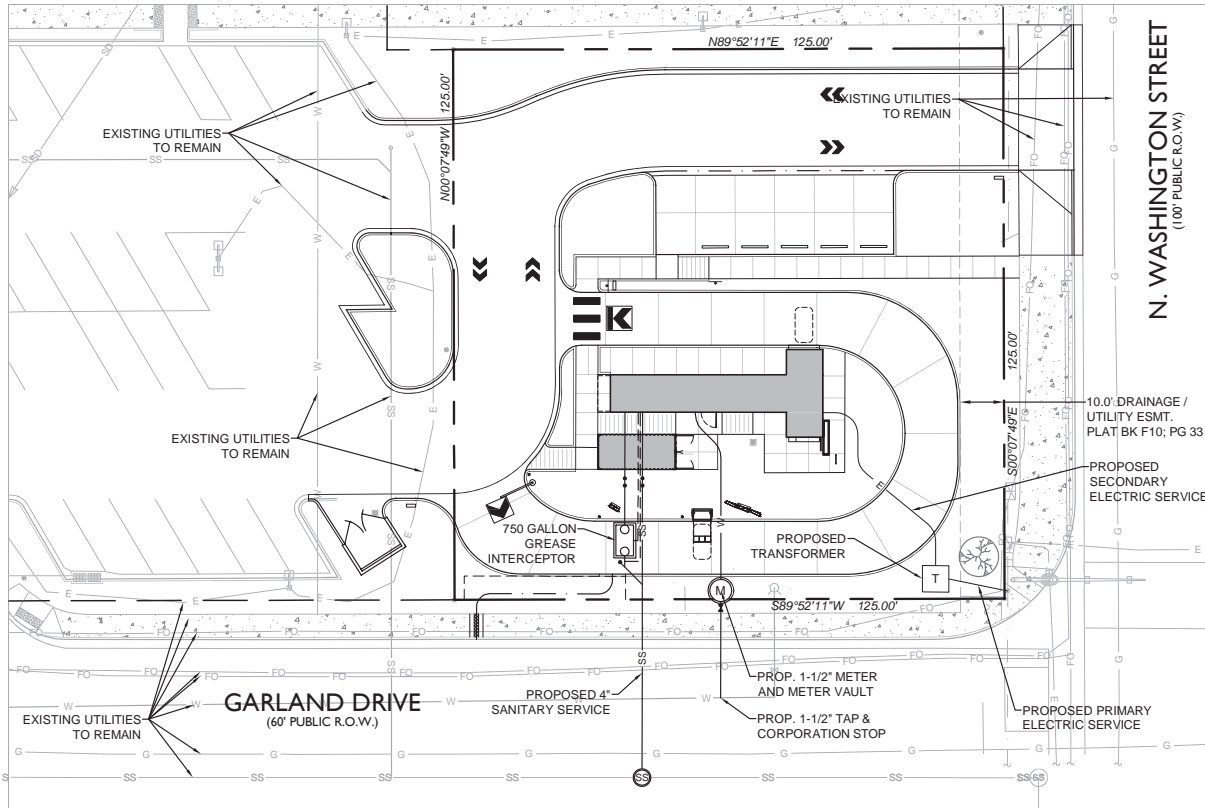
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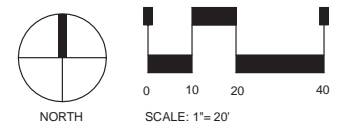
SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
4 OF 10



LEGEND

	R.O.W. / PROPERTY LINE		EXIST. WATER LINE
	ADJOINING PROPERTY		EXIST. GAS LINE
	EASEMENT LINE		EXIST. SAN. SEWER LINE
	EXIST. SIDEWALK		EXIST. ELECTRIC LINE
	EXIST. CURB & GUTTER		EXIST. TELECOMM. LINE
	PROP. CURB AND GUTTER		EXIST. FIBER OPTIC LINE
	EXIST. SIDEWALK		PROP. WATER SERVICE
	PROP. CURB & GUTTER		PROP. GAS SERVICE
	PROP. SIDEWALK		PROP. SAN. SEWER SERVICE
	CONCRETE PAVEMENT		PROP. ELECTRIC SERVICE
	EXIST. WATER VALVE		PROP. WATER METER
			PROP. TRANSFORMER



STARBUCKS AT WASHINGTON & GARLAND

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DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
05/08/2017	1"=20'
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CP	-
DRAWN BY:	DRAWING FILE:
CP	-

PROJECT:



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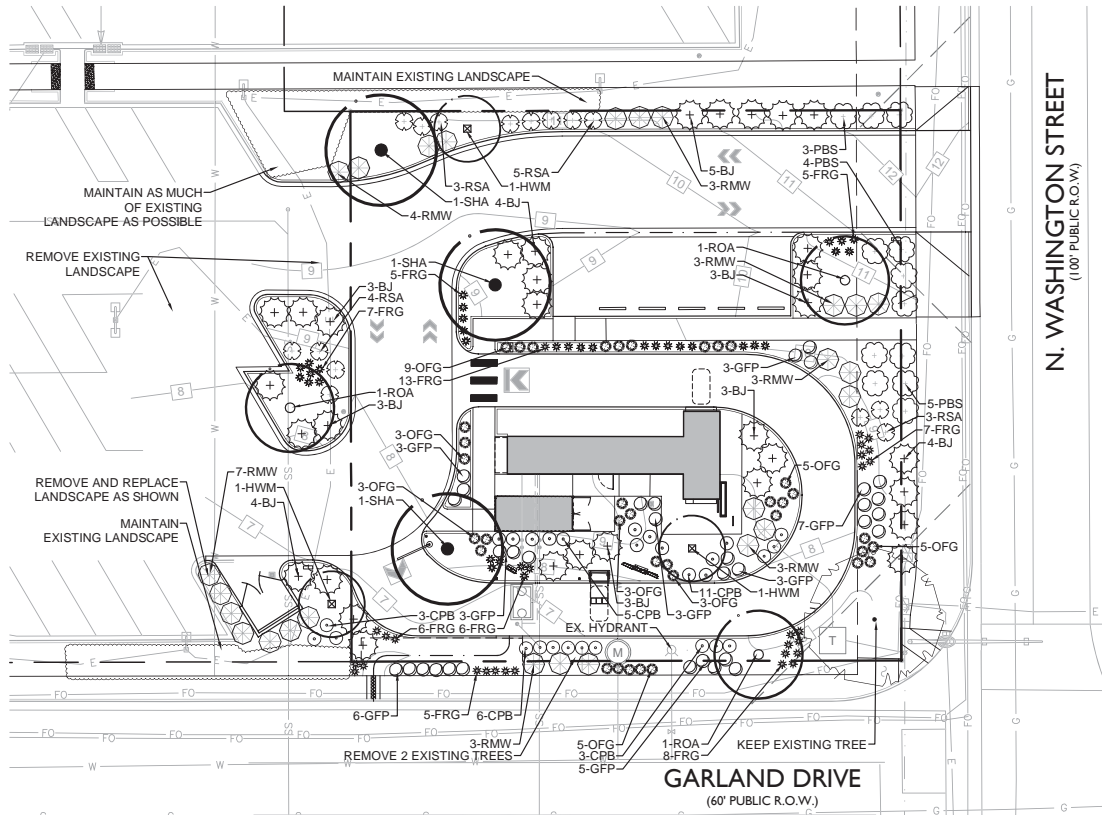
TEL: (206) 318-1575

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

5 OF 10

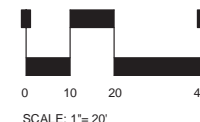


PLANT LIST

QTY	SYM.	COMMON NAME	SCIENTIFIC NAME	SIZE	QUALITY
DECIDUOUS CANOPY TREES					
3	SHA	SHADEMASTER HONEYLOCUST	GLEDTISIA TRIANCANTHOS INERMIS 'SHADEMASTER'	2" CAL	B&B, SPECIMEN QUALITY
3	ROA	NORTHERN RED OAK	QUERCUS RUBRA	2" CAL	B&B SPECIMEN QUALITY
DECIDUOUS ORNAMENTAL TREES					
3	HWM	HOT WINGS MAPLE	ACER TATARICUM 'GARANN'	1.5" CAL	MULTI-STEM
EVERGREEN SHRUBS					
32	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL	CONTAINER, 24" SPREAD
DECIDUOUS SHRUBS					
28	CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	5 GAL	CONTAINER
12	PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL	CONTAINER
15	RSA	RUSSIAN SAGE	PEROVSKIA ARTIPICIFOLIA	5 GAL	CONTAINER
33	GFP	GOLDFINGER POTENTILLA	POTENTILLA FRUTICOSA 'GOLDFINGER'	5 GAL	CONTAINER
22	RMW	MEIDLAND ROSE, ALBA	ROSA SP. 'MELCOUBLAN'	5 GAL	CONTAINER
ORNAMENTAL GRASSES					
62	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL	WELL ESTABLISHED
36	OFG	ORIENTAL FOUNTAIN GRASS	PENNISSETUM ORIENTALE	1 GAL	WELL ESTABLISHED

TREE REQUIREMENT DATA

STREET	REQUIRED	PROVIDED	EXISTING TREE DIAM.
	1 CANOPY / 40 LF, 1 ORNAMENTAL / 50 LF		
WASHINGTON ST	106.5'-24"-82.5 LF, 2 CANOPY, 2 ORN.	2 CANOPY (1 EXIST, 1 NEW)	15"
GARLAND DR	125'-0"-125 LF, 3 CANOPY, 3 ORN.	1 CANOPY (NEW), 1 ORN (NEW)	0"
ON-SITE	-	4 CANOPY (1 REPLACE - WAL-MART, 3 NEW), 2 ORN (NEW)	0"
TOTAL	5 CANOPY, 5 ORN. = 10 TOTAL	7 CANOPY, 3 ORN = 10 TOTAL	15"



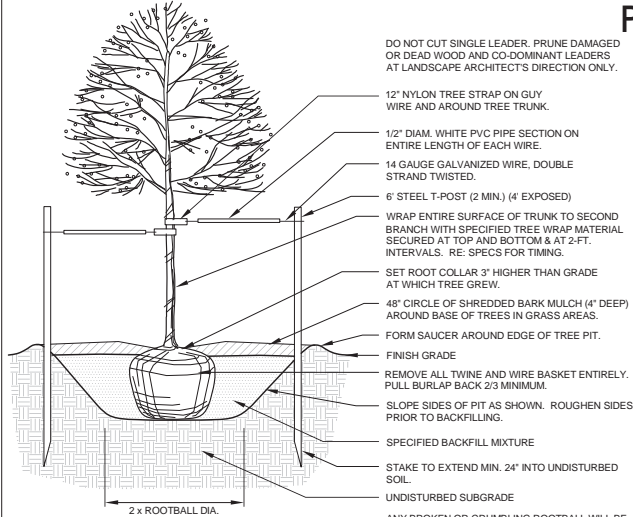
STARBUCKS AT WASHINGTON & GARLAND

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PRELIMINARY AND FINAL PUD



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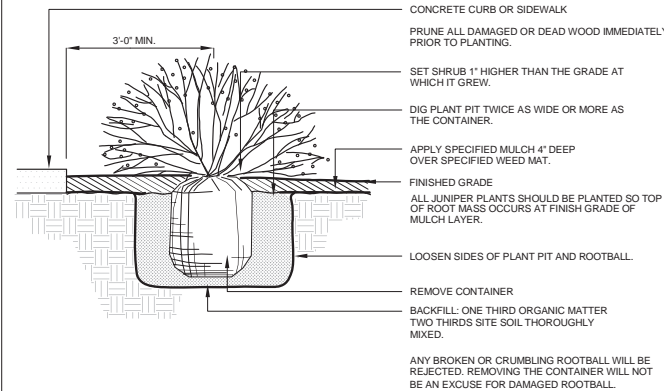
ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE WIRE WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.

REMOVE STAKING AFTER ONE YEAR.

SHADE TREE PLANTING

NOT TO SCALE

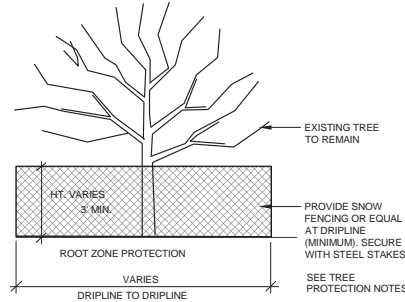
1



SHRUB PLANTING

NOT TO SCALE

2



EXISTING TREE PROTECTION

NOT TO SCALE

3

TREE PROTECTION NOTES

- CONTRACTORS SHALL COMPLY WITH THESE NOTES AND THE CITY OF NORTHGLENN STANDARDS FOR ALL EXISTING TREES TO REMAIN.
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE. CITY OF NORTHGLENN MAY STOP CONSTRUCTION IF TREE PRESERVATION MEASURES ARE NOT IN PLACE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- TREES CALLED OUT FOR PRESERVATION SHALL BE FENCED AT THE DRIPLINE. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES. PLACE 3 INCH BARK MULCH BENEATH DRIPLINES OF TREES TO BE PRESERVED.
- FENCING SHALL BE 3 FEET TALL SNOW FENCING WITH STEEL POSTS EMBEDDED IN THE GROUND.
- NO GRADING SHALL OCCUR WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- CONSTRUCTION VEHICLES OR MACHINERY MAY NOT PASS BETWEEN TWO OR MORE EXISTING TREES IDENTIFIED FOR PRESERVATION IF THEIR CANOPIES ARE WITHIN 10 FEET OF TOUCHING. ADDITIONAL FENCING MAY BE REQUIRED.
- THE CONTRACTOR IS REQUIRED TO HAVE AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) ON SITE IF SITE CONSTRUCTION EFFORTS REQUIRE REMOVAL OF EXISTING ROOTS OR BRANCH PRUNING.
- UNAUTHORIZED TREE REMOVAL OR DAMAGE IS SUBJECT TO REPLACEMENT EQUAL TO THE APPRAISED VALUE OF THE TREE LOST. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTATION OF ALL EXISTING TREES TO REMAIN, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. AN EARTH BERM MEASURING MINIMUM 6 FEET IN DIAMETER, AND 6 INCHES IN HEIGHT SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS A TEMPORARY WATERING BASIN DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE SPECIES REQUIREMENTS.

LANDSCAPE NOTES

- NO TREE OR SHRUB MORE THAN 30 INCHES HIGHER THAN THE TOP OF CURB SHALL BE PLANTED NEITHER IN ANY 50 FOOT VISION TRIANGLE AT ANY STREET INTERSECTION NOR IN ANY 25 FOOT VISION TRIANGLE AT THE INTERSECTION OF ANY DRIVEWAY AND PUBLIC STREET.
- NO TREE SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE.
- COORDINATION
THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE
A. FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE LA SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE LA SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
B. MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS
LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING
A. CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
B. CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION
OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
- SOIL PREPARATION
SOD AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. AMEND SOIL WITH FOUR CUBIC YARDS PER THOUSAND SQUARE FEET OF ORGANIC COMPOST. COMPOST TO HAVE A C:N RATIO BETWEEN 15:1 AND 30:1, LESS THAN 6 mg/kg of SALT CONTENT, A pH BETWEEN 6.5 AND 8.5, AND OVER 90% ORGANIC MATTER. APPLY 5 LBS. OF 20-10-5 GRANULAR FERTILIZER PER THOUSAND SQ. FEET. ROTOTILL AMENDMENTS AND TOPSOIL TO A DEPTH OF SIX INCHES. VERIFY SOIL PREP SPECIFICATIONS WITH WATER PROVIDER STANDARDS. PROVIDE EVIDENCE OF APPLICATION AS REQUIRED.
- SOODING
SOD SHALL BE "RTF" FESCUE BY GREEN VALLEY TURF (GVT) (303-798-6764). SOIL PREP., INSTALL AND WATER ACCORDING TO GVT GUIDELINES.
- PLANTING
TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- MULCH
INSTALL 1" DIAMETER ROCK MULCH TO MATCH WAL-MART ROCK MULCH AS MUCH AS POSSIBLE. A MINIMUM OF 3-4" DEEP UNLESS OTHERWISE SHOWN. LARGER 3'-5" DIAMETER ROCK OF A SIMILAR COLOR TO BE INSTALLED IN THE DRAINAGE SWALE ON THE SOUTHWEST CORNER OF THE SITE. BOTH ROCK MULCHES TO BE PLACED OVER DEWITT PRO 5 FILTER FABRIC 3'-4" DEEP.
- MAINTENANCE
THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
- IRRIGATION
ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM TO INCLUDE IRRIGATION TO ALL PROPOSED PLANT MATERIAL. ALL SHRUB BEDS SHALL BE IRRIGATED USING A DRIP IRRIGATION SYSTEM. THE WAL-MART IRRIGATION SYSTEM WILL NEED TO BE MAINTAINED IN WORKING ORDER DURING SITE DEMOLITION, CONSTRUCTION AND AFTER LANDSCAPE INSTALLATION. THE LANDSCAPE SHOWN ON THE WAL-MART SITE SHALL BE IRRIGATED BY THE EXISTING SYSTEM. RETROFITTING THAT SYSTEM WILL BE NECESSARY. THE STARBUCKS SITE WILL HAVE A SEPARATE IRRIGATION SYSTEM.

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS

NO.	DATE	BY:	CP / R/L
NO. 1	DATE: 6/28/2017	BY:	CP / R/L
DESCRIPTION: PUD RESUBMITTAL			
NO. 2	DATE: -	BY: -	
DESCRIPTION: -			
NO. 3	DATE: -	BY: -	
DESCRIPTION: -			
NO. 4	DATE: -	BY: -	
DESCRIPTION: -			
NO. 5	DATE: -	BY: -	
DESCRIPTION: -			
NO. 6	DATE: -	BY: -	
DESCRIPTION: -			

DATE:	SCALE:
05/08/2017	N/A
PROJECT MANAGER:	PROJECT NO.:
CMP	-
DRAWN BY:	DRAWING FILE:
CMP	-

PROJECT:



STARBUCKS COFFEE COMPANY
10701 WASHINGTON ST
NORTHGLENN, CO 80233

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:
LANDSCAPE DETAILS

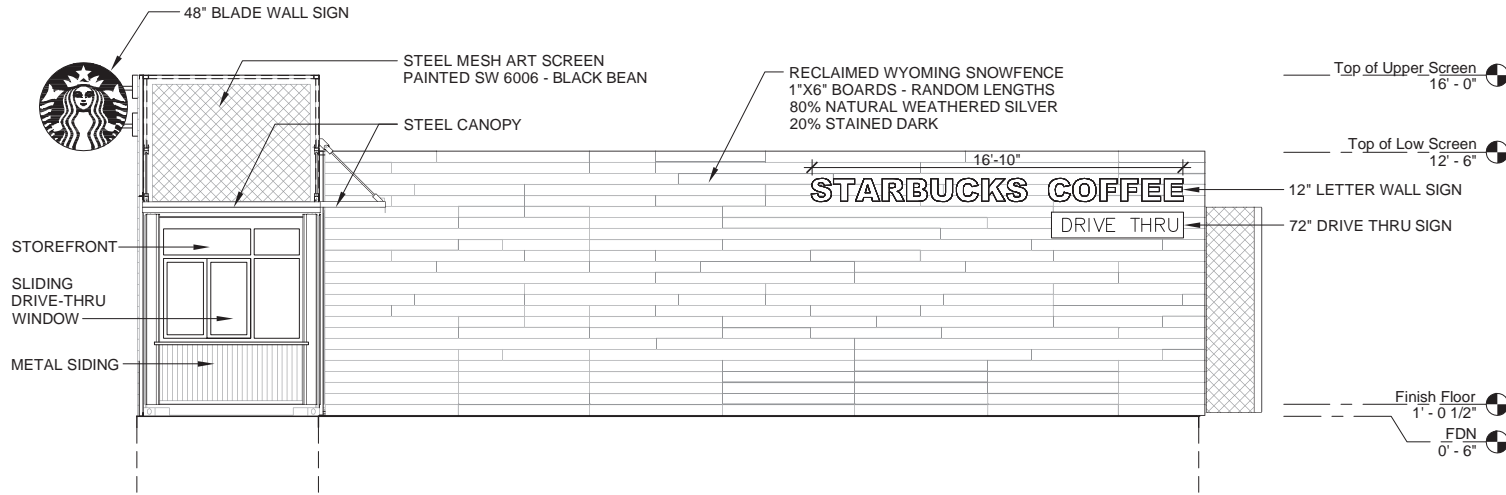
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6 OF 10

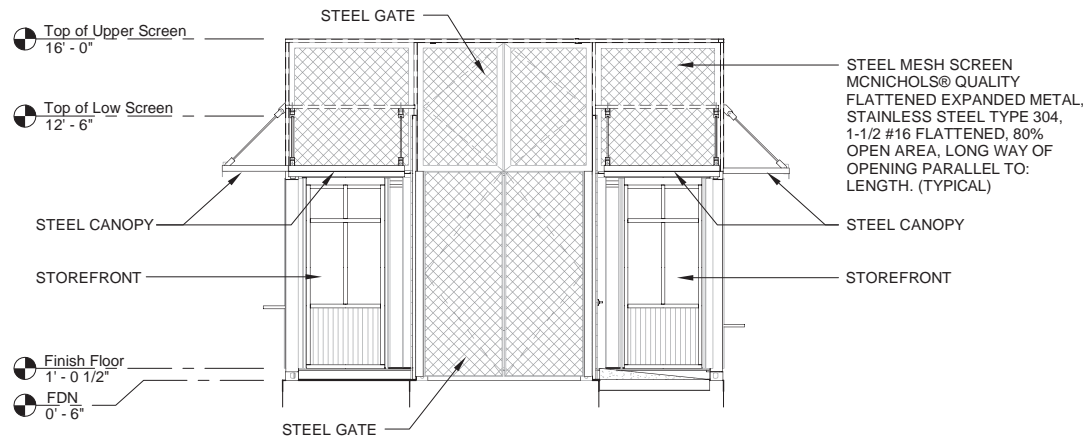
STARBUCKS AT WASHINGTON & GARLAND

A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
SITUATED IN THE SE 1/4 OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



1 North Elevation
Scale: 1/4" = 1'-0"



2 East Elevation
Scale: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

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DESCRIPTION: -		

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PROJECT:

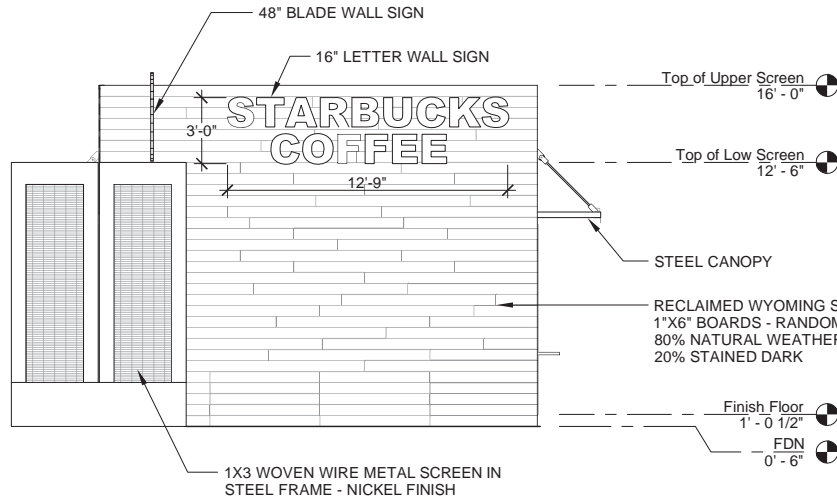
STARBUCKS COFFEE COMPANY
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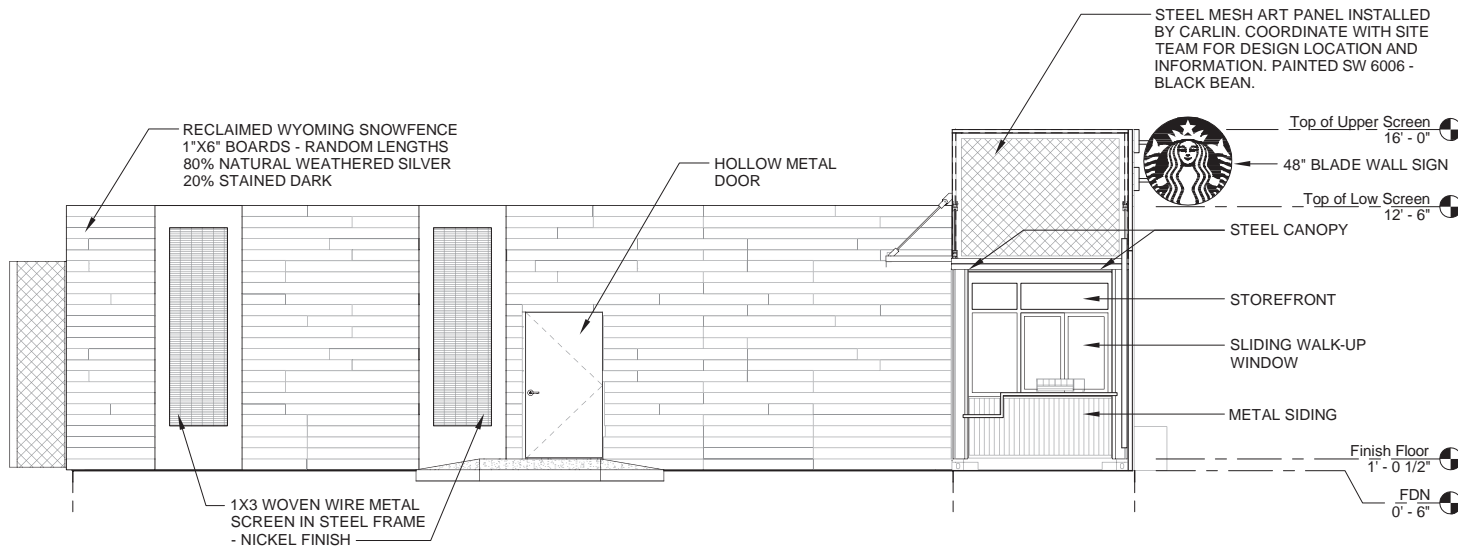
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BUILDING ELEVATIONS

SHEET NUMBER:
7 OF 10

STARBUCKS AT WASHINGTON & GARLAND
 A PART OF LOT 15, BLOCK 37, NORTH GLENN 2ND FILING,
 SITUATED IN THE SE ¼ OF SECTION 10, T.2S., R.68W., OF THE 6TH P.M.
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD



1 West Elevation
 Scale: 1/4" = 1'-0"



2 South Elevation
 Scale: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

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NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
05/08/2017	-
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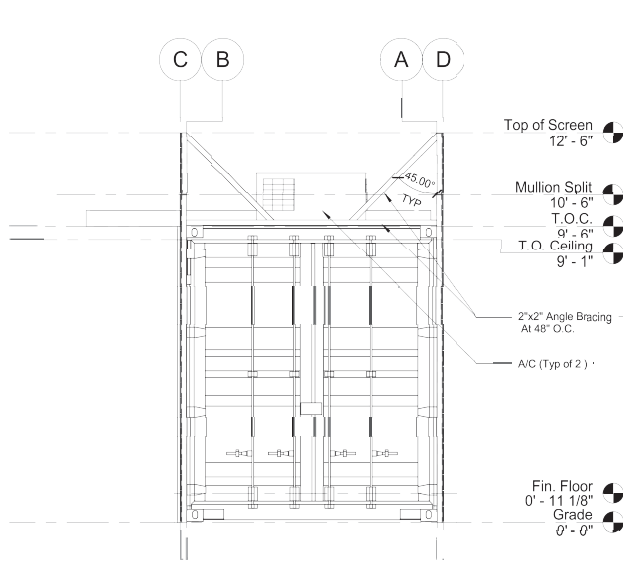
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SHEET NUMBER:
8 OF 10

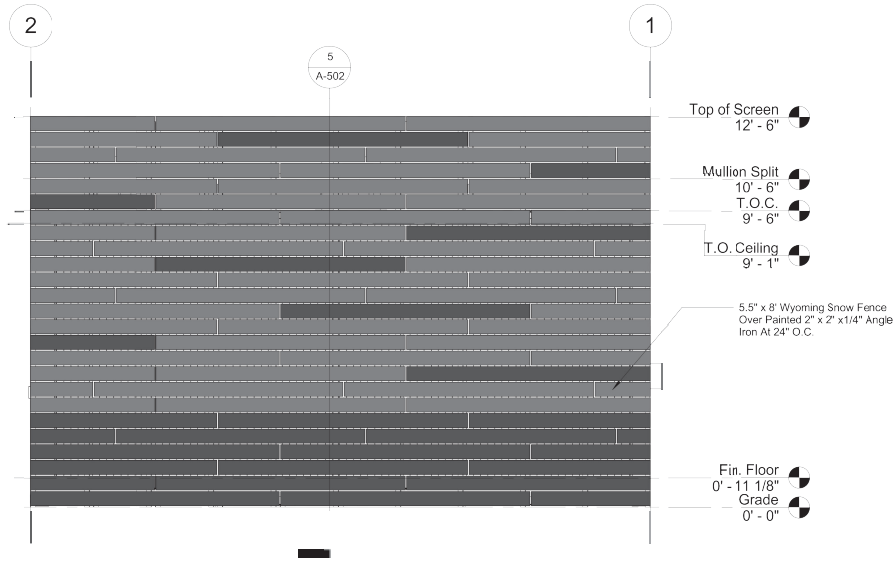
STARBUCKS AT WASHINGTON & GARLAND

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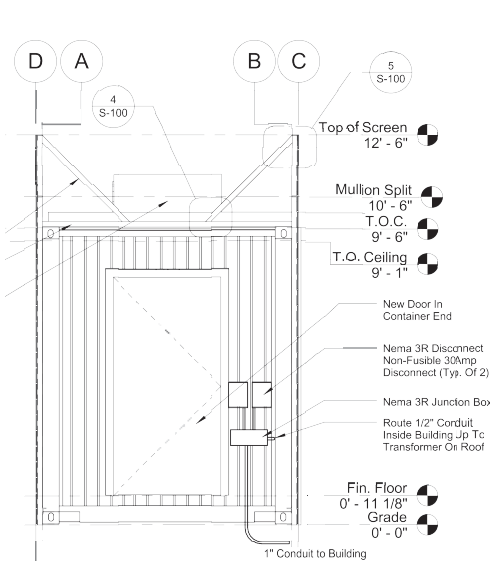
PRELIMINARY AND FINAL PUD



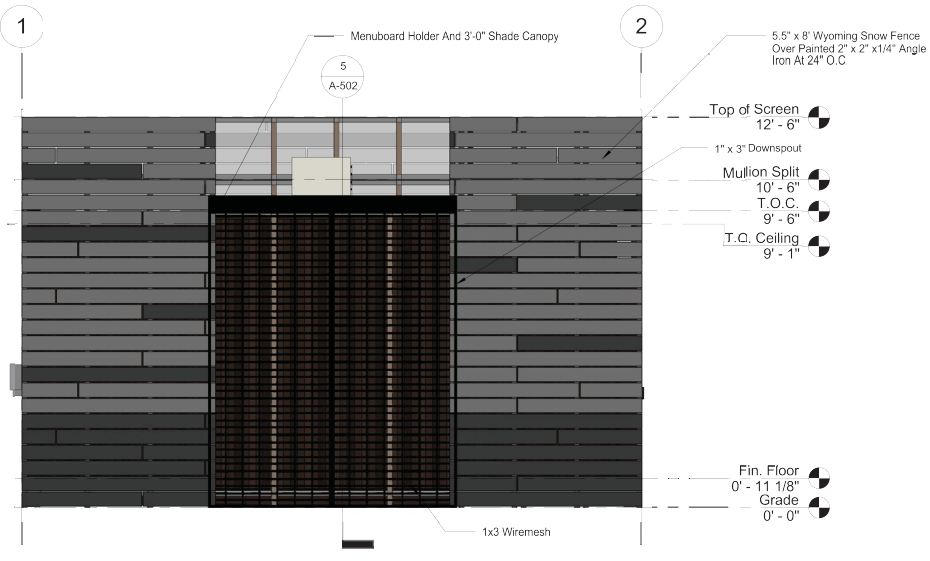
1 West Elevation
Scale: 3/8" = 1'-0"



3 South Elevation
Scale: 3/8" = 1'-0"



2 East Elevation
Scale: 3/8" = 1'-0"



4 North Elevation
Scale: 3/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

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DESCRIPTION: -		
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DESCRIPTION: -		

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PROJECT:



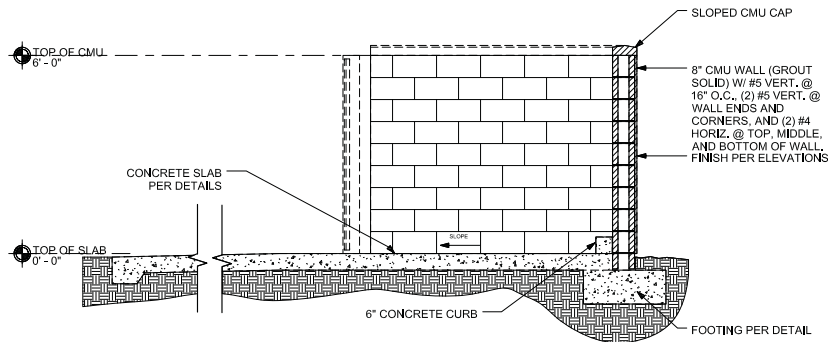
STARBUCKS COFFEE COMPANY
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NORTHGLENN, CO 80233

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
TEL: (206) 318-1575

SHEET TITLE:
ACCESSORY BUILDING ELEVATIONS

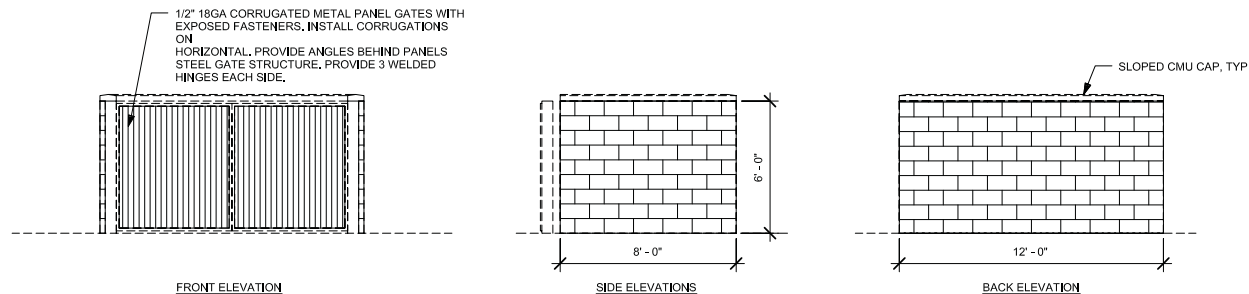
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STARBUCKS AT WASHINGTON & GARLAND
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 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD



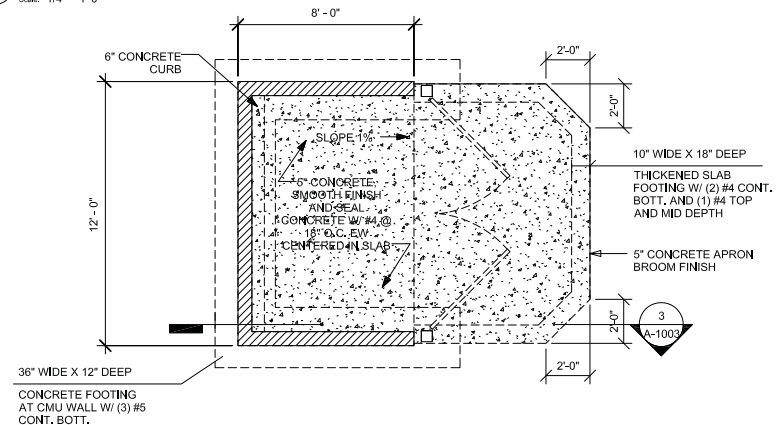
3 SECTION @ TRASH ENCLOSURE

Scale: 3/8" = 1'-0"



2 TRASH ENCLOSURE ELEVATIONS

Scale: 1/4" = 1'-0"



1 TRASH ENCLOSURE PLAN

Scale: 1/4" = 1'-0"

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NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
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NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
05/08/2017	N/A
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SHEET TITLE:
TRASH ENCLOSURE DETAILS

SHEET NUMBER: