




PLANNING AND DEVELOPMENT DEPARTMENT

MEMORANDUM 17-39

DATE: June 26, 2017
TO: Honorable Mayor Joyce Downing and City Council Members
FROM: James A. Hayes, AICP, City Manager 
Brook Svoboda, Director of Planning and Development 
Eric Ensey, AICP, Senior Planner 
SUBJECT: CB-1890 –Rezoning for Certain Real Properties at 550 W. 104th Avenue

PURPOSE

To rezone the property located at the southwest corner of W. 104th Avenue and Melody Drive (550 W. 104th Avenue) from C-4 Commercial to Planned Unit Development (PUD) for the construction of a new national coffee retailer with a drive-thru.

BACKGROUND

Attached to this memo is a proposed ordinance, which if approved, would rezone the existing property located at 550 W. 104th Avenue to PUD. Staff presented the Preliminary and Final PUD application to the Planning Commission at a Public Hearing held June 20, 2017. A copy of the proposed Planning Commission Recommendation Resolution and Staff Report with PUD Plan Set are included as **Attachments 1 & 2**.

This memo is being prepared prior to the Commission hearing and voting on the proposal. Staff will update the Council as to the outcome of the Planning Commission vote. The Planning Commission basis for the decision for a PUD proposal on the following criteria:

- The proposed development is compatible with the surrounding area;
- The proposed development is not inconsistent with the City's Master Plan;
- The proposed development does not adversely affect the health, safety, and welfare of the inhabitants of the area and the City of Northglenn;
- Adequate circulation exists and traffic movement will not be impeded by the proposed development; and
- Additional municipal service costs will not be incurred.

Staff is recommending that the Planning Commission Resolution 2017-14, also include the following conditions for final adoption by the Council:

1. A note should be included on the site plan requiring the fence along the west property line to be maintained in accordance with the buffering requirements of Section 106-6-13(g) to provide the required buffer between the proposed development and the existing single-family house to the west.
2. Prior to issuance of a building permit for construction of the facility, the applicant shall enter into the required Stormwater Facilities Maintenance Agreement.

3. All necessary permits will be obtained prior to construction.

BUDGET IMPLICATIONS

This ordinance amendment request has no budgetary impacts.

SCHEDULE/TIME IMPLICATIONS

Second reading of the ordinance and public hearing is scheduled for City Council on July 10, 2017.

CITY COUNCIL OPTIONS

The City Council makes the final decision regarding Preliminary PUD. The City Council options are as follows:

1. Approve the request, with or without conditions or stipulations;
2. Deny the request for reasons stated; or
3. Table the request for further consideration.

STAFF RECOMMENDATION

Staff recommends approval of CB-1890 on first reading.

STAFF REFERENCE

Brook Svoboda, Director of Planning and Development	bsvoboda@northglenn.org	303.450.8937
Eric Ensey, AICP, Senior Planner	eensey@northglenn.org	303.450.8740

ATTACHMENTS

- Attachment 1 Planning Commission Resolution 2017-14
- Attachment 2 Staff Report
- Attachment 3 Staff Presentation

**RESOLUTION 2017-01
NORTHGLENN PLANNING COMMISSION**

**A RESOLUTION PROVIDING A FAVORABLE
RECOMMENDATION TO THE CITY COUNCIL FOR APPROVAL
OF THE STARBUCKS AT 104TH AND MELODY PRELIMINARY
PLANNED UNIT DEVELOPMENT (PUD) AND APPROVAL OF
ANY FINAL PLANNED UNIT DEVELOPMENT ELEMENTS
CONTAINED THEREIN**

WHEREAS, Northglenn Ordinance 11-37-2 requires that the Northglenn Planning Commission review and make recommendation to Council any application for rezoning; and

WHEREAS, the Northglenn Planning Commission therefore desires to make its recommendations to the City Council as required by law; and

WHEREAS, the Planning Commission has found that the application satisfies the applicable criteria for rezoning and PUD criteria under 11-37-2 & 11-16-2 for purposes of approving the Final Planned Unit Development respectively.

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. The City of Northglenn Planning Commission hereby provides a favorable recommendation to the City Council for approval of the STARBUCKS AT 104TH AND MELODY Preliminary and Final PUD in accordance with the proposed Ordinance for adoption.

Section 2. The City of Northglenn Planning Commission hereby recommends that in addition to the conditions spelled out in the proposed adopting ordinance, they shall be reflected, if necessary, on the Final PUD to be recorded with the Adams County Clerk and Recorder, as required by law.

1. A note should be included on the site plan requiring the fence along the west property line to be maintained in accordance with the buffering requirements of Section 106-6-13(g) to provide the required buffer between the proposed development and the existing single family house to the west.
2. Prior to issuance of a building permit for construction of the facility, the applicant shall enter into the required Stormwater Facilities Maintenance Agreement.
3. All necessary City of Northglenn permits will be obtained prior to construction.

DATED this _____ day of _____, 2017

Sonia Di Carlo
Planning Commission Chair

ATTEST:

Rebecca Smith, AICP
Secretary



Planning & Development
11701 Community Center Drive
Northglenn, CO 80233
P: 303-450-8739
F: 303-450-8708
northglenn.org

PLANNING AND DEVELOPMENT DEPARTMENT
MEMORANDUM

DATE: June 20, 2017
TO: Planning Commission
FROM: Eric Ensey, Senior Planner
THROUGH: Becky Smith, Planning Manager
Brook Svoboda, Director of Planning and Development
SUBJECT: Staff Report and Analysis – Drive-Thru Coffee Store at 550 W. 104th Avenue
Rezone to a Planned Unit Development and Minor Subdivision Plat

REQUEST

The applicant, SBX Helena Lyndale Ave. LLC, is seeking approval of a Rezone to a Planned Unit Development (PUD) and Minor Subdivision Plat to develop a new 2,400 square foot drive-thru facility for a national coffee user.

RECOMMENDATION

Staff Recommendation:

Staff recommends the Planning Commission render a final decision to approve a Minor Subdivision Plat and recommend to the City Council for approval of a rezone to PUD based on the recommended findings of fact outlined in the resolutions attached. The approval shall be subject to the following conditions of approval:

1. A note should be included on the site plan requiring the fence along the west property line to be maintained in accordance with the buffering requirements of Section 106-6-13(g) to provide the required buffer between the proposed development and the existing single family house to the west.
2. All other necessary permits will be obtained prior to construction.
3. The applicant will be required to enter into a Stormwater Facilities Maintenance Agreement prior to issuance of a Certificate of Occupancy.

Recommended Motions:

A motion will be required for each individual application as part of this development package. The following is a recommended motion for each.

Minor Subdivision Plat:

“I move to approve Resolution 2017-13 for case number SUB-3-17, a request by the City of Northglenn for approval of a Minor Subdivision Plat for the 104th and Melody Subdivision Filing No. 1.”

Rezoning to PUD:

“I move to approve Resolution 2017-14, recommending approval to the City Council of a rezone to PUD requested by SBX Helena Lyndale LLC for approval of case number Z-3-17, for a Preliminary and Final Planned Unit Development for construction of a drive-thru facility for a national coffee user located at 550 W. 104th Avenue, subject to the conditions outlined therein.”

DISCUSSION

Background:

Site Data.

Address	550 W. 104 th Avenue
General Location	Southwest corner of W. 104 th Avenue and Melody Drive; property is accessed from both 104 th Avenue and Melody Drive
Zoning	C-4 (Conditional)
Acreage	.70 acres
Building Square Footage (Existing/Proposed)	Existing building is to be demolished; new building will be 2,400 square feet

Characteristics of the Site.

- The subject site is currently a vacant building (formerly Bellco Credit Union).
- The site is surrounded by 3 different rights-of-way (104th Avenue, Melody Drive, and Monterey Circle).
- There are 2 existing access points to the site (104th Avenue and Melody Drive)
- There are existing improvements, including access entrance on 104th and drive-thru as well as fencing that exist and encroach into the city’s right-of-way.

Comprehensive Plan Compliance.

- The City of Northglenn’s Comprehensive Plan identifies the site as “neighborhood commercial” use.
- The proposed redevelopment of this site supports various policy goals of the city identified in Section 6 of the Comprehensive Plan discussing economic development.

Zoning and Surrounding Land Uses.

The following table summarizes the zoning and land uses for the properties surrounding this site (see Exhibit B for a Zoning Map of the vicinity):

	Zoning	Land Use
North	PUD (north of 104 th Avenue)	Existing McDonald’s and Taco Bell drive-thru restaurants
South	R-1-B (south of Monterey Circle)	Existing single family detached residential

East	C-0	Existing office
West	R-1-B	Existing single family detached residential

Notification Requirements:

Notification for this application was conducted in accordance with the requirements of Section 11-6.5-4(b). Notice of the public hearing was published in the Northglenn Sentinel at least 15 days prior to the public hearing. Additionally, mailed notice was sent out to 35 surrounding properties and a sign was posted on the property at least 10 days prior to the public hearing.

Analysis:

The following section includes a discussion and analysis of various topics related to the development application package being presented to the Commission.

Land Use/Site Plan.

The existing site is zoned C-4, which would allow the proposed use of the site as a drive-thru coffee shop. However, the applicant is proposing the rezoning to a PUD to allow for some flexibility with setbacks for the drive-thru facility and other improvements that currently exist on site. On March 27, 2017, the City Council approved a License Agreement with the applicant to allow for the existing encroachments in the right-of-way to remain (see the attached Exhibit D). These improvements include: existing driveway entrance on 104th, site landscaping, a portion of the drive-thru drive aisle, and an existing fence adjacent to Monterey Circle. Approval of the proposed zone change to PUD request as submitted would allow the improvements as depicted in the attached PUD.

Section 11-19-4 stipulates setback requirements for commercial development. In this case the following setbacks apply:

Property Line:	Setback Requirement:
North (Front)	25' from the curb
East (Side)	25' from the curb (<i>front setback is applicable because adjacent to a public street</i>)
South (Rear)	25' from the curb (<i>front setback is applicable because adjacent to a public street</i>)
West (Side)	5'

The proposed building is only 10.7 feet from the property line. However, the code stipulates that the setback is measured from the curb of the adjacent right-of-way. Therefore, the location of the building complies with the setback requirements.

The code further stipulates the only improvements that may encroach into a required front setback is landscaping, sidewalks, trails and driveways. In this case, the site has 3 frontages as it is adjacent to 3 different public rights-of-way. Therefore each streetfront requires a 25-foot front setback allowing no improvements, with that setback being measured from the edge of curb and may not encroach into the right-of-way. As proposed, the drive-thru encroaches into the front setback along 104th Avenue because it encroaches into the right-of-way and the parking lot encroach into the required front setback along Monterey Circle because it is only 14.4 feet from the edge of curb. Staff is supportive of this deviation to the code as the existing

drive-through and parking area already encroach into the setbacks and the proposal will not increase that encroachment. Additionally there is sufficient existing and proposed landscaping to mitigate the encroachments.

Traffic.

The city's Public Works Department has reviewed and approved the Traffic Impact Analysis for the site. The existing driveway access points will be maintained on both 104th and Melody. No additional access points have been requested by the applicant.

Parking and Circulation.

The proposed development of the site includes a total of 31 parking spaces. The city's minimum off-street parking requirements contained in Section 11-33-6(l) stipulates the required off-street parking ratio for food/beverage service businesses: 1 parking stall for each 3 seats, plus 1 parking space for each 2 employees. In this case, the applicant has indicated a total of 59 seats (35 indoor and 24 outside) and 6 employees. The application is in excess of the city's requirements.

Additionally, the applicant has included the required ADA assessable route to the building via a connection with the sidewalk along Melody. Staff encouraged the applicant to attempt to tie into the trail/sidewalk along 104th, however the applicant indicated that is not possible due to existing utilities, required ADA slopes, required ADA landings, as well as design concerns. As proposed the accessible route complies with ADA requirements, but in general it would have been staff's preference to connect the accessible route directly to the trail/sidewalk on 104th.

Drainage.

The city's Public Works Department has reviewed and approved the Drainage Report for the site. Because the site is less than an acre in area, no detention is required. However, the development of the site includes the required water quality through a grass swale system.

Utilities.

The proposed development will tap into the existing city main water and sanitary sewer lines located in the Melody Drive right-of-way. Through the building permitting process, any necessary permits required by Xcel Energy for electricity and gas, as well as any cable and/or phone connections will need to be coordinated through each respective entity's permitting process.

Landscaping.

The city's landscape requirements are found in Section 11-6-13 of the Zoning Ordinance. The proposal includes 33.1% of the site as landscaped, which exceeds the city requirement of 12%.

The code also requires a minimum of 1 shade tree for every 40 feet of linear street frontage and 1 ornamental tree for every 50 feet of frontage. In this case, the site would be required a total of 14 shade trees and 11 ornamentals. Because this project is a redevelopment of the site, the applicant is proposing to maintain much of the existing vegetation that already exists, and supplement with a few additional plantings. Their proposal includes removal of only 2 trees. The site includes 7 shade trees and 25 evergreen trees. Due to the existing canopy coverage of the site as well as the fact that there are already a total of 32 trees on the site, which is in excess of the combined total number of trees provided.

Section 11-6-13(g) requires that a landscape buffer or opaque fence be provided to mitigate impacts of commercial development and adjacent residential. There is an existing 6-foot high

solid wood fence between the adjacent single family residential house to the west and the subject site. That fence along with the existing mature vegetation provide the required screening. Staff is requesting a condition be added requiring the existing fence to be adequately maintained so as to provide the necessary screening from the property to the west.

The applicant is proposing landscaping within the 104th right-of-way to the north of the drive-thru aisle. This landscaping was approved as part of the City Council's approval of a License Agreement on March 27, 2017. The landscaping proposed will help buffer the drive-thru lane and the adjacent 104th right-of-way.

Architectural and Elevations.

The architecture of the proposed facility include a mix of glass, decorative CMU, EIFS, and Hardie Siding, metal accents. The building's architecture is designed in a manner to visually break up the façade with materials as well as providing vertical and horizontal relief.

Signage.

Review of signage is not part of the PUD review. A separate permit is required to be submitted for all signage in accordance with Chapter 21 of the Municipal Code (Sign Code).

North Metro Fire Rescue Review.

Staff has referred this application to North Metro Fire Rescue District for their review. North Metro has reviewed the submitted plans and approved the plans. However, the applicant is still required to obtain additional approval from NMFRD for the construction drawings. This review is required prior to issuance of a building permit.

Minor Subdivision Plat.

The subject site is currently platted as three separate lots. The redevelopment of this site also includes a minor subdivision plat request to combine those three lots into one single lot (see Exhibit E). Staff reviewed the proposed one-lot subdivision in accordance with the requirements outlined in Section 12-6-3 of the Subdivision Ordinance and finds that the proposed subdivision complies with all applicable requirements. The plat includes one .70 acre lot, which includes all easements necessary for the development.

APPROVAL CRITERIA

Applicable Approval Code Provisions:

The following sections of the code should be considered with review of the various components of this application.

- Section 12-6-3 (Minor Subdivision)
- Article 16 of the Zoning Ordinance (Planned Unit Development, PUD)

Criteria Analysis:

Minor Subdivision Plat.

Chapter 12 of the Municipal Code outlines requirements for subdivision plats within the city. Specific requirements for a Minor Subdivision Plat are found in Section 12-6-3. There are no specific review criteria for a plat, however the plat is required to include specific information. Staff has reviewed the proposed Minor Subdivision Plat and has determined that it includes all the necessary information for approval.

Rezone to a PUD.

Section 11-16-6 of the Zoning Ordinance refers to the approval criteria listed in Section 11-37-2(h). The Planning Commission shall review the proposal and give consideration to each of the criteria if considering approval of the rezone to PUD. The following table is an analysis of each criteria along with staff’s finding on each criteria:

Criteria:	Staff Analysis:
(1) That a need exists for the development.	The proposed drive-thru coffee shop will be an addition to the economic base of the city, thereby creating jobs and revenue.
(2) That this particular parcel of ground is indeed the correct site for the proposed development.	The site currently houses a vacant building. The proposal will redevelop and invigorate the site again. Further the location of the site has been designated in the city’s future land use plan element of the Comprehensive Plan as a “neighborhood commercial” use. The proposed use of the site as a coffee shop would be in-line with that goal. The existing vegetation and fencing also mitigates any potential negative impacts from the proposed development on the adjacent residential to the west.
(3) That there has been an error in the original zoning.	Not applicable.
(4) That there have been significant changes in the area to warrant a zone change.	There are moderate vacancies in the immediate area, including this site that has been vacant for a number of years. This proposed zone change would contribute to redevelopment of this site. The proposed use of the site would be consistent with the current C-4 zoning, however rezoning to a PUD allows for some flexibility in setbacks for the drive-thru aisles and other setback encroachments.
(5) That adequate circulation exists and traffic movement would not be impeded by development.	The vehicular and pedestrian circulation of the site is sufficient to accommodate the proposed use. The city’s Public Works Department has reviewed and approved the Traffic Impact Analysis and determined that the proposed use will not have a significant impact on the traffic flow pattern in the vicinity.
(6) That additional municipal service costs will not be incurred which the City is not prepared to meet.	The proposed development does not increase municipal service costs.

ADMINISTRATION

Possible Actions by the Planning Commission.

The Planning Commission is making a final decision regarding the FDP, PUP and Minor Subdivision Plat. The Commission’s options are as follows:

1. Approve the request, with or without conditions or stipulations;
2. Deny the request for reasons states; or
3. Table the request for further consideration.

Next Steps.

The Planning Commission is the final approval authority for the Minor Subdivision Plat. Should the Commission approve the application package, staff will work with the applicant to execute the final approved documents and obtain any necessary approval signatures. The rezoning to PUD request requires approval by the City Council. The ordinance for rezoning is scheduled for review the City Council on first reading on June 26, 2017 and second reading on July 10, 2017. Additionally, all necessary building permits and NMFRD approvals must be obtained prior to construction

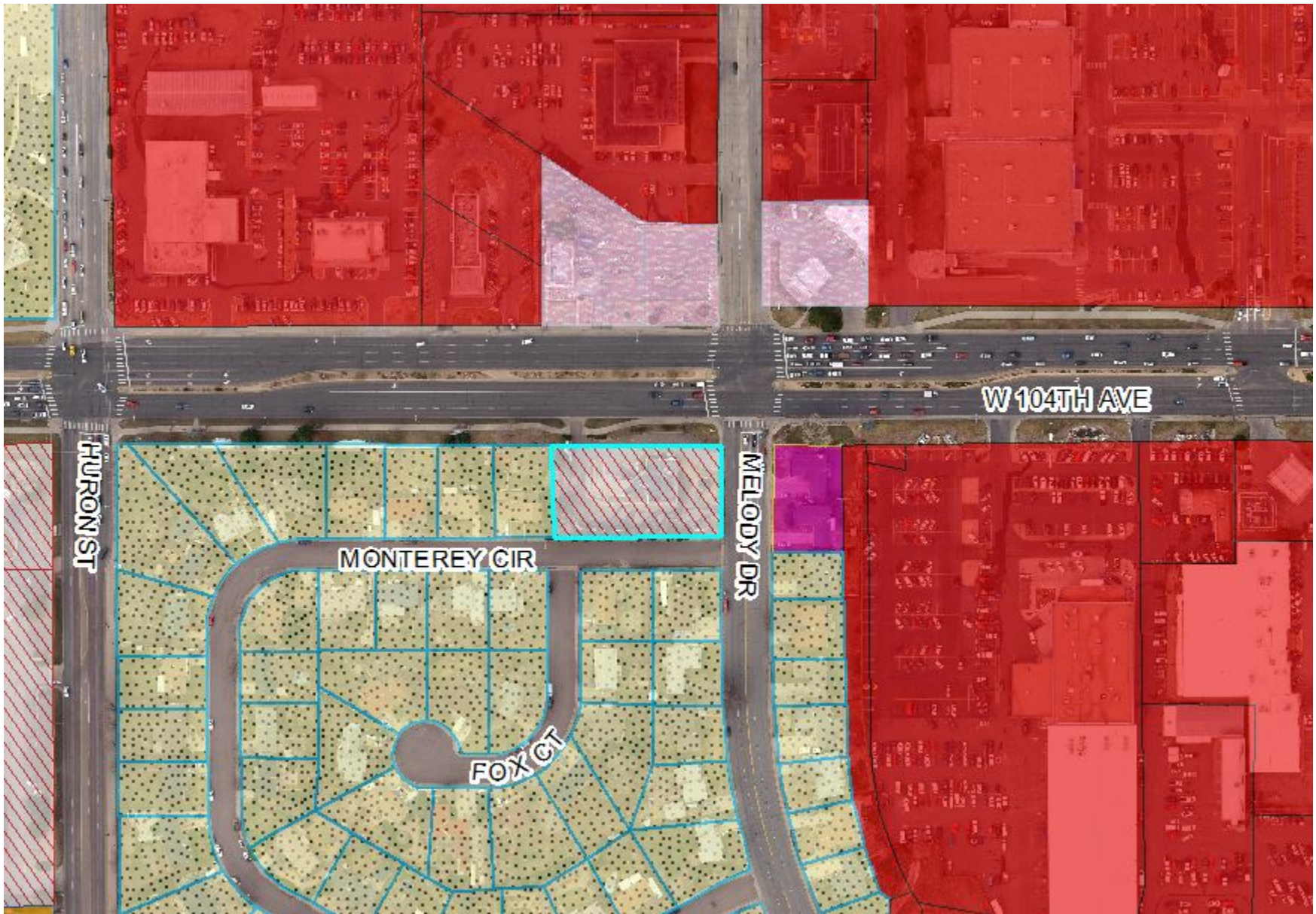
ATTACHMENTS

- Exhibit A - Aerial Vicinity Map
- Exhibit B - Zoning Map
- Exhibit C - Planned Unit Development
- Exhibit D - License Agreement
- Exhibit E - 104th and Melody Minor Subdivision Plat

AERIAL VICINITY MAP



ZONING MAP



STARBUCKS AT 104TH & MELODY LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

SITE USE INFORMATION

ALLOWED USES:
IN ADDITION TO THOSE SET FORTH IN ARTICLE 23 OF CHAPTER 11 (C-4 ZONING) OF THE NORTHGLENN MUNICIPAL CODE, THE FOLLOWING USES SHALL BE USES-BY-RIGHT:
TELEPHONE EXCHANGES
RESTAURANTS INCLUDING THOSE WITH DRIVE-THRU SERVICES
ALL USES ALLOWED IN THE C-4 ZONE DISTRICT

MINIMUM BUILDING SETBACKS:
NORTH (W. 104TH AVENUE) PROPERTY LINE - 10.0' MIN.
EAST (MELODY DRIVE) PROPERTY LINE - 20.0' MIN.
SOUTH (MONTEREY CIRCLE) PROPERTY LINE - 50.0' MIN.
WEST PROPERTY LINE - 55.0' MIN.

PARKING SETBACKS:
NORTH (W. 104TH AVENUE) PROPERTY LINE - 25.0' MIN.
EAST (MELODY DRIVE) PROPERTY LINE - 20.0' MIN.
SOUTH (MONTEREY CIRCLE) PROPERTY LINE - 9.0' MIN. (MAINTAIN EXIST. CONDITION)
WEST PROPERTY LINE - 15.0' MIN.

PARKING
AT A MINIMUM, PARKING REQUIREMENTS SHALL BE PER SECTION 11-33-6 OF THE ZONING ORDINANCE.

BUFFER LANDSCAPE:
THE LANDSCAPE BUFFERS ON THE WEST AND SOUTH SIDE SHALL REMAIN IN PLACE AND BE MAINTAINED IN THE FUTURE AS A BUFFER TO THE ADJACENT RESIDENTIAL. THIS SPECIFICALLY INCLUDES:
WEST - DISTANCES AS SHOWN BETWEEN PARKING AND THE PROPERTY LINE, EXISTING TREES.
SOUTH - EXISTING EVERGREEN TREES AND EXISTING FENCING

ENCROACHMENTS INTO RIGHT-OF-WAY:
PER THE APPROVED LICENSE AGREEMENT (RECORDATION # _____), DRIVEWAYS AS SHOWN ARE ALLOWED TO BE CONSTRUCTED IN THE CITY'S 104TH AVENUE RIGHT-OF-WAY AREA.
SIGNS AS PER THE APPROVED LICENSE AGREEMENT (RECORDATION # _____) ARE ALSO ALLOWED IN THE 104TH RIGHT-OF-WAY.
THE EXISTING FENCE ALONG MONTEREY CIRCLE IS ALLOWED TO REMAIN, BE MAINTAINED OR REPLACED IN-KIND.

DEVIATIONS FROM ZONING REGULATIONS:
THE LOCATION OF SITE IMPROVEMENTS (DRIVE-THRU LANE) ON ADJACENT PROPERTY
PARKING SETBACKS - SOUTH (MONTEREY CIRCLE) PROPERTY LINE
TREE REQUIREMENTS ON STREET FRONTAGE - EXISTING TREE PRESERVATION

PROPOSED SCHEDULE FOR CONSTRUCTION:
CONSTRUCTION START - JUNE 2017
OPEN FOR BUSINESS - DECEMBER 2017
THE CITY OF NORTHGLENN RESERVES THE RIGHT TO PERIODICALLY REVIEW THIS PUD FOR CONFORMANCE WITH ITS PROPOSED CONSTRUCTION SCHEDULE AND, WHEN APPROPRIATE, REZONE THIS PROPERTY TO A DIFFERENT ZONING CLASSIFICATION.

VICINITY MAP



SITE DATA

PROPOSED USES	COFFEE SHOP WITH DRIVE-THRU	
ZONING - EXISTING AND PROPOSED	C-4	PUD
	SQUARE FOOTAGE OR ACREAGE	PERCENTAGE OF TOTAL AREA
TOTAL AREA OF PROPERTY	30,625 SF	100%
TOTAL BUILDING COVERAGE	2,400 SF	7.8%
TOTAL LANDSCAPE COVERAGE	10,128 SF	33.1%
TOTAL LOT COVERAGE BY STRUCTURES & PAVING	27,197 SF	88.8%
	REQUIRED (PER 11-33-6(I))*	PROVIDED
NUMBER OF PARKING SPACES	23	31
NUMBER OF HANDICAP SPACES	1	2

* PARKING REQUIREMENT IS 1 SPACE / 3 SEATS, PLUS 1 SPACE / 2 EMPLOYEES ON LARGEST SHIFT. A STARBUCKS THIS SIZE WILL LIKELY HAVE 35 INTERIOR SEATS AND 24 PATIO SEATS, PLUS 6 EMPLOYEES IS 3 ADDITIONAL SPACES = EQUALS 23 PARKING SPACES REQUIRED.

LEGAL DESCRIPTION

LOTS 2, 3, AND 4, BLOCK 1, NORTH GLENN SEVENTEENTH FILING, SITUATED IN THE NW 1/4 OF SECTION 15, T2S, R68W OF THE 6TH P.M., CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO.

SHEET INDEX

1 OF 10	COVER SHEET
2 OF 10	SITE PLAN
3 OF 10	GRADING & DRAINAGE PLAN
4 OF 10	UTILITY PLAN
5 OF 10	LANDSCAPE PLAN
6 OF 10	LANDSCAPE DETAILS
7 OF 10	ARCHITECTURAL ELEVATIONS
8 OF 10	ARCHITECTURAL ELEVATIONS
9 OF 10	PHOTOMETRIC PLAN
10 OF 10	PHOTOMETRIC DETAILS

OWNER:

I, _____, ON BEHALF OF SBX HELENA LYNDALAE AVE., LLC, HEREBY AFFIRM THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREIN, KNOWN AS STARBUCKS AT 104TH & MELODY.

OWNER _____ DATE _____

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2017,
BY _____

WITNESS MY HAND AND OFFICIAL SEAL,

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

ENGINEER'S CERTIFICATE:

I, RYAN J LOFTUS, A REGISTERED PROFESSIONAL ENGINEER, DO CERTIFY THAT THE GRADING, DRAINAGE, AND UTILITY PLANS FOR THE STARBUCKS AT 104TH & MELODY PUD WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ENGINEER _____ DATE _____

APPROVAL LIST:

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

DIRECTOR OF COMMUNITY DEVELOPMENT _____ DATE _____

DIRECTOR OF PUBLIC WORKS AND UTILITIES _____ DATE _____

MAYOR _____ DATE _____

CITY CLERK _____ DATE _____

CERTIFICATE OF CLERK AND RECORDER:

THIS PUD WAS FILED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER IN THE COUNTY OF ADAMS, STATE OF COLORADO, THIS _____ DAY OF _____, 2017, AND ENTERED INTO PLAT BOOK _____ AT PAGE _____, RECEPTION NO. _____

BY: _____
DEPUTY _____

CLERK AND RECORDER _____

MY COMMISSION EXPIRES _____

INSTRUMENT NO. _____

DEVELOPMENT CONTACTS:

CIVIL ENGINEER / LANDSCAPE ARCHITECT

STERLING DESIGN ASSOCIATES, LLC
2009 W. LITTLETON BLVD., #300
LITTLETON, CO 80120
PH: (303) 794-4727
CONTACT: CINDY PEDRIOLI
E-MAIL: cindy@sterlingdesignassociates.com

SURVEYOR

ENGINEERING SERVICE COMPANY
14190 E. EVANS AVE.
AURORA, CO 80014
PH: (303) 337-1393
CONTACT: CHARLES BECKSTROM
E-MAIL: cbeckstrom@engineeringserviceco.com

APPLICANT / DEVELOPER

WADSWORTH DEVELOPMENT GROUP
166 E. 14000 S., SUITE 210
DRAPER, UT 84020
PH: (801) 748-4088
CONTACT: BRAD WATSON
EMAIL: brad@wadstdev.com

ARCHITECT

THE RICHARDSON DESIGN PARTNERSHIP
510 S 600 E
SALT LAKE CITY, UT 84102
PH: (801) 355-6968
CONTACT: CHRIS BROWN
E-MAIL: cdbrown@trdp.com

**PRELIMINARY
NOT FOR CONSTRUCTION**

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: 03/08/2017	SCALE: N/A
PROJECT MANAGER: CMP	PROJECT NO.:
DRAWN BY: CMP	DRAWING FILE:

PROJECT:



STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:

COVER SHEET

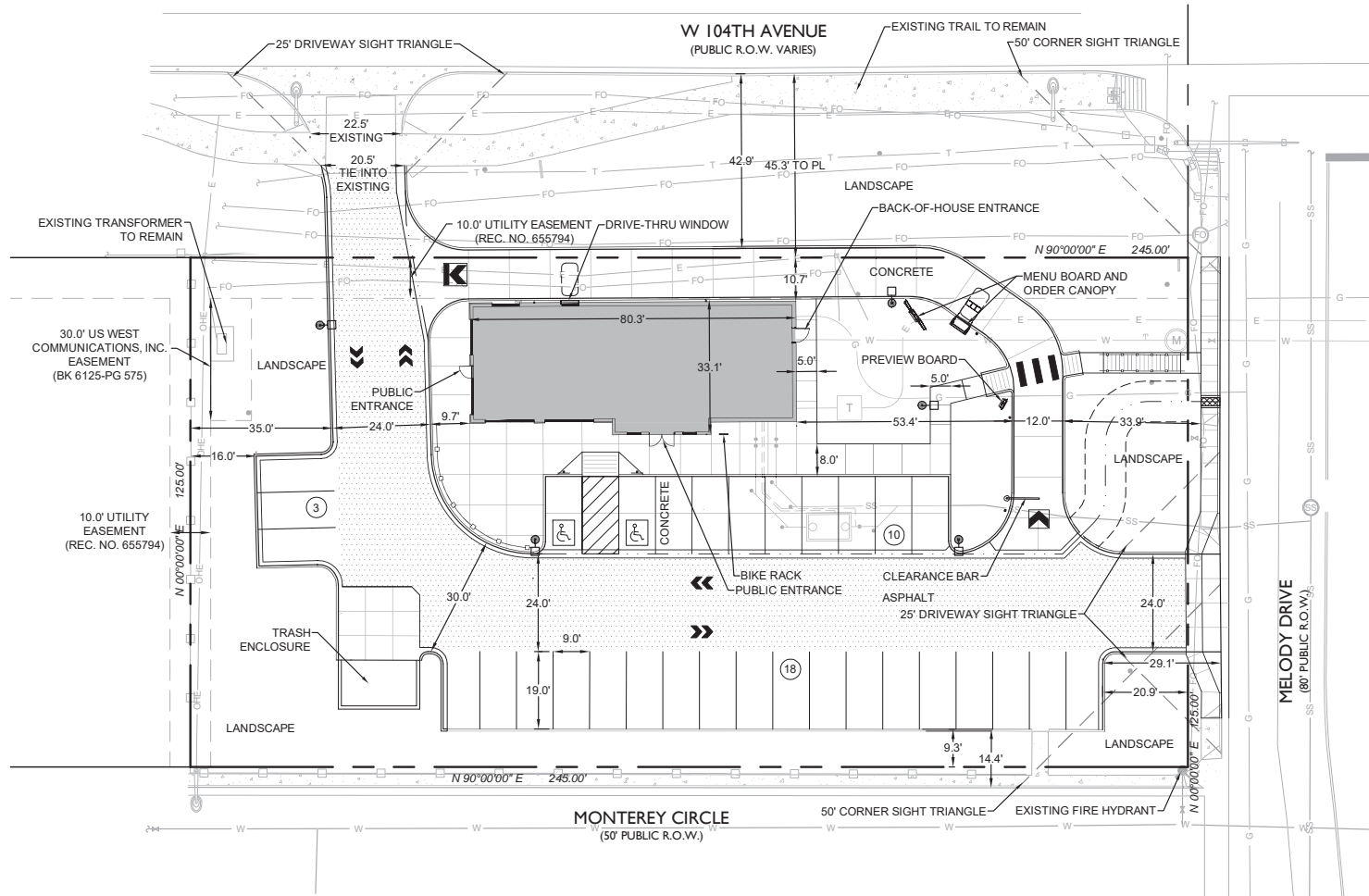
SHEET NUMBER:

1 OF 10

STARBUCKS AT 104TH & MELODY LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO PRELIMINARY AND FINAL PUD

Sterling Design Associates, llc
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com



**PRELIMINARY
NOT FOR CONSTRUCTION**

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
03/08/2017	1" = 20'
PROJECT MANAGER:	PROJECT NO.:
CMP	-
DRAWN BY:	DRAWING FILE:
CMP	-

PROJECT:



STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
TEL: (206) 318-1575

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
2 OF 10

LEGEND

	R.O.W. / PROPERTY LINE		EXISTING FENCE TO REMAIN
	ADJOINING PROPERTY EASEMENT LINE		PROPOSED PATIO FENCE
	EXISTING SIDEWALK		DIRECTIONAL PAVEMENT ARROWS
	EXISTING CURB & GUTTER		
	PROPOSED CURB AND GUTTER		
	PROPOSED SIDEWALK		
	CONCRETE PAVEMENT		
	EXISTING SIGN		NORTH
	PROPOSED SIGNS		SCALE: 1" = 20'

STARBUCKS AT 104TH & MELODY LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
03/08/2017	1" = 20'
PROJECT MANAGER:	PROJECT NO.:
CMP	-
DRAWN BY:	DRAWING FILE:
RJL	-

PROJECT:



STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

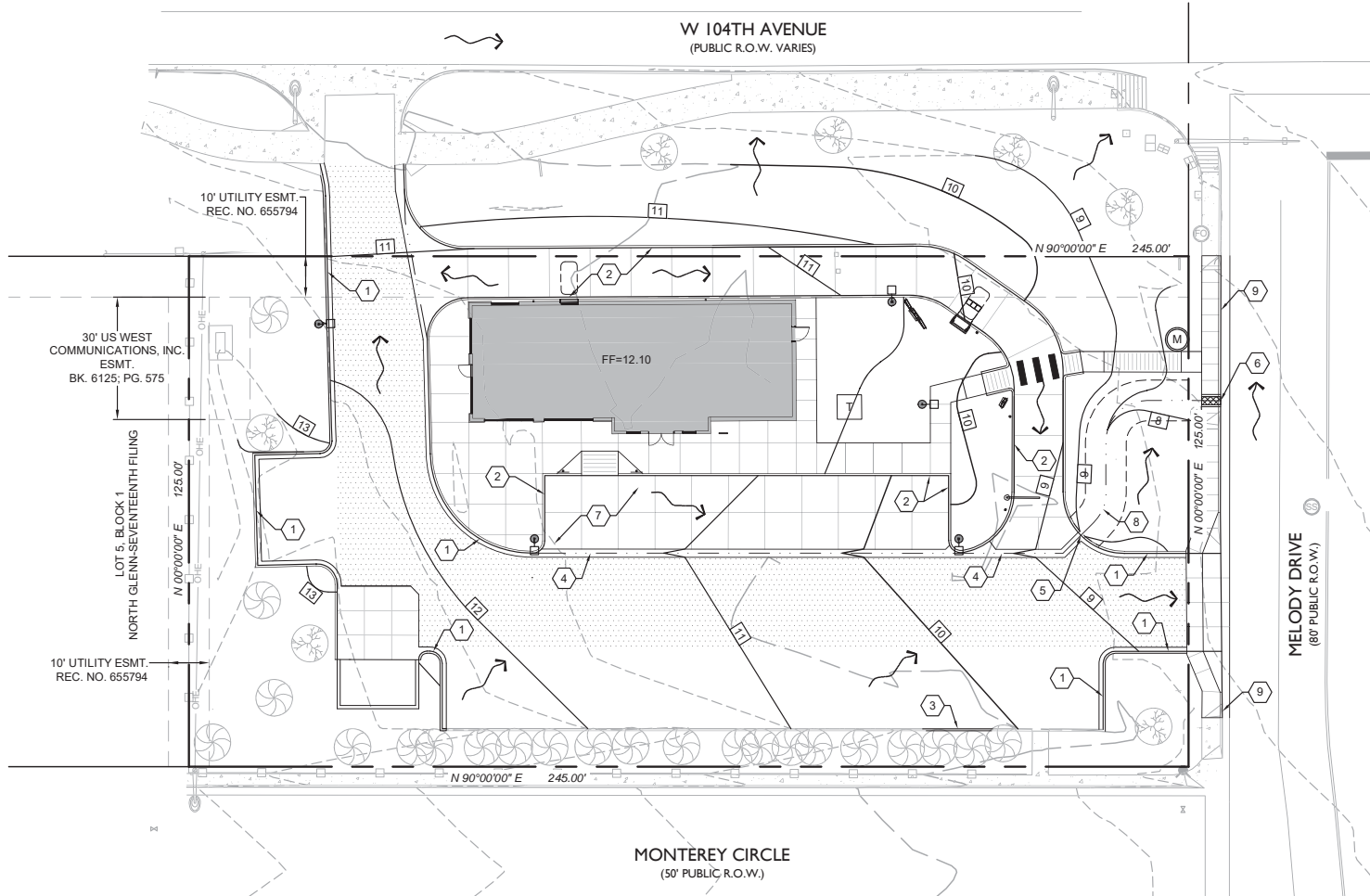
TEL: (206) 318-1575

SHEET TITLE:

GRADING & DRAINAGE PLAN

SHEET NUMBER:

3 OF 10



CONSTRUCTION NOTES

- 1) CONSTRUCT 6-INCH VERTICAL CONCRETE CURB AND GUTTER WITH 1-FOOT PAN.
- 2) CONSTRUCT 6-INCH VERTICAL CONCRETE CURB MONOLITHIC TO THE ADJOINING PAVING.
- 3) CONSTRUCT 6-INCH ASPHALT CURB MONOLITHIC TO THE ADJOINING PAVING.
- 4) CONSTRUCT 2-FOOT CONCRETE PAN.
- 5) CONSTRUCT 2-FOOT WIDE CURB CUT WITH 5-FOOT TAPER EITHER SIDE.
- 6) CONSTRUCT SIDEWALK CHASE.
- 7) CONSTRUCT HANDICAP PARKING AREA - NO GRADES GREATER THAN 2.0% IN ANY DIRECTION.
- 8) CONSTRUCT LANDSCAPE SWALE.
- 9) CONSTRUCT PUBLIC CURB AND GUTTER WITH ATTACHED WALK.

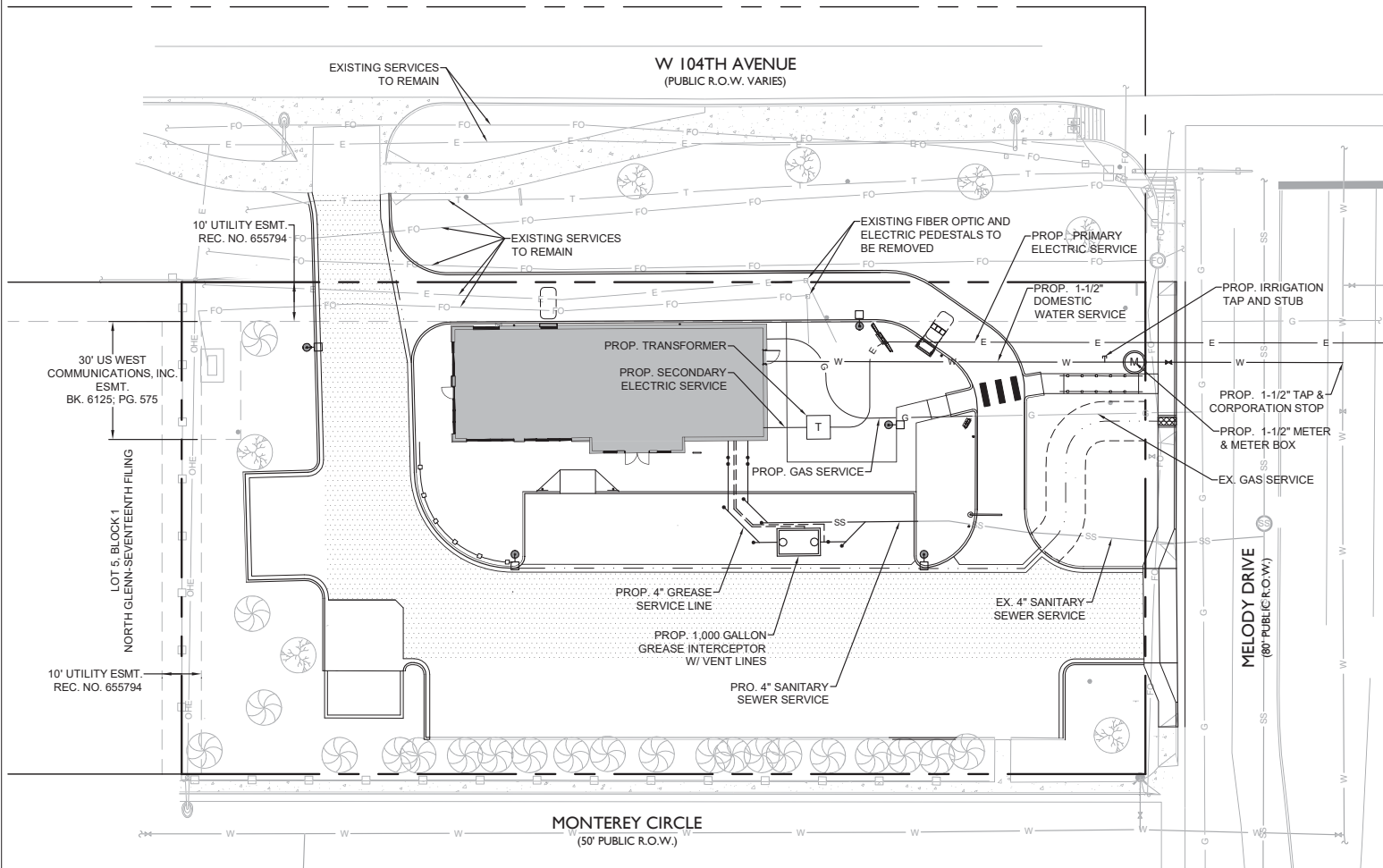
LEGEND

	R.O.W. / PROPERTY LINE		EXIST. SIGN
	ADJOINING PROPERTY EASEMENT LINE		PROP. SIGN
	EXIST. SIDEWALK		EXIST. CONTOUR
	EXIST. CURB & GUTTER		PROP. CONTOUR
	PROP. CURB AND GUTTER		FLOW DIRECTION ARROW
	PROP. SIDEWALK		NORTH
	CONCRETE PAVEMENT		SCALE: 1" = 20'
	EXIST. SAN. MANHOLE		
	EXIST. WATER VALVE		

STARBUCKS AT 104TH & MELODY
 LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1,
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
 PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com



PRELIMINARY
 NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
03/08/2017	1" = 20'
PROJECT MANAGER:	PROJECT NO.:
CMP	-
DRAWN BY:	DRAWING FILE:
RJL	-

PROJECT:

STARBUCKS COFFEE COMPANY
 550 W. 104TH AVE.
 NORTHGLENN, CO 80234

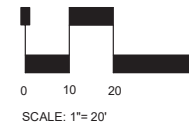
CLIENT:
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134
 TEL: (206) 318-1575

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
4 OF 10

LEGEND

	R.O.W. / PROPERTY LINE		EXIST. WATER LINE
	ADJOINING PROPERTY		EXIST. GAS LINE
	EASEMENT LINE		EXIST. SAN. SEWER LINE
	EXIST. SIDEWALK		EXIST. ELECTRIC LINE
	EXIST. CURB & GUTTER		EXIST. TELECOMM. LINE
	PROP. CURB AND GUTTER		EXIST. FIBER OPTIC LINE
	PROP. SIDEWALK		PROP. WATER SERVICE
	PROP. CURB AND GUTTER		PROP. GAS SERVICE
	PROP. SIDEWALK		PROP. SAN. SEWER SERVICE
	CONCRETE PAVEMENT		PROP. ELECTRIC SERVICE
	EXIST. SAN. MANHOLE		WATER METER
	EXIST. WATER VALVE		TRANSFORMER



STARBUCKS AT 104TH & MELODY LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO PRELIMINARY AND FINAL PUD



CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	03/08/2017	SCALE:	1" = 20'
PROJECT MANAGER:	CP	PROJECT NO.:	-
DRAWN BY:	CP	DRAWING FILE:	-

PROJECT:



STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

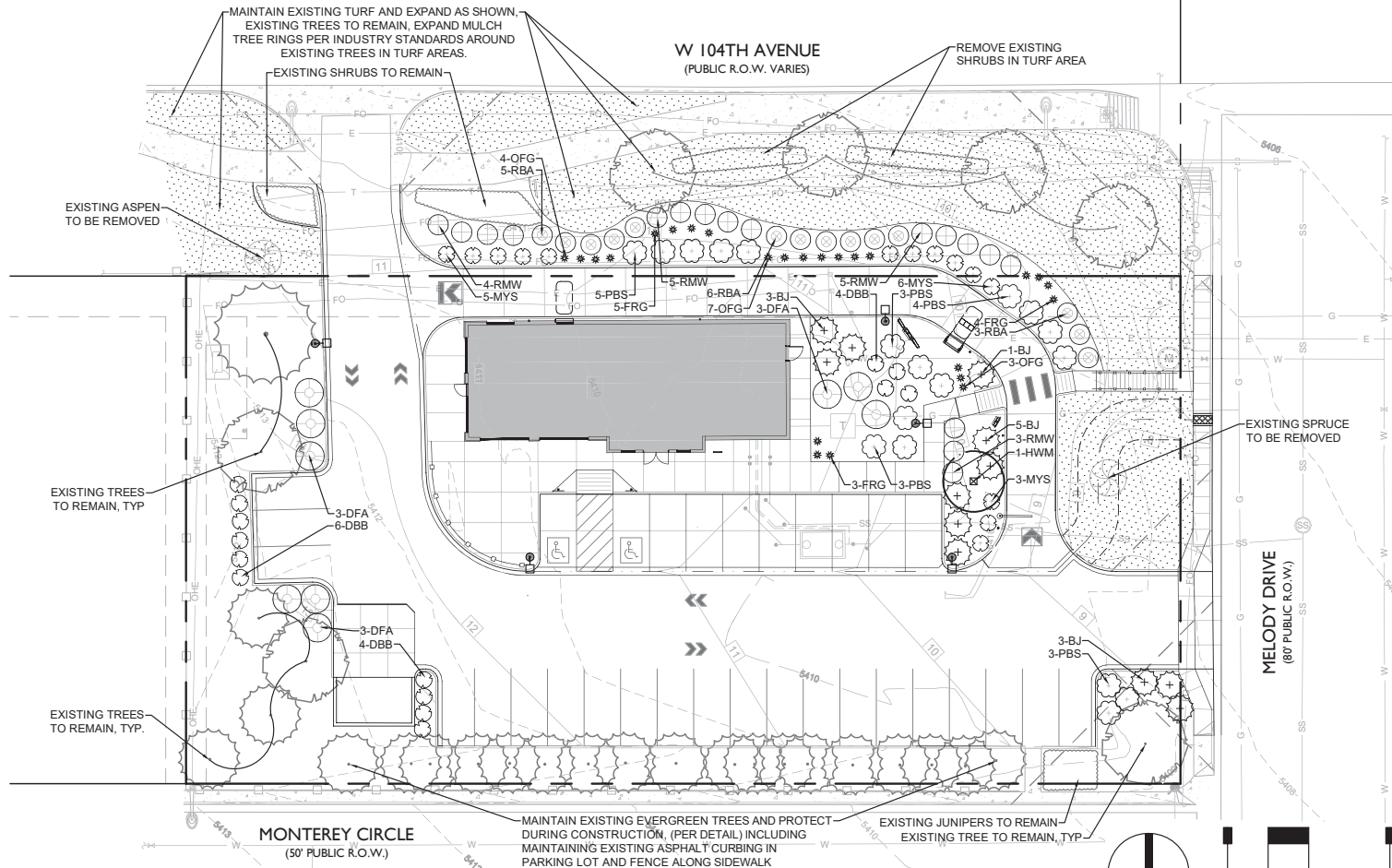
TEL: (206) 318-1575

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

5 OF 10



PLANT LIST

QTY	SYM.	COMMON NAME	SCIENTIFIC NAME	SIZE	QUALITY
DECIDUOUS ORNAMENTAL TREES					
1	HWM	HOT WINGS MAPLE	ACER TATARICUM 'GARANN'	1.5" CAL	MULTI-STEM
EVERGREEN SHRUBS					
12	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL	CONTAINER, 24" SPREAD
DECIDUOUS SHRUBS					
14	RBA	RED BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL	CONTAINER
14	DBB	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTA'	5 GAL	CONTAINER
9	DFA	ARNOLD DWARF FORSYTHIA	FORSYTHIA 'ARNOLD DWARF'	5 GAL	CONTAINER
18	PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI	5 GAL	CONTAINER
17	RMW	MEIDLAND® ROSE, ALBA	ROSA SP. 'MELCOUBLAN'	5 GAL	CONTAINER
14	MYS	MELLOW YELLOW SPIREA	SPIREA THUMBERGII 'MELLOW YELLOW'	5 GAL	CONTAINER
ORNAMENTAL GRASSES					
11	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL	WELL ESTABLISHED
14	OFG	ORIENTAL FOUNTAIN GRASS	PENNISETUM ORIENTALE	1 GAL	WELL ESTABLISHED

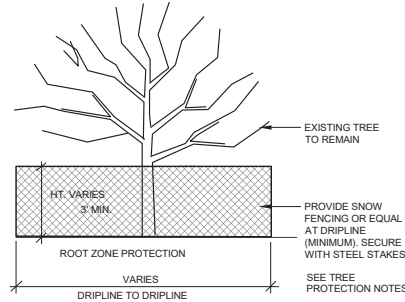
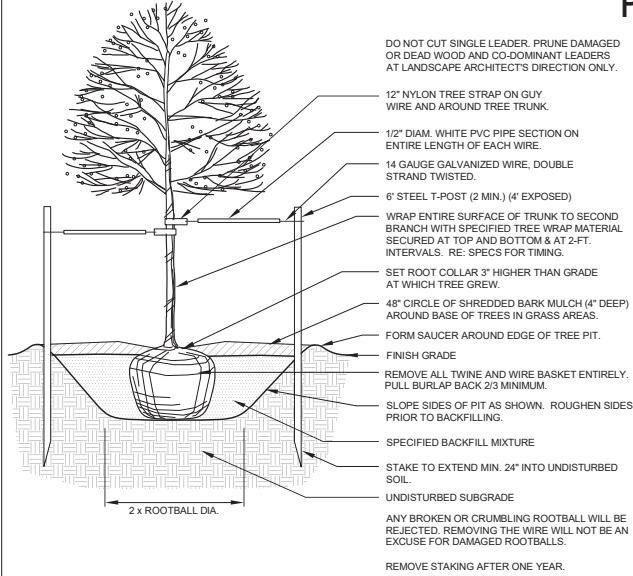
TREE REQUIREMENT DATA

STREET	REQUIRED	PROVIDED	EXISTING TREE DIAM.
	1 CANOPY / 40 LF, 1 ORNAMENTAL / 50 LF		
W. 104TH AVENUE	245'-24"=221 LF, 6 CANOPY, 5 ORN.	4 CANOPY (EXIST)	64"
MELODY DRIVE	125'-24"=101 LF, 3 CANOPY, 2 ORN.	1 CANOPY (EXIST), 1 ORN (NEW)	0"
MONTEREY CIRCLE	245 LF, 6 CANOPY, 5 ORN.	20 EVERGREEN (EXIST)	182"
OTHER ON-SITE	N/A	2 CANOPY (EXIST), 4 EVERGREEN (EXIST)	120"
TOTAL	15 CANOPY, 12 ORN. = 27 TOTAL	7 CANOPY, 1 ORN, 24 EVERGREEN = 32 TOTAL	366"

STARBUCKS AT 104TH & MELODY
 LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1,
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
 PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com



EXISTING TREE PROTECTION
 NOT TO SCALE

TREE PROTECTION NOTES

- CONTRACTORS SHALL COMPLY WITH THESE NOTES AND THE CITY OF NORTHGLENN STANDARDS FOR ALL EXISTING TREES TO REMAIN.
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE. CITY OF NORTHGLENN MAY STOP CONSTRUCTION IF TREE PRESERVATION MEASURES ARE NOT IN PLACE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- TREES CALLED OUT FOR PRESERVATION SHALL BE FENCED AT THE DRIPLINE. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES. PLACE 3 INCH BARK MULCH BENEATH DRIPLINES OF TREES TO BE PRESERVED.
- FENCING SHALL BE 3 FEET TALL SNOW FENCING WITH STEEL POSTS EMBEDDED IN THE GROUND.
- NO GRADING SHALL OCCUR WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- CONSTRUCTION VEHICLES OR MACHINERY MAY NOT PASS BETWEEN TWO OR MORE EXISTING TREES IDENTIFIED FOR PRESERVATION IF THEIR CANOPIES ARE WITHIN 10 FEET OF TOUCHING. ADDITIONAL FENCING MAY BE REQUIRED.
- THE CONTRACTOR IS REQUIRED TO HAVE AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) ON SITE IF SITE CONSTRUCTION EFFORTS REQUIRE REMOVAL OF EXISTING ROOTS OR BRANCH PRUNING.
- UNAUTHORIZED TREE REMOVAL OR DAMAGE IS SUBJECT TO REPLACEMENT EQUAL TO THE APPRAISED VALUE OF THE TREE LOST. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTATION OF ALL EXISTING TREES TO REMAIN, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. AN EARTH BERM MEASURING MINIMUM 6 FEET IN DIAMETER, AND 6 INCHES IN HEIGHT SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS A TEMPORARY WATERING BASIN DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE SPECIES REQUIREMENTS.

PRELIMINARY
 NOT FOR CONSTRUCTION

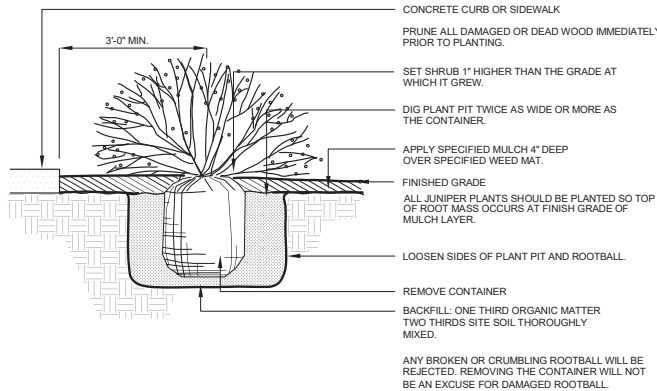
STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS			
NO. 1	DATE: 05-01-2017	BY: CP	DESCRIPTION: 2ND SUBMITTAL
NO. 2	DATE: 06-08-2017	BY: CP	DESCRIPTION: 3RD SUBMITTAL
NO. 3	DATE: -	BY: -	DESCRIPTION: -
NO. 4	DATE: -	BY: -	DESCRIPTION: -
NO. 5	DATE: -	BY: -	DESCRIPTION: -
NO. 6	DATE: -	BY: -	DESCRIPTION: -

SHADE TREE PLANTING

NOT TO SCALE

1



SHRUB PLANTING

NOT TO SCALE

2

LANDSCAPE NOTES

- NO TREE OR SHRUB MORE THAN 30 INCHES HIGHER THAN THE TOP OF CURB SHALL BE PLANTED NEITHER IN ANY 50 FOOT VISION TRIANGLE AT ANY STREET INTERSECTION NOR IN ANY 25 FOOT VISION TRIANGLE AT THE INTERSECTION OF ANY DRIVEWAY AND PUBLIC STREET.
- NO TREE SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE.
- COORDINATION: THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE: CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE:
 - FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE LA SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE LA SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
 - MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS: LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING:
 - CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION: OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
- SOIL PREPARATION: SOIL AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. AMEND SOIL WITH FOUR CUBIC YARDS PER THOUSAND SQUARE FEET OF ORGANIC COMPOST. COMPOST TO HAVE A C:N RATIO BETWEEN 15:1 AND 30:1, LESS THAN 6 mg/kg cadmium SALT CONTENT, A pH BETWEEN 6.5 AND 8.5, AND OVER 30% ORGANIC MATTER. APPLY 5 LBS. OF 20-10-5 GRANULAR FERTILIZER PER THOUSAND SQ. FEET. ROTOTILL AMENDMENTS AND TOPSOIL TO A DEPTH OF SIX INCHES. VERIFY SOIL PREP SPECIFICATIONS WITH WATER PROVIDER STANDARDS. PROVIDE EVIDENCE OF APPLICATION AS REQUIRED.
- SOODING: SOIL SHALL BE "RTF" FESCUE BY GREEN VALLEY TURF (GVT) (303-798-6764). SOIL PREP., INSTALL AND WATER ACCORDING TO GVT GUIDELINES.
- PLANTING: TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- EDGING: INSTALL 4" ROLL-TOP RYERSON STEEL EDGING (14 GAUGE WITH GREEN FINISH) OR EQUAL. INSTALL WITH STAKES AND SPLICERS PER MANUFACTURERS RECOMMENDATIONS. INSTALL BETWEEN ALL SOD OR SEEDED AREAS AND MULCHED AREAS.
- MULCH: INSTALL 1" DIAMETER WESTERN RED CEDAR MULCH A MINIMUM OF 3-4" DEEP (NO FABRIC) UNLESS OTHERWISE SHOWN. RIVER ROCK TO BE WASHED, ROUNDED, AND 1 1/2" IN SIZE PLACED OVER DEWITT PRO 5 FILTER FABRIC, 3" DEEP. (SUBMIT SAMPLES)
- MAINTENANCE: THE PROPERTY OWNER OF RECORD, THE OWNERS AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
- IRRIGATION: ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM TO INCLUDE IRRIGATION TO ALL PROPOSED PLANT MATERIAL. TURF AREAS LESS THAN 25' IN WIDTH SHALL BE IRRIGATED WITH A POP-UP SPRAY SYSTEM AND ALL TURF AREAS GREATER THAN 25' SHALL HAVE A ROTARY POP-UP HEAD SYSTEM PROVIDING HEAD TO HEAD COVERAGE. ALL SHRUB BEDS SHALL BE IRRIGATED USING A DRIP IRRIGATION SYSTEM, ZONED SEPARATE FROM TURF AREAS.

DATE: 03/08/2017	SCALE: N/A
PROJECT MANAGER: CMP	PROJECT NO. -
DRAWN BY: CMP	DRAWING FILE: -

PROJECT:



STARBUCKS COFFEE COMPANY
 550 W. 104TH AVE.
 NORTHGLENN, CO 80234

CLIENT:
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134

TEL: (206) 318-1575

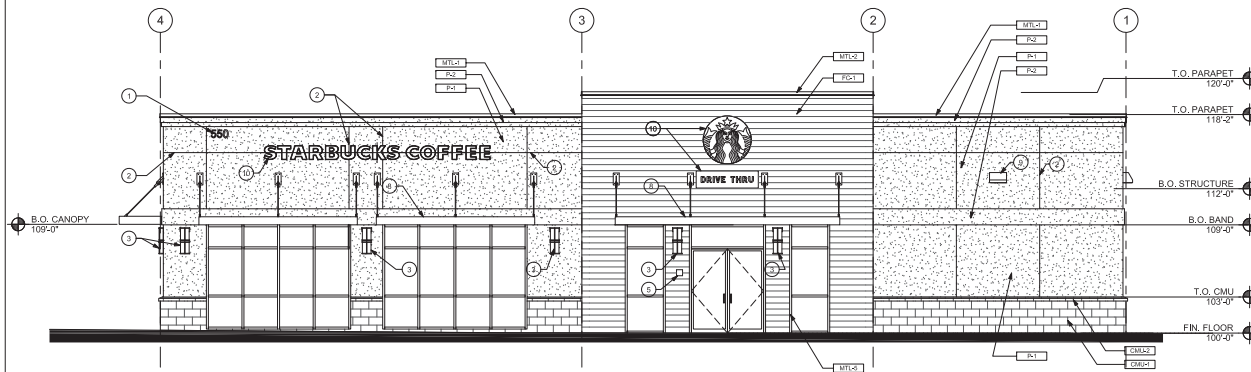
SHEET TITLE:
LANDSCAPE DETAILS

SHEET NUMBER:
6 OF 10

STARBUCKS AT 104TH & MELODY
 LOTS 2, 3, AND 4, BLOCK 1, NORTH GLENN SEVENTEENTH FILING, IN THE NW 1/4 OF SECTION 15, T.2S., R68W, 6TH P.M. CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD

Sterling Design Associates, llc
 CIVIL ENGINEERING - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com



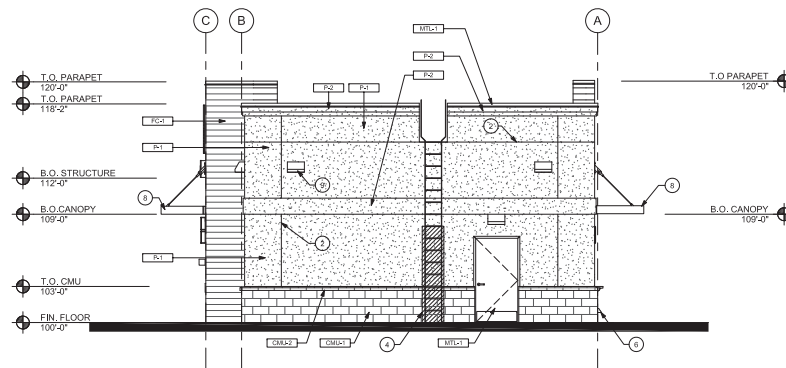
SHEET NOTES

1. ADDRESS SIGN FOR REFERENCE ONLY
2. EIFS CONTROL JOINT, TYP.
3. EXTERIOR WALL SCOSCE
4. 8'-0" CAGE COVER LADDER
5. KNOX BOX, MOUNT AT 6'-0" AFF
6. OVERFLOW DRAIN OUTLET
7. NOT USED
8. METAL AWNING
9. EXTERIOR WALL PACK LIGHT
10. SIGN AREA FOR REFERENCE ONLY. ALL EXTERIOR SIGNAGE TO BE REVIEWED AND DESIGNED UNDER A SEPARATE PERMIT

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CMP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

1 SOUTH ELEVATION
 Scale: NO SCALE



2 EAST ELEVATION
 Scale: NO SCALE

EXTERIOR FINISH SCHEDULE			
NO.	MATERIAL	FINISH/STYLE	COLOR
CMU-1	CMU VENEER	MUTUAL MATERIALS - 4" SPLIT FACE CMU VENEER	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-2	CMU CAP	CMU CAP	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-3	CMU	MUTUAL MATERIALS - 8" SPLIT FACE CMU	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-4	CMU CAP	SLOPED CMU CAP 10X4X16	TO MATCH MUTUAL MATERIALS "STEEL"
FC-1	HARDIE REVEAL SIDING	PAINTED	SHERWIN WILLIAMS - SW 7020 "BLACK FOX"
G-1	GROUT		LATICRETE 35 "MOCHA"
MTL-1	METAL COPING	PRE-FINISHED	TO MATCH SHERWIN WILLIAMS - SW 7018 "DOVETAIL"
MTL-2	METAL COPING	PRE-FINISHED	TO MATCH SHERWIN WILLIAMS - SW 7020 "BLACK FOX"
MTL-3	METAL CANOPY	ANODIZED	DARK BRONZE
MTL-4	METAL SUNSHADE AWNING	ANODIZED	DARK BRONZE
MTL-5	ALUMNUM STOREFRONT SYSTEM	ANODIZED	DARK BRONZE
MTL-6	HOLLOW METAL DOOR	PAINT	SHERWIN WILLIAMS - SSW 7018 "DOVETAIL"
MTL-7	METAL TRASH ENCLOSURE GATE & POST	PAINT	MATTE BLACK
P-1	1 1/2" EIFS W/ INTEGRAL COLOR FINISH COAT	MEDIUM SAND FLOAT	SHERWIN WILLIAMS - SW 7016 "MINDFUL GRAY"
P-2	1 1/2" EIFS W/ INTEGRAL COLOR FINISH COAT	MEDIUM SAND FLOAT	SHERWIN WILLIAMS - SW 7018 "DOVETAIL"

DATE: 03/08/2017
 SCALE:
 PROJECT MANAGER:
 PROJECT NO.:
 DRAWN BY:
 DRAWING FILE:



STARBUCKS COFFEE COMPANY
 550 W. 104TH AVE.
 NORTHGLENN, CO 80234

CLIENT:
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:
ARCHITECTURAL ELEVATIONS

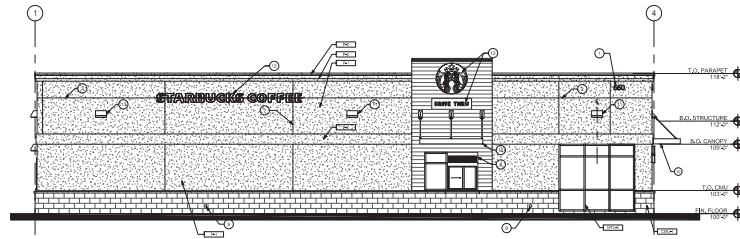
SHEET NUMBER:

STARBUCKS AT 104TH & MELODY

LOTS 2, 3, AND 4, BLOCK I, NORTH GLENN SEVENTEENTH FILING, IN THE NW 1/4 OF SECTION 15, T.2S., R.68W, 6TH P.M. CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD

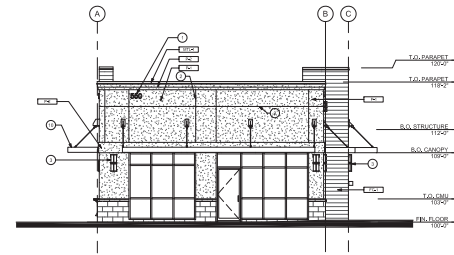
Sterling Design Associates, Inc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com



1 NORTH ELEVATION

Scale: NO SCALE



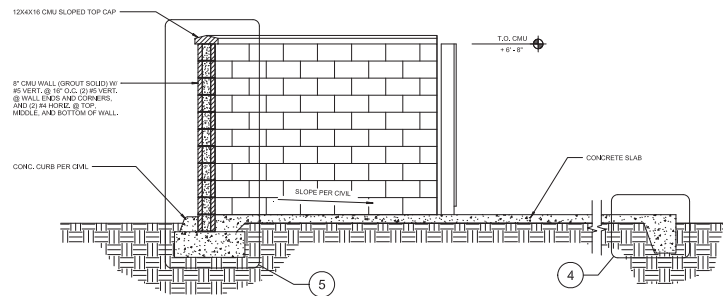
2 WEST ELEVATION

Scale: NO SCALE

SHEET NOTES

1. ADDRESS SIGN FOR REFERENCE ONLY
2. EIFS CONTROL JOINT, TYP.
3. EXTERIOR WALL SCIENCE
4. NOT USED
5. AIR CURTAIN ABOVE DRIVE-THRU WINDOW
6. NOT USED
7. NOT USED
8. NOT USED
9. SECONDARY ROOF DRAIN OUTLET
10. METAL CANOPY
11. EXTERIOR WALL PACK LIGHT
12. SIGN AREA FOR REFERENCE ONLY. ALL EXTERIOR SIGNAGE TO BE REVIEWED AND DESIGNED UNDER A SEPARATE PERMIT

PRELIMINARY
NOT FOR CONSTRUCTION



3 TRASH ENCLOSURE SECTION

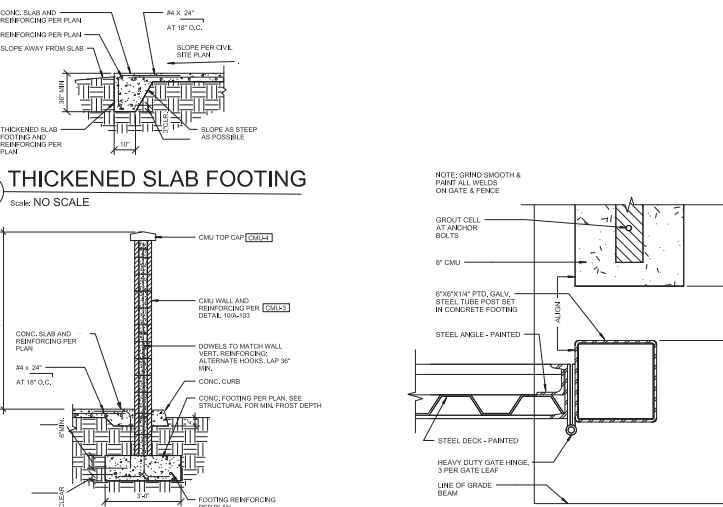
Scale: NO SCALE

EXTERIOR FINISH SCHEDULE			
NO.	MATERIAL	FINISH/STYLE	COLOR
CMU-1	CMU VENEER	MUTUAL MATERIALS - 4" SPLIT FACE CMU VENEER	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-2	CMU CAP	CMU CAP	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-3	CMU	MUTUAL MATERIALS - 8" SPLIT FACE CMU	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-4	CMU CAP	SLOPED CMU CAP 10X4X16	TO MATCH MUTUAL MATERIALS "STEEL"
FC-1	HARDIE REVEAL SIDING	PAINTED	SHERWIN WILLIAMS - SW 7020 "BLACK FOX"
G-1	GROUT		LATICRETE 35 "MOCHA"
MTL-1	METAL COPING	PRE-FINISHED	TO MATCH SHERWIN WILLIAMS - SW 7018 "DOVETAIL"
MTL-2	METAL COPING	PRE-FINISHED	TO MATCH SHERWIN WILLIAMS - SW 7020 "BLACK FOX"
MTL-3	METAL CANOPY	ANODIZED	DARK BRONZE
MTL-4	METAL SUNSHADE AWNING	ANODIZED	DARK BRONZE
MTL-5	ALUMINUM STOREFRONT SYSTEM	ANODIZED	DARK BRONZE
MTL-6	HOLLOW METAL DOOR	PAINT	SHERWIN WILLIAMS - SSW 7018 "DOVETAIL"
MTL-7	METAL TRASH ENCLOSURE GATE & POST	PAINT	MATTE BLACK
P-1	1 1/2" EIFS W/ INTEGRAL COLOR FINISH COAT	MEDIUM SAND FLOAT	SHERWIN WILLIAMS - SW 7016 "MINDFUL GRAY"
P-2	1 1/2" EIFS W/ INTEGRAL COLOR FINISH COAT	MEDIUM SAND FLOAT	SHERWIN WILLIAMS - SW 7018 "DOVETAIL"

ISSUES & REVISIONS

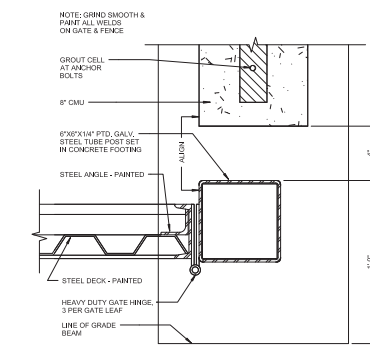
NO.	DATE:	BY:
1	05-01-2017	CMP
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

DESCRIPTION: 2ND SUBMITTAL



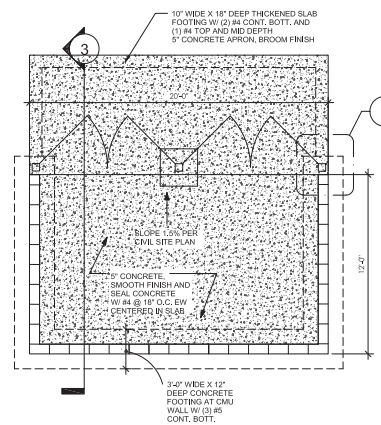
4 THICKENED SLAB FOOTING

Scale: NO SCALE



6 GATE POST DETAIL

Scale: NO SCALE



7 TRASH ENCLOSURE PLAN

Scale: NO SCALE

DATE: 03/08/2017
 SCALE:
 PROJECT MANAGER:
 PROJECT NO.:
 DRAWN BY:
 DRAWING FILE:

PROJECT:

STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:
ARCHITECTURAL ELEVATIONS

SHEET NUMBER:

STARBUCKS COFFEE COMPANY
LOTS 2, 3, AND 4, BLOCK 1, NORTH GLENN SEVENTEENTH FILING,
COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	
NO. 1	DATE: - BY: -
DESCRIPTION: -	
NO. 2	DATE: - BY: -
DESCRIPTION: -	
NO. 3	DATE: - BY: -
DESCRIPTION: -	
NO. 4	DATE: - BY: -
DESCRIPTION: -	
NO. 5	DATE: - BY: -
DESCRIPTION: -	
NO. 6	DATE: - BY: -
DESCRIPTION: -	

DATE:	SCALE:
03/08/2017	N/A
PROJECT MANAGER:	PROJECT NO.:
SCL	-
DRAWN BY:	DRAWING FILE:
SCL	-

PROJECT:



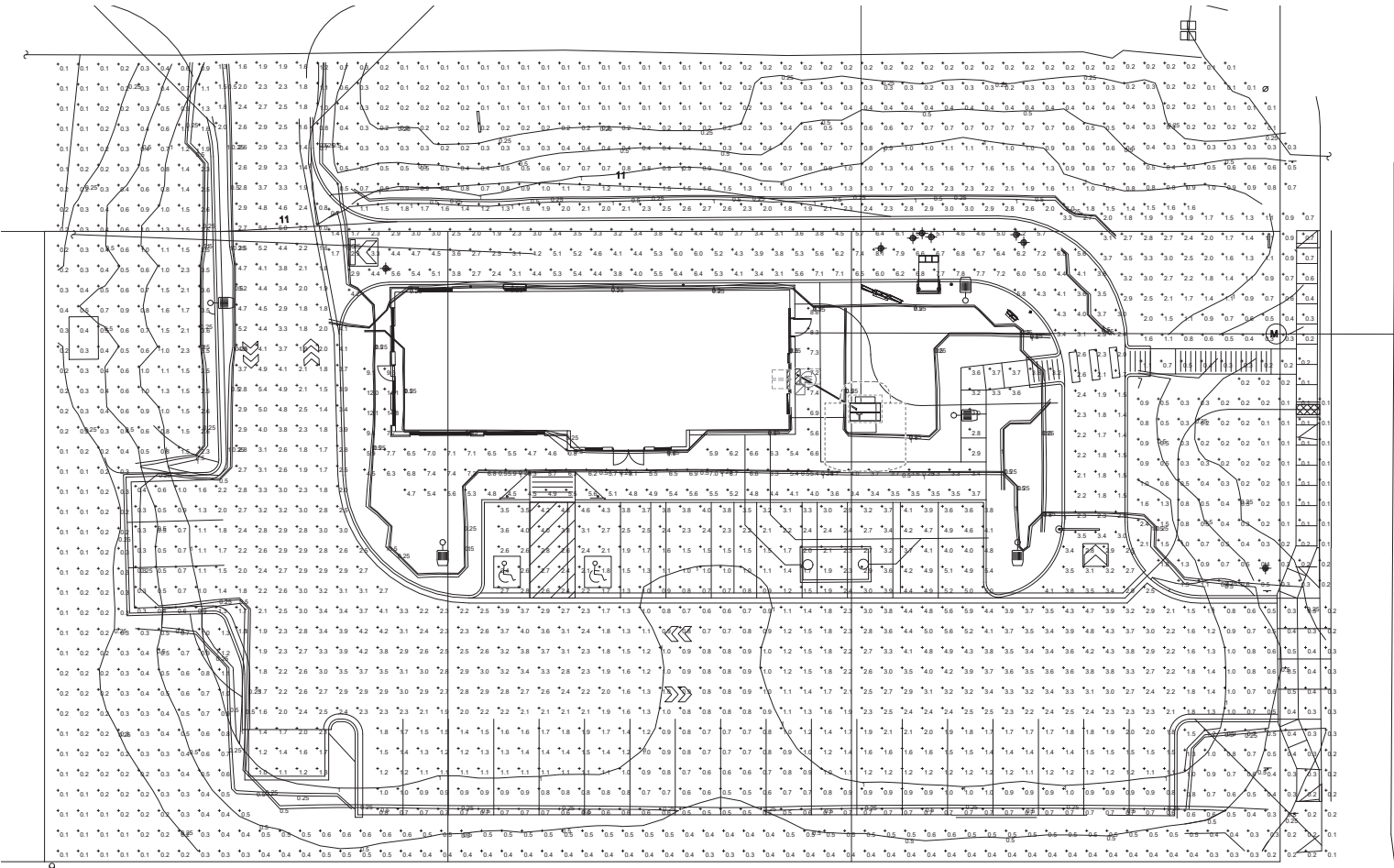
STARBUCKS COFFEE COMPANY
550 W. 104TH BLVD
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:
SITE LIGHTING CALCULATIONS

SHEET NUMBER:
9 OF 10

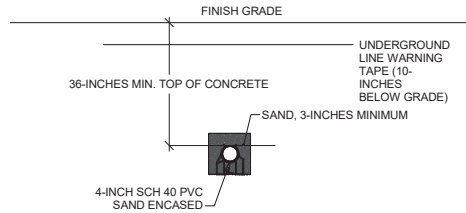


1 S
SCALE: 1/16" = 1'-0"

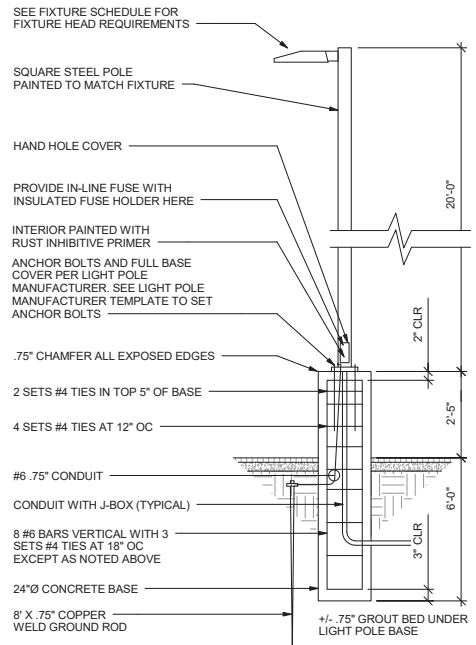
STARBUCKS COFFEE COMPANY LOTS 2, 3, AND 4, BLOCK 1, NORTH GLENN SEVENTEENTH FILING, COUNTY OF ADAMS, STATE OF COLORADO PRELIMINARY AND FINAL PUD

Sterling Design Associates, Inc
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com



2 UNDERGROUND CONDUIT DETAIL SCALE: NTS



1 PARKING LOT LIGHT POLE BASE SCALE: NTS

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.6 fc	6.8 fc	0.3 fc	22.7:1	8.7:1
Calc Zone #2	+	1.1 fc	5.1 fc	0.1 fc	51.0:1	11.0:1
Calc Zone #3	+	0.8 fc	3.6 fc	0.1 fc	36.0:1	8.0:1
Calc Zone #4	+	4.9 fc	17.7 fc	0.8 fc	22.1:1	6.1:1
Calc Zone #5	+	3.3 fc	7.3 fc	0.7 fc	10.4:1	4.7:1

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⬆	T2	4	BEACON PRODUCTS	VP-L-80NB-180-T2	VPER 180W-T2	80 -NICHA 5K LEDS	1	VP-L-80NB-180-T2.ies	16175	0.75	180
⬆	T4	2		80NB-180-T4-5K		80 NICHA LEDS	1	80NB-180-T4.ies	16887	0.75	180
⬆	OC-42	12	Lithonia Lighting	WST 2/42TRT MD	ARCHITECTURAL SCONCE WITH MEDIUM THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS MEETS THE NIGHTTIME FRIENDLY CRITERIA	TWO 42-WATT TRIPLE TUBE COMPACT FLUORESCENT, HORIZONTAL POSITION.	2	WST_2_42TRT_M D.ies	3200	0.75	93
⬆	T3	0	BEACON LIGHTING	80NB-180-T3-5K		80 NICHA LEDS	1	80NB-180-T3.ies	17126	0.75	180
⬆	T5R	0	BEACON PRODUCTS	2198 BOLEDS AT 700 mA WITH TYPE TSR LENS	80NB-180-TSR	80 NICHA LEDS	1	80NB-180-TSR.ies	18107	0.75	180
⬆	T2G	0	COOPER LIGHTING - HIGRAW-EDISON	GLEON-AA-03-LED-E1-T2	GALLEON LED AREA LUMINAIRE (3) LIGHTSQUARES WITH 14 LEES EACH AND TYPE B1 OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONDIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		42	GLEON-AA-03-LED-E1-T2.ies	292	0.75	154
⬆	T3G	0	COOPER LIGHTING - HIGRAW-EDISON	GLEON-AA-03-LED-E1-T3	GALLEON LED AREA LUMINAIRE (3) LIGHTSQUARES WITH 14 LEES EACH AND TYPE B1 OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONDIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		42	GLEON-AA-03-LED-E1-T3.ies	290	0.75	154
⬆	T4G	0	COOPER LIGHTING - HIGRAW-EDISON	GLEON-AA-03-LED-E1-T4	GALLEON LED AREA LUMINAIRE (3) LIGHTSQUARES WITH 14 LEES EACH AND TYPE B1 OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONDIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		42	GLEON-AA-03-LED-E1-T4.ies	279	0.75	154

**PRELIMINARY
NOT FOR CONSTRUCTION**

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO.	DATE	BY:
NO. 1	DATE:	BY:
DESCRIPTION:		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: **03/08/2017** SCALE: **N/A**
PROJECT MANAGER: **SCL** PROJECT NO.: -
DRAWN BY: **SCL** DRAWING FILE: -

PROJECT:

STARBUCKS COFFEE COMPANY
550 W. 104TH BLVD
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
TEL: (206) 318-1575

SHEET TITLE:
SITE LIGHTING DETAILS
SHEET NUMBER:
10 OF 10

LICENSE AGREEMENT

THIS LICENSE AGREEMENT, is made and entered into this ___ day of _____, 2017, by and between the CITY OF NORTHGLENN, COLORADO, (the "City") and SBX Helena Lyndale Ave, LLC, a Utah limited liability company the (the "Licensee").

NOW, THEREFORE, in consideration of the mutual premises and benefits contained herein and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and the Licensee covenant and agree as follows:

1. **LICENSED PROPERTY.** The City hereby agrees to permit the Licensee to exclusively use the Northern Licensed Property and the Southern Licensed Property (together, the Northern Licensed Property and the Southern Licensed Property being referred to herein as the "Licensed Property"), each as more particularly described hereinbelow and identified in Exhibit A, provided the Licensed Property is and shall be subject to all easements and other encumbrances of record.

2. **INSURANCE.** Licensee shall obtain for itself, its agents, successors, assigns, lessees, Licensees and agents, necessary and adequate worker's compensation insurance, personal injury insurance, and property damage insurance, with limits commensurate with the hazards and risks associated with the use of the Licensed Property, but in no event less than the liability limits established by the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, *et seq.* (currently \$350,000 per persons and \$990,000 per occurrence), as now in effect or as hereinafter amended. Neither Licensee nor its agents, successors and assigns shall commence any construction activities on the Licensed Property until it has obtained all insurance required under this section and shall have filed a certificate of insurance or a certified copy of the insurance policy with the City. Each insurance policy shall list the City as an additional named insured and shall contain a clause providing that coverage shall not be cancelled by the insurance company without Licensee providing the City thirty (30) days' advance written notice of the intention to cancel.

3. **UTILITIES.** Licensee covenants and agrees to pay all charges for water, electric power and other utilities assessed, levied or incurred on the Licensed Property during the term of this Agreement or any renewal thereof.

4. **INSTALLATION, MAINTENANCE, REPAIR AND ALTERATIONS.** Licensee shall at its discretion install improvements and landscaping as applicable on the Licensed Property according to plans approved by the City. After any initial construction and/or installation, Licensee covenants and agrees not to make or permit to be made any material alterations in, or material additions to, the Licensed Property without the prior written consent of the City, which consent shall not be unreasonably withheld, conditioned or delayed, and to keep the Licensed Property, and any improvements thereon, in good repair at the expense of Licensee; to properly irrigate and care for all landscaping upon or about the Licensed Property and to keep

the same in good order and condition upon the expiration or termination of this License, ordinary wear and tear and loss by fire, flood, or act of God excepted.

5. USE. Licensee covenants and agrees that it shall utilize, and the City hereby permits and grants a license therefore, (a) the Northern Licensed Property for: a retail drive-through isle, vehicular and pedestrian ingress and egress to and from the property owned by Licensee which is directly adjacent to the Licensed Property (the "Adjacent Property") to 104th Avenue, utilities, landscaping and other related improvements to the Adjacent Property, and (b) the Southern Licensed Property for: utilities, landscaping and other related improvements to the Adjacent Property, including, without limitation, that certain existing or future fencing situated thereon and identified in Exhibit A as the "Fence", and for no other purpose and not to use the Licensed Property or permit it to be used for purposes prohibited by the laws of the applicable United States, State of Colorado, or any political subdivision thereof. The Adjacent Property is more particularly described in Exhibit B attached hereto and incorporated herein.

6. RE-ENTRY. Licensee covenants and agrees to permit the City or its duly authorized representatives to enter upon the Licensed Property, at any reasonable hour of the day, for the purpose of inspecting the same, making surveys, and to do such other acts and things as it deems necessary for the protection of its interests therein.

7. NOTICE. Any notice required under this License shall be in writing and mailed by certified mail to the respective parties at the address hereinabove given. The Parks Foreman shall be the representative of the City to accept or give any approval, notice or the like provided hereunder. In the event Licensee should change the address hereinabove given during the term of this License, Licensee shall notify the City in writing of such change of address:

The City: _____
City of Northglenn
P.O. Box 330061
Northglenn, CO 80233-8061

Licensee: c/o Wadsworth Development Group, LLC
Attn: R. Roman Groesbeck
166 E. 14000 S., Suite 210,
Draper, UT 84020

8. NO COVENANT OF TITLE OR QUIET POSSESSION. Except to the extent expressly provided herein, the rights granted herein are without covenant of title or warranty of quiet possession of the Licensed Property and no water or water rights are granted by this License.

9. SUCCESSORS AND ASSIGNS. Subject to the terms and conditions of this License Agreement, the provisions of this License Agreement shall be considered a covenant that runs with the land herein described and this License shall inure to the benefit of, and be binding upon, the respective legal representatives, heirs, successors and assigns of the parties.

10. ASSIGNMENT OR SUB-LEASE. Licensee covenants and agrees not to assign this License or to sublet any part of the Licensed Property without first obtaining the written consent of the City, which consent shall not be unreasonably withheld, conditioned or delayed.

11. PROPERTY LICENSED TAKEN "AS IS." Except to the extent expressly provided herein, Licensee understands and agrees that the Licensed Property is licensed "as is." The City makes no warranty, written or implied, that the Licensed Property is fit for any purpose or that it meets any federal, state, county or local law, ordinance or regulation applying to the Licensed Property.

12. LIABILITY AND INDEMNIFICATION. Except for acts directly attributable to the City, the City shall not be liable for any loss, injury, death or damage to any person or personal property which may arise from the use or condition of the Licensed Property including, but not limited to, loss, injury, death, or damage resulting from ice, water, rain, snow, gas, electrical wires, fire, theft, burst pipes or plumbing failures during the term of the License or any renewal thereof. Licensee hereby expressly agrees to defend, indemnify and hold harmless the City, its officers, agents, employees and insurers against any liability, loss, damage, demand, action, cause of action or expense of whatever nature (including court costs and attorney fees) which may result from any loss, injury, death or damage allegedly sustained by any person, firm, corporation or other entity which arises out of or is caused by reason of Licensee's negligent use of the Licensed Property or Licensee's failure, after written notice to cure from the City which cure remains uneffected, to fulfill the terms and conditions of the License.

13. RESERVATION FOR COUNCIL USE. This License is made under and conformable to the provisions of all City of Northglenn regulations insofar as applicable. Said provisions are incorporated herein and made part hereof by this reference and shall supersede any apparently conflicting provisions otherwise contained in the License. The City reserves the right to, at the City's cost and expense, make full use of the Licensed Property as may be necessary or convenient in the operation of the City's drainage infrastructure or drainageways under the control of the City, and the City retains all rights to, at the City's cost and expense, operate, maintain, install, repair, remove or relocate any of its facilities located within the Licensed Property at any time and in such a manner as it deems necessary, but with no less than sixty (60) days prior written notice to Licensee.

14. TERMINATION.

a. This License Agreement may be terminated by the City at any time upon one hundred and twenty (120) days written notice to Licensee; provided, notwithstanding any termination of this License Agreement, and without in any way limiting any easements and other encumbrances of record benefiting the Adjacent Property, Licensee shall be entitled to: (i) vehicular and pedestrian ingress and egress to and from the Adjacent Property over the Northern Licensed Property to 104th Avenue, and City shall not prevent Licensee or otherwise erect any improvement or permanent barrier which would prohibit such ingress or egress, and (ii) keep the Fence erected and situated on the Southern Licensed Property .

b. If default shall be made in any of the covenants or agreements herein contained to be kept by Licensee, it shall be lawful for the City to enter into the said Licensed Property, or any part thereof, either with or without process of law, to terminate the interest of Licensee or of any person or persons occupying the same, and to expel, remove or put out such person or persons, using such force as may be necessary in so doing, without being liable to prosecution or to damages therefor, and the said Licensed Property again to repossess and enjoy as in the first and former estate of the City. If at any time the License shall be terminated as aforesaid, or by any other means, Licensee agrees to surrender and deliver up said Licensed Property peaceably to the City immediately upon the termination, and if Licensee shall remain in possession after termination, Licensee shall be deemed guilty of a forcible detainer on said property Licensed, and waiving all notice, shall be subject to eviction and removal, forcibly or otherwise, with or without process of law.

15. VENUE. For the resolution of any dispute arising hereunder, venue shall be in the courts of Adams County, State of Colorado.

16. RECORDING. The Licensee shall be entitled to cause this License Agreement to be recorded in the Office of the County Recorder of Adams County, Colorado.

IN WITNESS WHEREOF, the parties hereto each herewith subscribe the same in triplicate.

CITY OF NORTHGLENN, COLORADO

By: _____
Joyce Downing, Mayor

ATTEST:

Johanna Small, CMC, City Clerk

APPROVED AS TO FORM:

Corey Y. Hoffmann, City Attorney

LICENSEE

By: **SBX Helena Lyndale Ave., LLC**
a Utah limited liability company

By: Wadsworth & Sons IV, LLC
Its: Manager

By: **NATE BALLARD**

Its: **COO**

ATTEST:



Project Manager 3/10/17
Title Date

EXHIBIT A

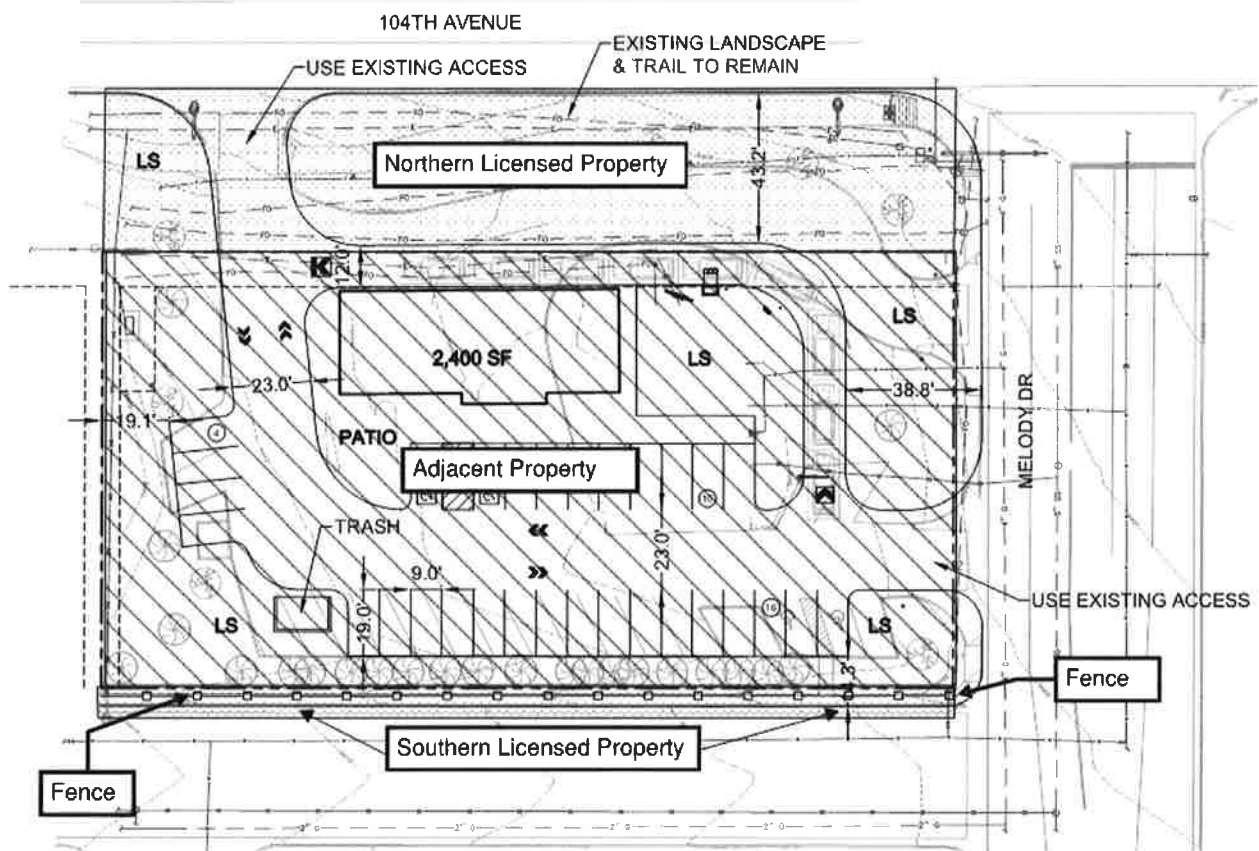


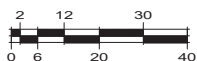
EXHIBIT B

(Legal Description of Adjacent Property)

LOTS 2, 3 AND 4, BLOCK 1, NORTHGLENN SEVENTEENTH FILING, COUNTY OF ADAMS, STATE OF COLORADO.

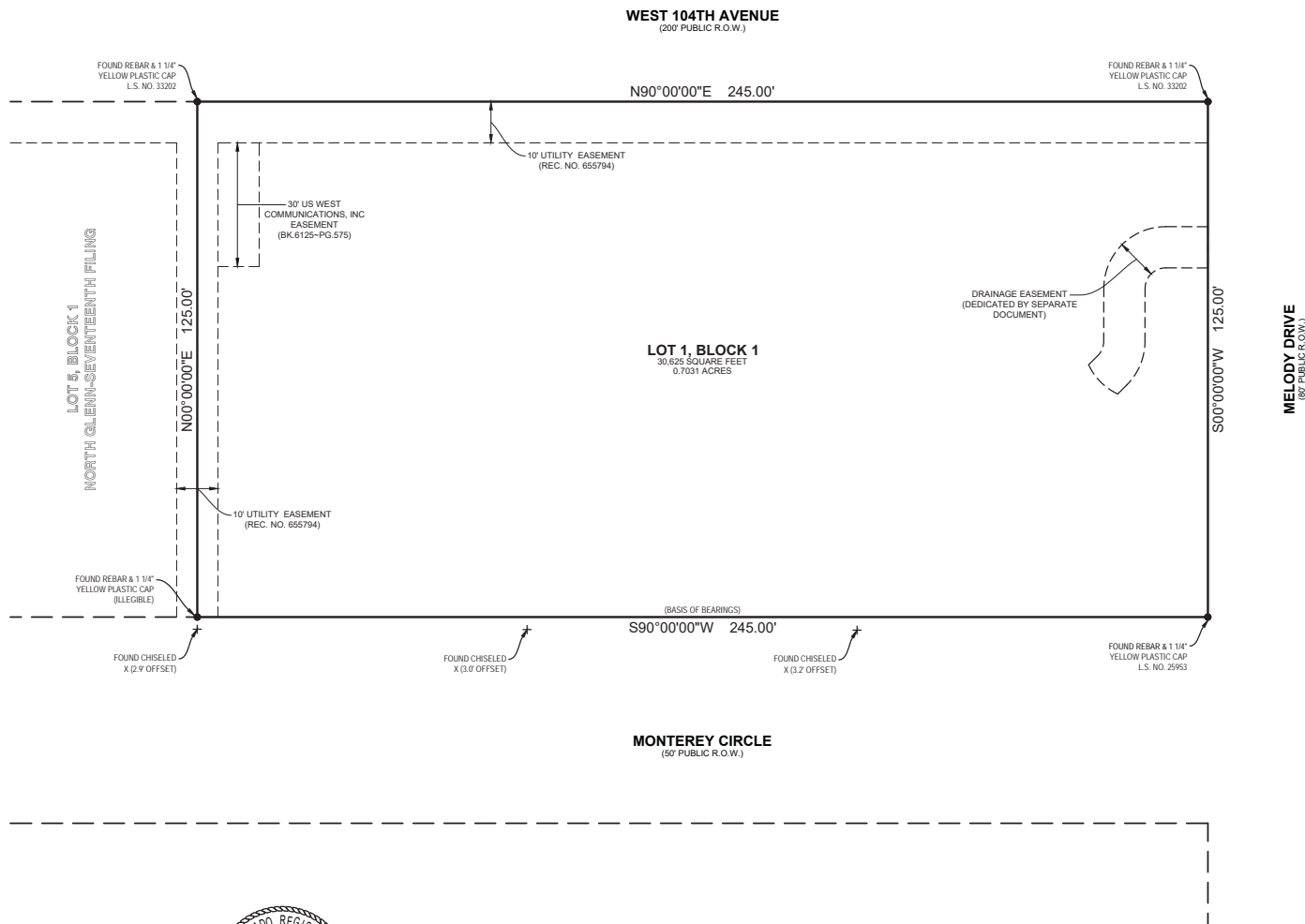
104TH AND MELODY SUBDIVISION FILING NO. 1

A RESUBDIVISION OF LOTS 2, 3 AND 4, BLOCK 1, NORTH GLENN - SEVENTEENTH FILING
 SITUATED IN THE NW 1/4 OF SECTION 15, T.2S., R.68W. OF THE 6TH P.M.
 CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 2



Scale: 1" = 20'

LEGEND	
	PLAT BOUNDARY LINE
	ADJACENT LOT/PARCEL LINES
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
R.O.W.	RIGHT-OF-WAY
L.S. NO.	LAND SURVEYOR NUMBER
BK. PG.	BOOK AND PAGE
REC. NO.	RECEPTION NUMBER



ESC ENGINEERING SERVICE COMPANY
 Creative Solutions Since 1964
 CIVIL ENGINEERS & LAND SURVEYORS

14190 East Evans Avenue
 Aurora, Colorado 80014
 engineering@escserviceco.com
 P 303.337.1393
 F 303.337.7481
 T/F 1.877.273.0659

Survey No. 16234-P	Project No. 228.018	Date 4/26/2017	Revised 6/5/2017
--------------------	---------------------	----------------	------------------

NOTICE:
 ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
 ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT, LAND BOUNDARY MONUMENT, OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR, PURSUANT TO STATE STATUTE 18-4-508 OF THE COLORADO REVISED STATUTES.



Starbucks at 104th Rezone to PUD
Case # 17-39

Presented to:
The Northglenn City Council:
June 26, 2017



REQUEST

The applicant (SBX Helena Lyndale Ave. LLC) is seeking approval of a rezone to Planned Unit Development (PUD) in conjunction with the development of a new 2,400 square foot drive-thru facility for a national coffee retailer.



SITE CHARACTERISTICS

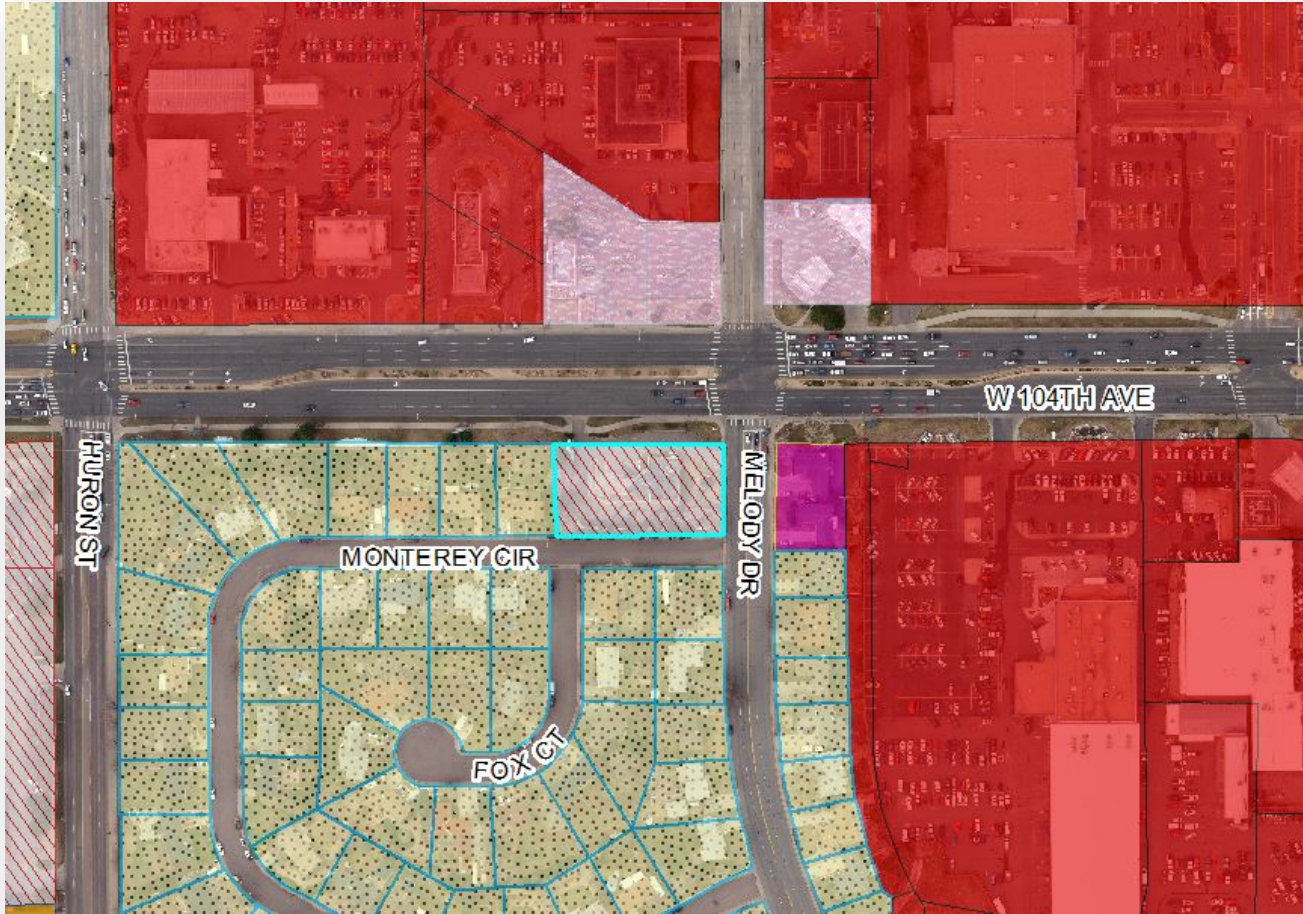
- Consists of a vacant building (formerly Belco Credit Union).
- .7 acre site.
- Located: SW corner of W. 104th Avenue and Melody Drive.
- Address: 550 W. 104th Avenue.
- Site is surrounded by 3 rights-of-way – 104th, Melody, and Monterey.
- Existing access from 104th and Melody to remain.
- Proposed building: 2,400sq. ft.



















VICINITY MAP



ZONING: C-4



-  A-1
-  C-0
-  C-1
-  C-3
-  C-4
-  C-5
-  I-2
-  O-1
-  P.U.D.
-  R-1-A
-  R-1-B
-  R-1-C
-  R-2
-  R-3
-  R-3-A
-  R-4

	Zoning	Land Use
North	PUD (north of 104 th Avenue)	Existing McDonald's and Taco Bell drive-thru restaurants
South	R-1-B (south of Monterey Circle)	Existing single family detached residential
East	C-0	Existing office
West	R-1-B	Existing single family detached residential



ANALYSIS

Land Use/Compatibility:

- Current Zoning: C-4 Commercial
- The Rezone to PUD would allow for:
 - An encroachment of the driveway within the ROW
 - Minor deviation from landscaping requirements.
- On March 27 City Council approved a License Agreement with the applicant to allow for encroachments into the ROW:
 1. Driveway entrance on 104th
 2. Drive-thru aisle
 3. Site landscaping
 4. Existing fencing (along Monterey)

Land Use/Compatibility:

- Because the site has 3 frontages on ROW's, the code stipulates that each frontage meet the front setback requirements (no improvements permitted).
 1. Although the drive-thru meets the setback (25' from the edge of curb), it encroaches into the ROW.
 2. The parking area is 14.4' from the edge of curb (Monterey). No greater encroachment than what is existing today.

Architecture and Elevations:

- Façade will include a mix of glass, block, stucco, and wood.
- Façade includes horizontal and vertical relief.



ANALYSIS

Parking and Circulation:

- Total Parking: 31 spaces provided
- Ratio: 1 stall for every 3 seats, plus 1 stall for every 2 employees.
- 23 required per code.

Drainage:

- P.W. Department reviewed and approved the Drainage Report for this development.

Traffic

- Public Works reviewed and approved the TIA.
- Access points to remain as are currently existing.



ANALYSIS

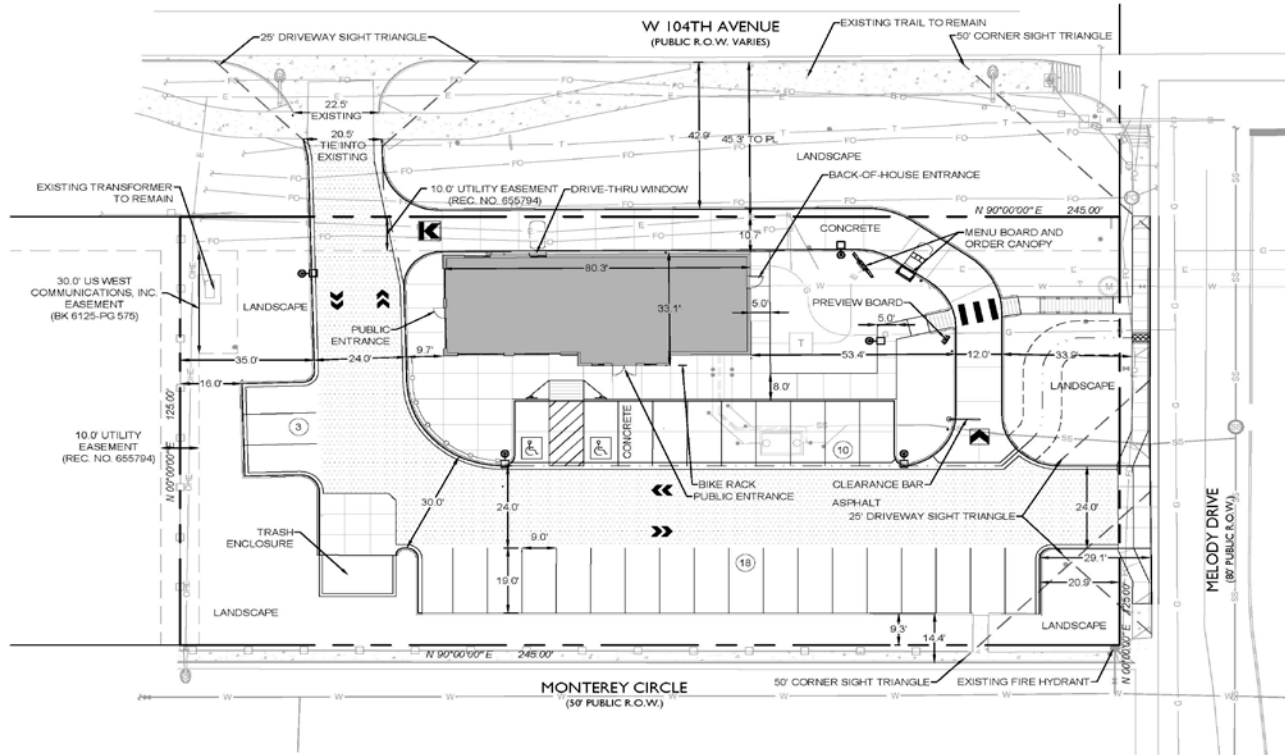
Landscaping:

- 33.1% landscaping coverage (exceeds code).
- Trees required: 14 shade, 11 ornamental.
- Existing site includes 7 shade trees and 25 evergreens (removal of only 2 trees to accommodate development).
- Adding additional trees would be difficult with the existing tree canopy on site.
- Code requires a landscape buffer between commercial and residential uses.
 - Existing 6' solid wood fence and existing evergreen trees
 - Staff is requesting a condition requiring the fence to be maintained so as to provide the necessary buffer.

STARBUCKS AT 104TH & MELODY

LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD

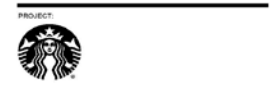


PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO: 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO: 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO: 3	DATE: -	BY: -
DESCRIPTION: -		
NO: 4	DATE: -	BY: -
DESCRIPTION: -		
NO: 5	DATE: -	BY: -
DESCRIPTION: -		
NO: 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: 03/08/2017	SCALE: 1" = 20'
PROJECT MANAGER: CMP	PROJECT NO: -
DRAWN BY: CMP	DRAWING FILE: -

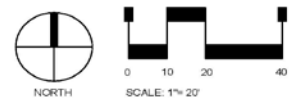


STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
TEL: (206) 318-1575

LEGEND

<ul style="list-style-type: none"> R.O.W. / PROPERTY LINE ADJOINING PROPERTY EASEMENT LINE EXISTING SIDEWALK EXISTING CURB & GUTTER PROPOSED CURB AND GUTTER PROPOSED SIDEWALK CONCRETE PAVEMENT EXISTING SIGN PROPOSED SIGNS 	<ul style="list-style-type: none"> EXISTING FENCE TO REMAIN PROPOSED PATIO FENCE DIRECTIONAL PAVEMENT ARROWS
---	--





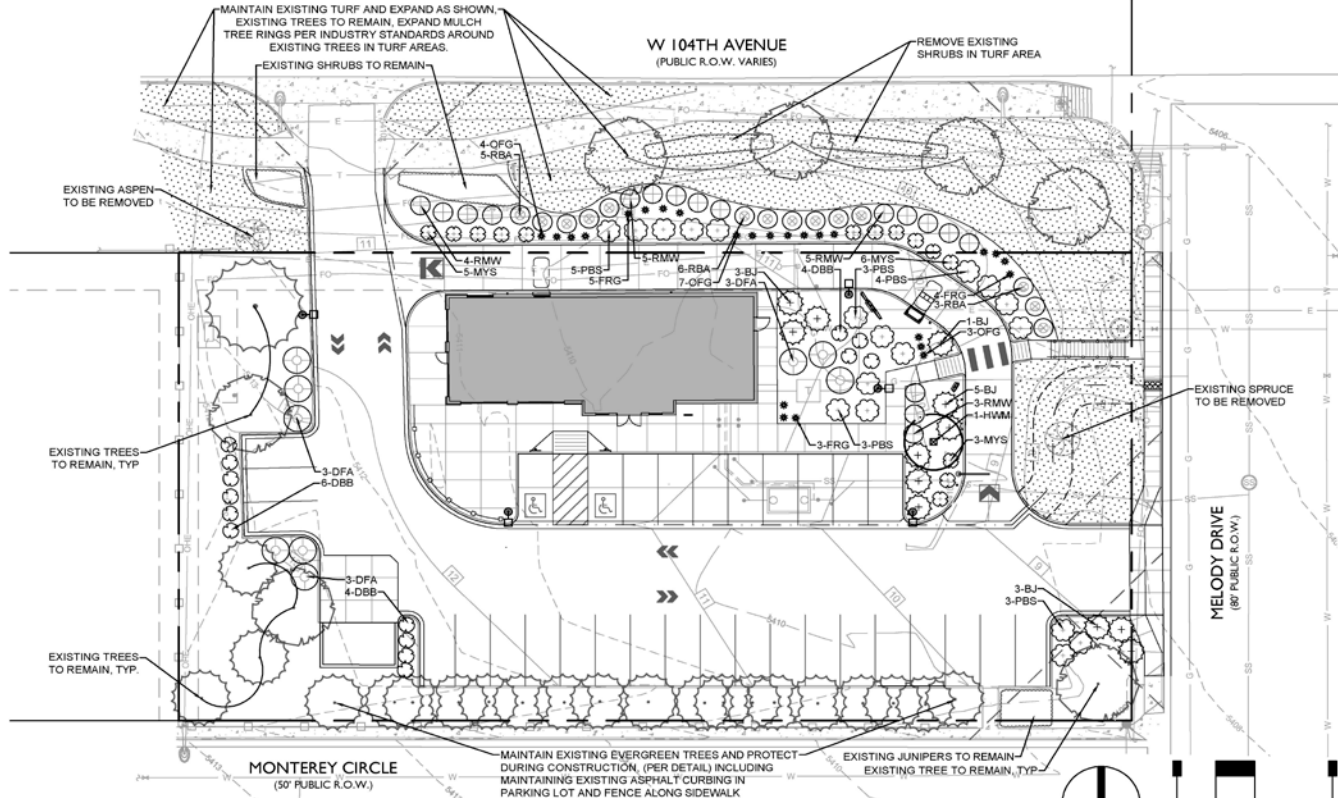
STARBUCKS AT 104TH & MELODY

LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1,
CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD

Sterling Design Associates, Inc
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com



PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: 03/08/2017	SCALE: 1" = 20'
PROJECT MANAGER: CP	PROJECT NO: -
DRAWN BY: CP	DRAWING FILE: -



STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
5 OF 10

PLANT LIST

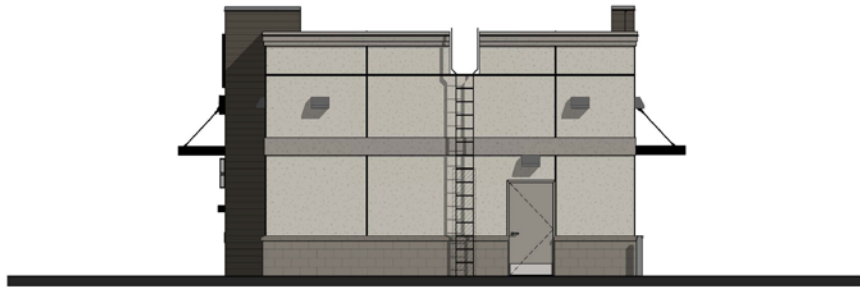
QTY	SYM.	COMMON NAME	SCIENTIFIC NAME	SIZE	QUALITY
DECIDUOUS ORNAMENTAL TREES					
1	HWM	HOT WINGS MAPLE	ACER TATARICUM 'GARANN'	1.5" CAL	MULTI-STEM
EVERGREEN SHRUBS					
12	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL	CONTAINER, 24" SPREAD
DECIDUOUS SHRUBS					
14	RBA	RED BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL	CONTAINER
14	DBB	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTA'	5 GAL	CONTAINER
9	DFA	ARNOLD DWARF FORSYTHIA	FORSYTHIA 'ARNOLD DWARF'	5 GAL	CONTAINER
18	PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI	5 GAL	CONTAINER
17	RMW	MEDILAND® ROSE, ALBA	ROSA SP. 'MELCOUBLAN'	5 GAL	CONTAINER
14	MYS	MELLOW YELLOW SPIREA	SPIREA THUNBERGII 'MELLOW YELLOW'	5 GAL	CONTAINER
ORNAMENTAL GRASSES					
11	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL	WELL ESTABLISHED
14	OFG	ORIENTAL FOUNTAIN GRASS	PENNISETUM ORIENTALE	1 GAL	WELL ESTABLISHED

TREE REQUIREMENT DATA

STREET	REQUIRED	PROVIDED	EXISTING TREE DIAM.
W. 104TH AVENUE	1 CANOPY / 40 LF, 1 ORNAMENTAL / 50 LF 245'-24"=221 LF, 6 CANOPY, 5 ORN.	4 CANOPY (EXIST)	64"
MELODY DRIVE	125'-24"=101 LF, 3 CANOPY, 2 ORN.	1 CANOPY (EXIST), 1 ORN (NEW)	0"
MONTEREY CIRCLE	245 LF, 6 CANOPY, 5 ORN.	20 EVERGREEN (EXIST)	182"
OTHER ON-SITE	N/A	2 CANOPY (EXIST), 4 EVERGREEN (EXIST)	120"
TOTAL	15 CANOPY, 12 ORN. = 27 TOTAL	7 CANOPY, 1 ORN, 24 EVERGREEN = 32 TOTAL	366"



① SOUTH ELEVATION
Scale: 1/8" = 1'-0"



② EAST ELEVATION
Scale: 1/8" = 1'-0"



THE RICHARDSON DESIGN PARTNERSHIP, L.L.C.
210 South 1000 East
Salt Lake City, Utah 84103
PHONE: 313.000.0000
FAX: 313.000.0000



WARDSWORTH DEVELOPMENT
100 E. 1400 S. SUITE 210
SALT LAKE CITY, UT 84119
OWNERS

STARBUCKS COFFEE
650 W. 104th AVE.
NORTHGLEN, CO 80233
PROJECT

NO.	REVISION

EXTERIOR ELEVATIONS
A-201
SHEET #



① NORTH ELEVATION
1/8" = 1'-0"



② WEST ELEVATION
1/8" = 1'-0"



THE
RICHARDSON
DESIGN
PARTNERSHIP,
L.L.C.

800 South 400 East
Salt Lake City, Utah 84143
P: 801-224-2000
F: 801-224-2000



STATE OF COLORADO
REGISTERED PROFESSIONAL ENGINEER
W. J. WADSWORTH
LICENSED ANNUALLY

WADSWORTH
DEVELOPMENT
HAS A LICENSE TO
DESIGN CONTRACTS
IN COLORADO

OWNER

STARBUCKS COFFEE

550 W 104th AVE.
Northglenn, CO 80233

PROJECT

NO.	REVISION	DATE

EXTERIOR
ELEVATIONS

PROJECT # 18288
DATE 08/20/2018
DRAWN BY: J. O'NEIL
SHEET #

A-202



CITY COUNCIL OPTIONS

1. Approve the requests with or without conditions or stipulations;
2. Deny this request for reasons stated;
or
3. Table the request for further consideration.



RECOMMENDATION

Staff is recommending the City Council consider approval of CB-1890 to rezone the subject site to PUD.

SPONSORED BY: MAYOR DOWNING

COUNCILMAN'S BILL

ORDINANCE NO.

No. CB-1890
Series of 2017

Series of 2017

A BILL FOR A SPECIAL ORDINANCE REZONING FROM C-4 COMMERCIAL TO PLANNED UNIT DEVELOPMENT (PUD), CERTAIN REAL PROPERTY IN THE CITY OF NORTHGLENN LOCATED AT 550 W. 104TH AVENUE IN THE COUNTY OF ADAMS, STATE OF COLORADO, AND AMENDING THE ZONING MAP OF THE CITY OF NORTHGLENN

WHEREAS, all of the property described in **Exhibit A** is currently zoned C-4 with a legal description as follows:

Lots 2-4, Block 1, Northglenn Seventeenth Filing, City of Northglenn, County of Adams, State of Colorado.

WHEREAS, the City Council desires to rezone the property described in **Exhibit A** to PUD, pursuant to the “Starbucks at 104th and Melody Preliminary & Final PUD” attached hereto as **Exhibit B**.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTHGLENN, COLORADO, THAT:

Section 1. Findings of Fact. The City Council hereby makes the following findings of fact:

- (a) The proposed development is compatible with the surrounding area;
- (b) The proposed development is not inconsistent with the City’s Master Plan;
- (c) The proposed development does not adversely affect the health, safety, and welfare of the inhabitants of the area and the City of Northglenn;
- (d) Adequate circulation exists and traffic movement will not be impeded by the proposed development; and
- (e) Additional municipal service costs will not be incurred.

Section 2. Rezoning. Pursuant to the provisions of the Northglenn Zoning Ordinance, as amended, and upon the recommendation of the Northglenn Planning Commission (Case No. Z-3-17), a zoning change to Planned Unit Development (PUD) is hereby allowed and granted for the real property in the City of Northglenn, Colorado described in the attached **Exhibit A**, pursuant to the “Preliminary & Final PUD” attached as **Exhibit B**.

Section 3. Change of Zone Maps. The official zoning map of the City of Northglenn, pursuant to the provisions of Section 11-3-1 of the Municipal Code of the City of Northglenn, as amended, and the Comprehensive Master Plan of the City of Northglenn shall be and hereby are ordered amended to conform with the provisions of this Ordinance.

Section 4. Violations-Penalty. Violations of the provisions of this Ordinance shall be punishable under the provisions provided in Section 1-1-10 of the Northglenn Municipal Code.

INTRODUCED, READ AND ORDERED POSTED this ____ day of _____, 2017.

JOYCE DOWNING
Mayor

ATTEST:

JOHANNA SMALL, CMC
City Clerk

PASSED ON SECOND AND FINAL READING this ____ day of _____, 2017.

JOYCE DOWNING
Mayor

ATTEST:

JOHANNA SMALL
City Clerk

APPROVED AS TO FORM:

COREY Y. HOFFMANN
City Attorney

EXHIBIT A

LEGAL DESCRIPTION

Lots 2-4, Block 1, Northglenn Seventeenth Filing, City of Northglenn, County of Adams, State of Colorado.

EXHIBIT B

[ATTACH PRELIMINARY PUD]

STARBUCKS AT 104TH & MELODY

LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

SITE USE INFORMATION

ALLOWED USES:

IN ADDITION TO THOSE SET FORTH IN ARTICLE 23 OF CHAPTER 11 (C-4 ZONING) OF THE NORTHGLENN MUNICIPAL CODE, THE FOLLOWING USES SHALL BE USES-BY-RIGHT:
TELEPHONE EXCHANGES
RESTAURANTS INCLUDING THOSE WITH DRIVE-THRU SERVICES
ALL USES ALLOWED IN THE C-4 ZONE DISTRICT

MINIMUM BUILDING SETBACKS:

NORTH (W. 104TH AVENUE) PROPERTY LINE - 10.0' MIN.
EAST (MELODY DRIVE) PROPERTY LINE - 20.0' MIN.
SOUTH (MONTEREY CIRCLE) PROPERTY LINE - 50.0' MIN.
WEST PROPERTY LINE - 55.0' MIN.

PARKING SETBACKS:

NORTH (W. 104TH AVENUE) PROPERTY LINE - 25.0' MIN.
EAST (MELODY DRIVE) PROPERTY LINE - 20.0' MIN.
SOUTH (MONTEREY CIRCLE) PROPERTY LINE - 9.0' MIN. (MAINTAIN EXIST. CONDITION)
WEST PROPERTY LINE - 15.0' MIN.

PARKING

AT A MINIMUM, PARKING REQUIREMENTS SHALL BE PER SECTION 11-33-6 OF THE ZONING ORDINANCE.

BUFFER LANDSCAPE:

THE LANDSCAPE BUFFERS ON THE WEST AND SOUTH SIDE SHALL REMAIN IN PLACE AND BE MAINTAINED IN THE FUTURE AS A BUFFER TO THE ADJACENT RESIDENTIAL. THIS SPECIFICALLY INCLUDES:
WEST - DISTANCES AS SHOWN BETWEEN PARKING AND THE PROPERTY LINE, EXISTING TREES.
SOUTH - EXISTING EVERGREEN TREES AND EXISTING FENCING

ENCROACHMENTS INTO RIGHT-OF-WAY:

PER THE APPROVED LICENSE AGREEMENT (RECORDATION # _____), DRIVEWAYS AS SHOWN ARE ALLOWED TO BE CONSTRUCTED IN THE CITY'S 104TH AVENUE RIGHT-OF-WAY AREA.
SIGNS AS PER THE APPROVED LICENSE AGREEMENT (RECORDATION # _____) ARE ALSO ALLOWED IN THE 104TH RIGHT-OF-WAY.
THE EXISTING FENCE ALONG MONTEREY CIRCLE IS ALLOWED TO REMAIN, BE MAINTAINED OR REPLACED IN-KIND.

DEVIATIONS FROM ZONING REGULATIONS:

THE LOCATION OF SITE IMPROVEMENTS (DRIVE-THRU LANE) ON ADJACENT PROPERTY
PARKING SETBACKS - SOUTH (MONTEREY CIRCLE) PROPERTY LINE
TREE REQUIREMENTS ON STREET FRONTAGE - EXISTING TREE PRESERVATION

PROPOSED SCHEDULE FOR CONSTRUCTION:

CONSTRUCTION START - JUNE 2017
OPEN FOR BUSINESS - DECEMBER 2017
THE CITY OF NORTHGLENN RESERVES THE RIGHT TO PERIODICALLY REVIEW THIS PUD FOR CONFORMANCE WITH ITS PROPOSED CONSTRUCTION SCHEDULE AND, WHEN APPROPRIATE, REZONE THIS PROPERTY TO A DIFFERENT ZONING CLASSIFICATION.

DEVELOPMENT CONTACTS:

CIVIL ENGINEER / LANDSCAPE ARCHITECT

STERLING DESIGN ASSOCIATES, LLC
2009 W. LITTLETON BLVD., #300
LITTLETON, CO 80120
PH: (303) 794-4727
CONTACT: CINDY PEDRIOLI
E-MAIL: cindy@sterlingdesignassociates.com

SURVEYOR

ENGINEERING SERVICE COMPANY
14190 E. EVANS AVE.
AURORA, CO 80014
PH: (303) 337-1393
CONTACT: CHARLES BECKSTROM
E-MAIL: cbeckstrom@engineeringserviceco.com

APPLICANT / DEVELOPER

WADSWORTH DEVELOPMENT GROUP
166 E. 14000 S., SUITE 210
DRAPER, UT 84020
PH: (801) 748-4088
CONTACT: BRAD WATSON
EMAIL: brad@wadstdev.com

ARCHITECT

THE RICHARDSON DESIGN
PARTNERSHIP
510 S 600 E
SALT LAKE CITY, UT 84102
PH: (801) 355-6968
CONTACT: CHRIS BROWN
E-MAIL: cdbrown@trdp.com

VICINITY MAP



SITE DATA

PROPOSED USES	COFFEE SHOP WITH DRIVE-THRU	
ZONING - EXISTING AND PROPOSED	C-4	PUD
	SQUARE FOOTAGE OR ACREAGE	PERCENTAGE OF TOTAL AREA
TOTAL AREA OF PROPERTY	30,625 SF	100%
TOTAL BUILDING COVERAGE	2,400 SF	7.8%
TOTAL LANDSCAPE COVERAGE	10,128 SF	33.1%
TOTAL LOT COVERAGE BY STRUCTURES & PAVING	27,197 SF	88.8%
	REQUIRED (PER 11-33-6(I))*	PROVIDED
NUMBER OF PARKING SPACES	23	31
NUMBER OF HANDICAP SPACES	1	2

* PARKING REQUIREMENT IS 1 SPACE / 3 SEATS, PLUS 1 SPACE / 2 EMPLOYEES ON LARGEST SHIFT. A STARBUCKS THIS SIZE WILL LIKELY HAVE 35 INTERIOR SEATS AND 24 PATIO SEATS, PLUS 6 EMPLOYEES IS 3 ADDITIONAL SPACES = EQUALS 23 PARKING SPACES REQUIRED.

LEGAL DESCRIPTION

LOTS 2, 3, AND 4, BLOCK 1, NORTH GLENN SEVENTEENTH FILING, SITUATED IN THE NW 1/4 OF SECTION 15, T2S, R68W OF THE 6TH P.M., CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO.

SHEET INDEX

1 OF 10	COVER SHEET
2 OF 10	SITE PLAN
3 OF 10	GRADING & DRAINAGE PLAN
4 OF 10	UTILITY PLAN
5 OF 10	LANDSCAPE PLAN
6 OF 10	LANDSCAPE DETAILS
7 OF 10	ARCHITECTURAL ELEVATIONS
8 OF 10	ARCHITECTURAL ELEVATIONS
9 OF 10	PHOTOMETRIC PLAN
10 OF 10	PHOTOMETRIC DETAILS

OWNER:

I, _____, ON BEHALF OF SBX HELENA LYNDAL AVE., LLC, HEREBY AFFIRM THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREIN, KNOWN AS STARBUCKS AT 104TH & MELODY.

OWNER _____ DATE _____

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2017,
BY _____

WITNESS MY HAND AND OFFICIAL SEAL,

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

ENGINEER'S CERTIFICATE:

I, RYAN J LOFTUS, A REGISTERED PROFESSIONAL ENGINEER, DO CERTIFY THAT THE GRADING, DRAINAGE, AND UTILITY PLANS FOR THE STARBUCKS AT 104TH & MELODY PUD WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ENGINEER _____ DATE _____

APPROVAL LIST:

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

DIRECTOR OF COMMUNITY DEVELOPMENT _____ DATE _____

DIRECTOR OF PUBLIC WORKS AND UTILITIES _____ DATE _____

MAYOR _____ DATE _____

CITY CLERK _____ DATE _____

CERTIFICATE OF CLERK AND RECORDER:

THIS PUD WAS FILED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER IN THE COUNTY OF ADAMS, STATE OF COLORADO, THIS _____ DAY OF _____, 2017, AND ENTERED INTO PLAT BOOK _____ AT PAGE _____, RECEPTION NO. _____

BY: _____
DEPUTY _____

CLERK AND RECORDER _____

MY COMMISSION EXPIRES _____

INSTRUMENT NO. _____

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: 03/08/2017	SCALE: N/A
PROJECT MANAGER: CMP	PROJECT NO.: -
DRAWN BY: CMP	DRAWING FILE: -

PROJECT:



STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

1 OF 10

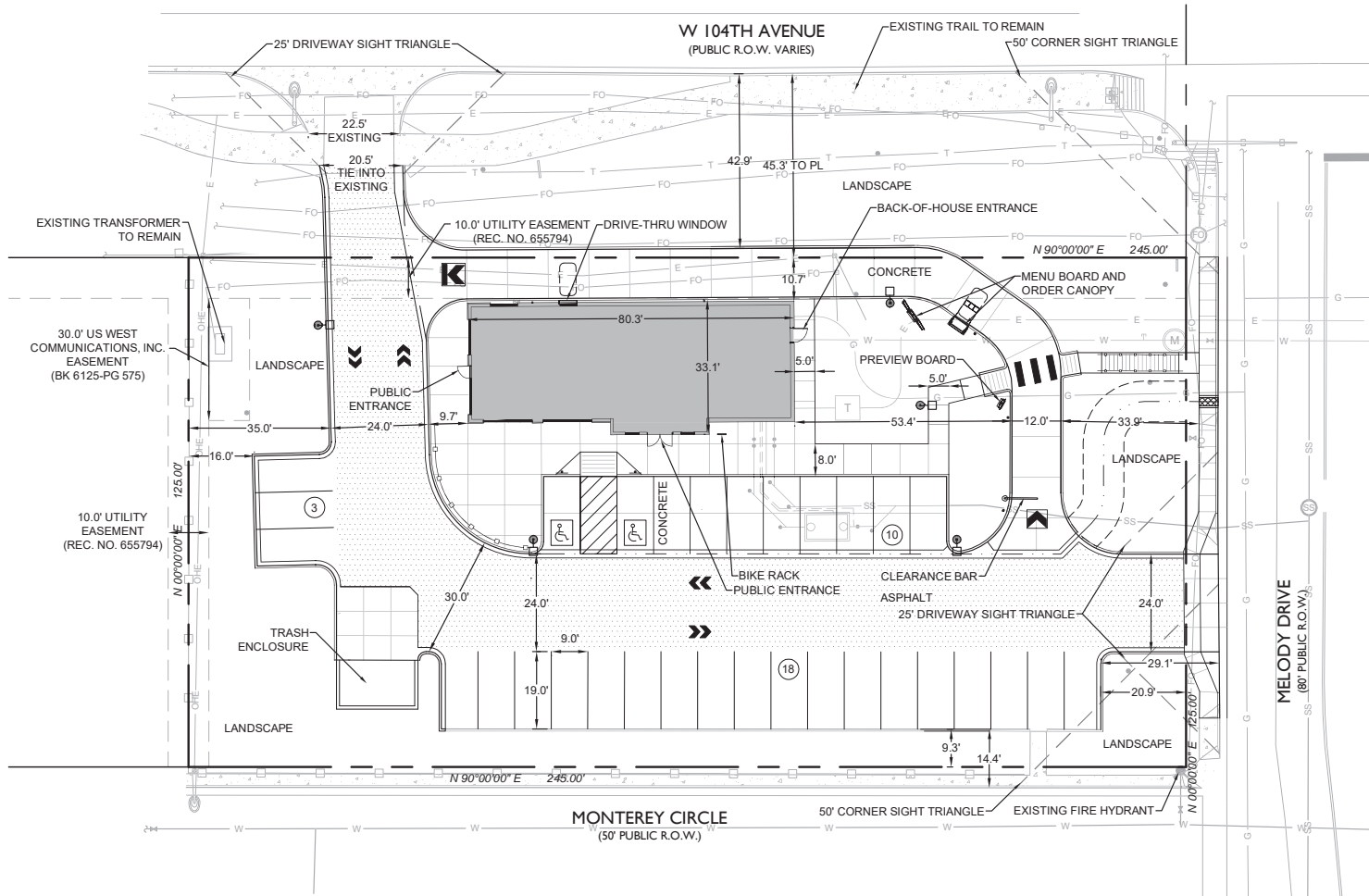
STARBUCKS AT 104TH & MELODY

LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com



PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: 03/08/2017	SCALE: 1" = 20'
PROJECT MANAGER: CMP	PROJECT NO.: -
DRAWN BY: CMP	DRAWING FILE: -

PROJECT:

STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
2 OF 10

LEGEND

<ul style="list-style-type: none"> R.O.W. / PROPERTY LINE ADJOINING PROPERTY EASEMENT LINE EXISTING SIDEWALK EXISTING CURB & GUTTER PROPOSED CURB AND GUTTER PROPOSED SIDEWALK CONCRETE PAVEMENT EXISTING SIGN PROPOSED SIGNS 	<ul style="list-style-type: none"> EXISTING FENCE TO REMAIN PROPOSED PATIO FENCE DIRECTIONAL PAVEMENT ARROWS <div style="text-align: center; margin-top: 20px;"> NORTH SCALE: 1" = 20' </div>
---	--

STARBUCKS AT 104TH & MELODY

LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

**PRELIMINARY
NOT FOR CONSTRUCTION**

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: 03/08/2017	SCALE: 1" = 20'
PROJECT MANAGER: CMP	PROJECT NO.:
DRAWN BY: RJL	DRAWING FILE:

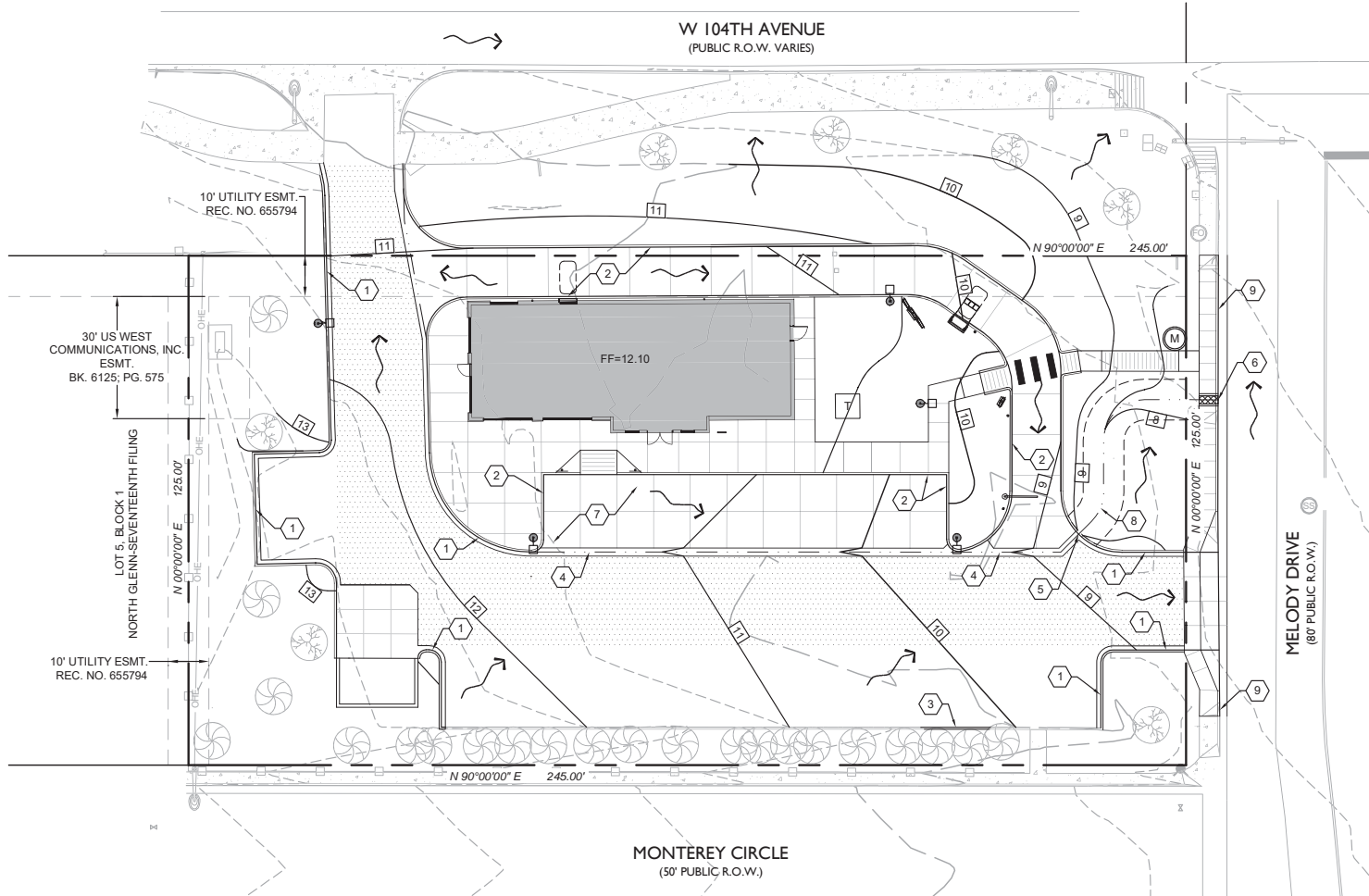
PROJECT:

STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
TEL: (206) 318-1575

SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
3 OF 10



CONSTRUCTION NOTES

- 1) CONSTRUCT 6-INCH VERTICAL CONCRETE CURB AND GUTTER WITH 1-FOOT PAN.
- 2) CONSTRUCT 6-INCH VERTICAL CONCRETE CURB MONOLITHIC TO THE ADJOINING PAVING.
- 3) CONSTRUCT 6-INCH ASPHALT CURB MONOLITHIC TO THE ADJOINING PAVING.
- 4) CONSTRUCT 2-FOOT CONCRETE PAN.
- 5) CONSTRUCT 2-FOOT WIDE CURB CUT WITH 5-FOOT TAPER EITHER SIDE.
- 6) CONSTRUCT SIDEWALK CHASE.
- 7) CONSTRUCT HANDICAP PARKING AREA - NO GRADES GREATER THAN 2.0% IN ANY DIRECTION.
- 8) CONSTRUCT LANDSCAPE SWALE.
- 9) CONSTRUCT PUBLIC CURB AND GUTTER WITH ATTACHED WALK.

LEGEND

	R.O.W. / PROPERTY LINE		EXIST. SIGN
	ADJOINING PROPERTY EASEMENT LINE		PROP. SIGN
	EXIST. SIDEWALK		EXIST. CONTOUR
	EXIST. CURB & GUTTER		PROP. CONTOUR
	PROP. CURB AND GUTTER		FLOW DIRECTION ARROW
	PROP. SIDEWALK		
	CONCRETE PAVEMENT		
	EXIST. SAN. MANHOLE		
	EXIST. WATER VALVE		

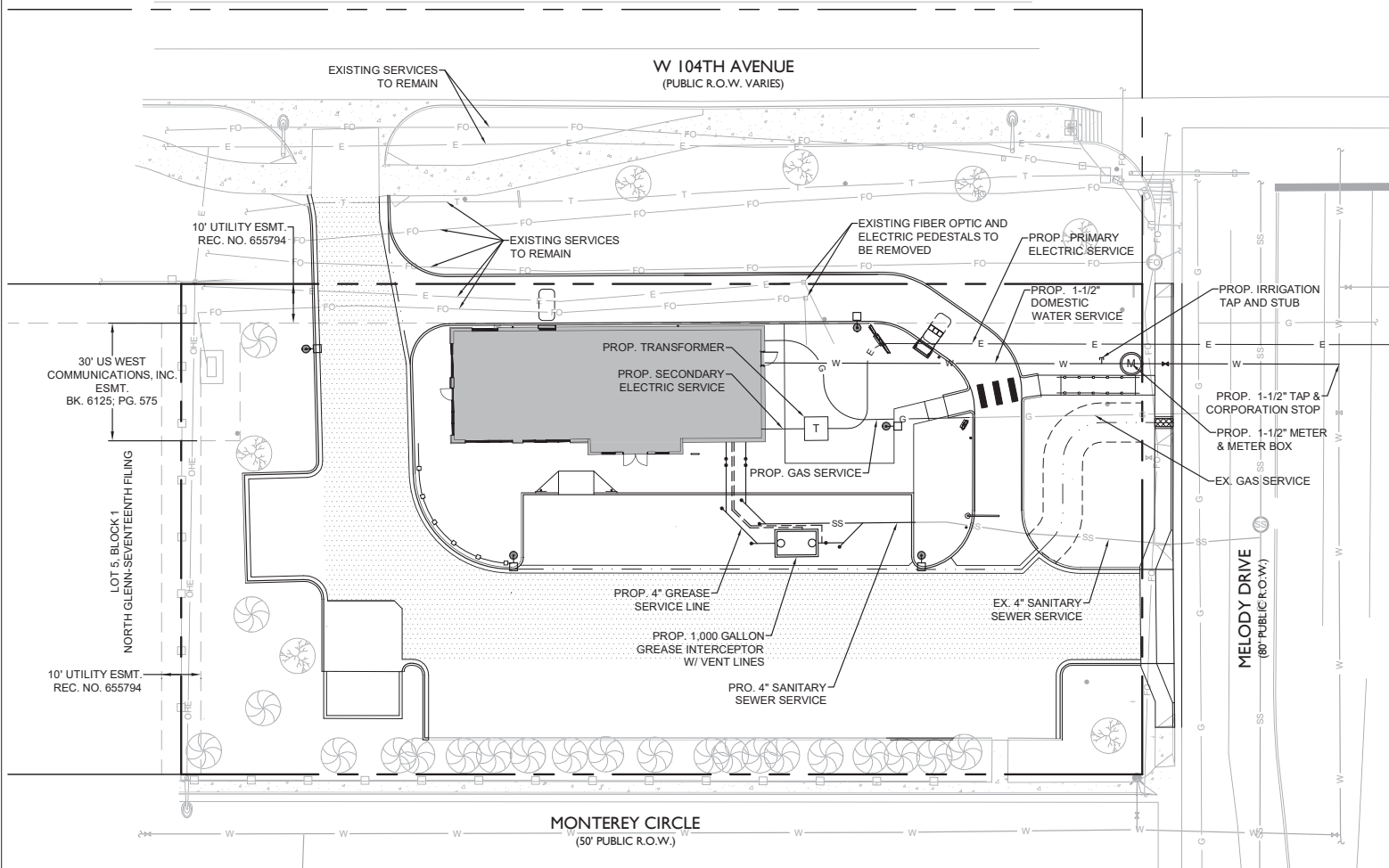
STARBUCKS AT 104TH & MELODY

LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com



PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
03/08/2017	1" = 20'
PROJECT MANAGER:	PROJECT NO.:
CMP	-
DRAWN BY:	DRAWING FILE:
RJL	-

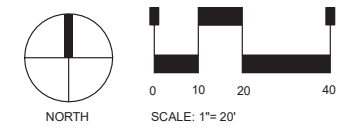
PROJECT:



STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

LEGEND

	R.O.W. / PROPERTY LINE		EXIST. WATER LINE
	ADJOINING PROPERTY		EXIST. GAS LINE
	EASEMENT LINE		EXIST. SAN. SEWER LINE
	EXIST. SIDEWALK		EXIST. ELECTRIC LINE
	EXIST. CURB & GUTTER		EXIST. TELECOMM. LINE
	PROP. CURB AND GUTTER		EXIST. FIBER OPTIC LINE
	PROP. SIDEWALK		PROP. WATER SERVICE
	PROP. CURB AND GUTTER		PROP. GAS SERVICE
	PROP. SIDEWALK		PROP. SAN. SEWER SERVICE
	CONCRETE PAVEMENT		PROP. ELECTRIC SERVICE
	EXIST. SAN. MANHOLE		WATER METER
	EXIST. WATER VALVE		TRANSFORMER



CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
TEL: (206) 318-1575

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
4 OF 10

STARBUCKS AT 104TH & MELODY

LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD



CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: 06-08-2017	BY: CP
DESCRIPTION: 3RD SUBMITTAL		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE: 03/08/2017	SCALE: 1" = 20'
PROJECT MANAGER: CP	PROJECT NO.:
DRAWN BY: CP	DRAWING FILE:

PROJECT:



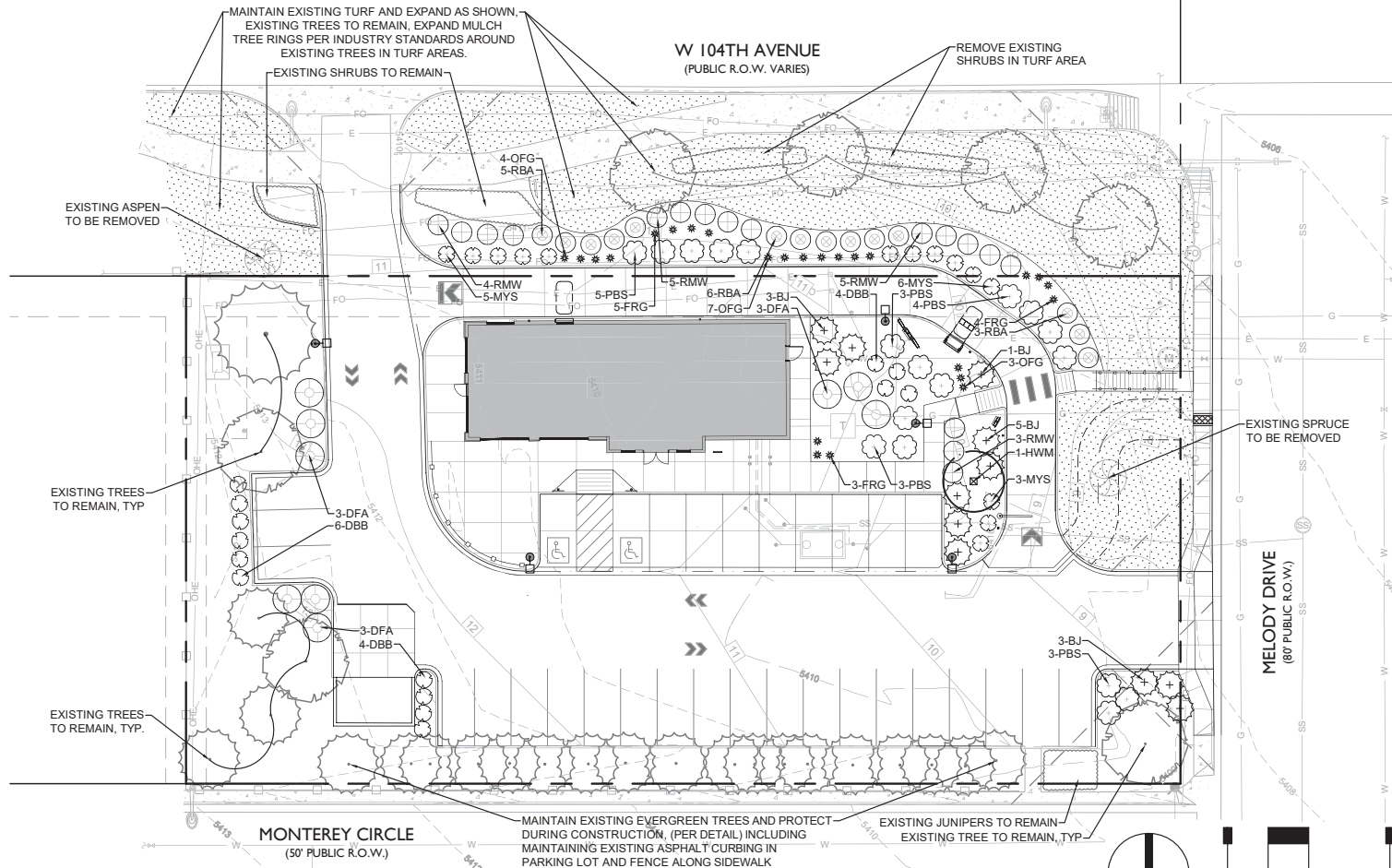
STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
5 OF 10



PLANT LIST

QTY	SYM.	COMMON NAME	SCIENTIFIC NAME	SIZE	QUALITY
DECIDUOUS ORNAMENTAL TREES					
1	HWM	HOT WINGS MAPLE	ACER TATARICUM 'GARANN'	1.5" CAL	MULTI-STEM
EVERGREEN SHRUBS					
12	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL	CONTAINER, 24" SPREAD
DECIDUOUS SHRUBS					
14	RBA	RED BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL	CONTAINER
14	DBB	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTA'	5 GAL	CONTAINER
9	DFA	ARNOLD DWARF FORSYTHIA	FORSYTHIA 'ARNOLD DWARF'	5 GAL	CONTAINER
18	PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI	5 GAL	CONTAINER
17	RMW	MEIDLAND® ROSE, ALBA	ROSA SP. 'MELCOUBLAN'	5 GAL	CONTAINER
14	MYS	MELLOW YELLOW SPIREA	SPIREA THUMBERGII 'MELLOW YELLOW'	5 GAL	CONTAINER
ORNAMENTAL GRASSES					
11	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL	WELL ESTABLISHED
14	OFG	ORIENTAL FOUNTAIN GRASS	PENNISETUM ORIENTALE	1 GAL	WELL ESTABLISHED

TREE REQUIREMENT DATA

STREET	REQUIRED	PROVIDED	EXISTING TREE DIAM.
W. 104TH AVENUE	245'-24"=221 LF, 6 CANOPY, 5 ORN.	4 CANOPY (EXIST)	64"
MELODY DRIVE	125'-24"=101 LF, 3 CANOPY, 2 ORN.	1 CANOPY (EXIST), 1 ORN (NEW)	0"
MONTEREY CIRCLE	245 LF, 6 CANOPY, 5 ORN.	20 EVERGREEN (EXIST)	182"
OTHER ON-SITE	N/A	2 CANOPY (EXIST), 4 EVERGREEN (EXIST)	120"
TOTAL	15 CANOPY, 12 ORN. = 27 TOTAL	7 CANOPY, 1 ORN, 24 EVERGREEN = 32 TOTAL	366"

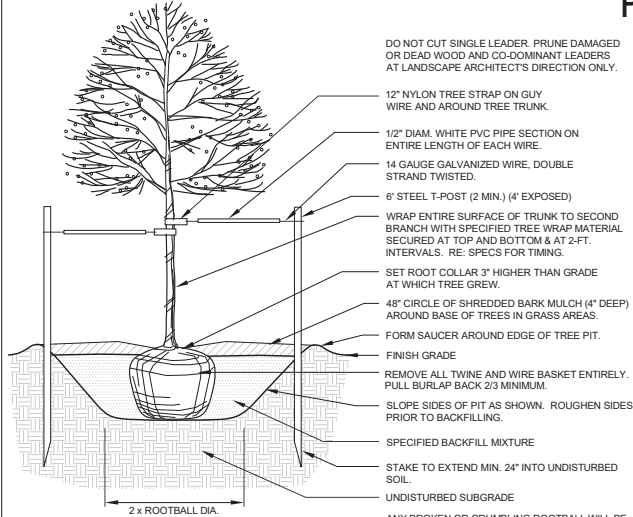
STARBUCKS AT 104TH & MELODY

LOT 1, BLOCK 1, 104TH AND MELODY SUBDIVISION FILING 1, CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD

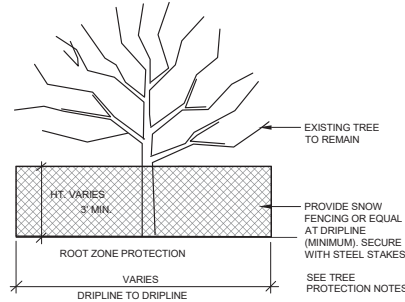


2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com



ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE WIRE WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.

REMOVE STAKING AFTER ONE YEAR.



EXISTING TREE PROTECTION

NOT TO SCALE

3

TREE PROTECTION NOTES

- CONTRACTORS SHALL COMPLY WITH THESE NOTES AND THE CITY OF NORTHGLENN STANDARDS FOR ALL EXISTING TREES TO REMAIN.
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE. CITY OF NORTHGLENN MAY STOP CONSTRUCTION IF TREE PRESERVATION MEASURES ARE NOT IN PLACE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- TREES CALLED OUT FOR PRESERVATION SHALL BE FENCED AT THE DRIPLINE. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES. PLACE 3 INCH BARK MULCH BENEATH DRIPLINES OF TREES TO BE PRESERVED.
- FENCING SHALL BE 3 FEET TALL SNOW FENCING WITH STEEL POSTS EMBEDDED IN THE GROUND.
- NO GRADING SHALL OCCUR WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- CONSTRUCTION VEHICLES OR MACHINERY MAY NOT PASS BETWEEN TWO OR MORE EXISTING TREES IDENTIFIED FOR PRESERVATION IF THEIR CANOPIES ARE WITHIN 10 FEET OF TOUCHING. ADDITIONAL FENCING MAY BE REQUIRED.
- THE CONTRACTOR IS REQUIRED TO HAVE AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) ON SITE IF SITE CONSTRUCTION EFFORTS REQUIRE REMOVAL OF EXISTING ROOTS OR BRANCH PRUNING.
- UNAUTHORIZED TREE REMOVAL OR DAMAGE IS SUBJECT TO REPLACEMENT EQUAL TO THE APPRAISED VALUE OF THE TREE LOST. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTATION OF ALL EXISTING TREES TO REMAIN, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. AN EARTH BERM MEASURING MINIMUM 6 FEET IN DIAMETER, AND 6 INCHES IN HEIGHT SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS A TEMPORARY WATERING BASIN DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE SPECIES REQUIREMENTS.

PRELIMINARY
NOT FOR CONSTRUCTION

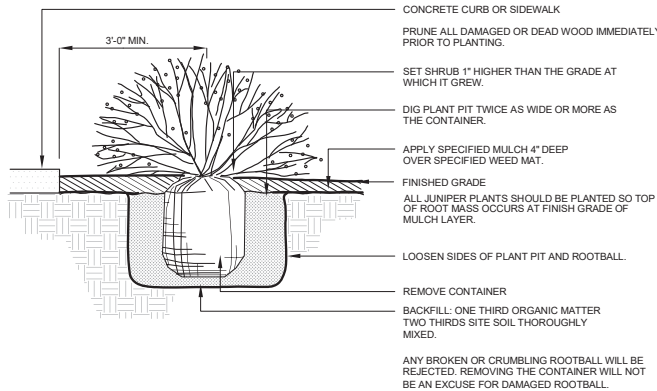
STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS			
NO. 1	DATE: 05-01-2017	BY: CP	DESCRIPTION: 2ND SUBMITTAL
NO. 2	DATE: 06-08-2017	BY: CP	DESCRIPTION: 3RD SUBMITTAL
NO. 3	DATE: -	BY: -	DESCRIPTION: -
NO. 4	DATE: -	BY: -	DESCRIPTION: -
NO. 5	DATE: -	BY: -	DESCRIPTION: -
NO. 6	DATE: -	BY: -	DESCRIPTION: -

SHADE TREE PLANTING

NOT TO SCALE

1



SHRUB PLANTING

NOT TO SCALE

2

LANDSCAPE NOTES

- NO TREE OR SHRUB MORE THAN 30 INCHES HIGHER THAN THE TOP OF CURB SHALL BE PLANTED NEITHER IN ANY 50 FOOT VISION TRIANGLE AT ANY STREET INTERSECTION NOR IN ANY 25 FOOT VISION TRIANGLE AT THE INTERSECTION OF ANY DRIVEWAY AND PUBLIC STREET.
- NO TREE SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE.
- COORDINATION
THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE
A. FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE LA SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE LA SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
B. MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS
LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING
A. CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
B. CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION
OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
- SOIL PREPARATION
SOD AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. AMEND SOIL WITH FOUR CUBIC YARDS PER THOUSAND SQUARE FEET OF ORGANIC COMPOST. COMPOST TO HAVE A C:N RATIO BETWEEN 15:1 AND 30:1, LESS THAN 6 mg/kg cadmium SALT CONTENT, A pH BETWEEN 6.5 AND 8.5, AND OVER 30% ORGANIC MATTER. APPLY 5 LBS. OF 20-10-5 GRANULAR FERTILIZER PER THOUSAND SQ. FEET. ROTOTILL AMENDMENTS AND TOPSOIL TO A DEPTH OF SIX INCHES. VERIFY SOIL PREP SPECIFICATIONS WITH WATER PROVIDER STANDARDS. PROVIDE EVIDENCE OF APPLICATION AS REQUIRED.
- SOODING
SOD SHALL BE "RTF" FESCUE BY GREEN VALLEY TURF (GVT) (303-798-6764). SOIL PREP., INSTALL AND WATER ACCORDING TO GVT GUIDELINES.
- PLANTING
TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- EDGING
INSTALL 4" ROLL-TOP RYERSON STEEL EDGING (14 GAUGE WITH GREEN FINISH) OR EQUAL. INSTALL WITH STAKES AND SPLICERS PER MANUFACTURERS RECOMMENDATIONS. INSTALL BETWEEN ALL SOD OR SEEDED AREAS AND MULCHED AREAS.
- MULCH
INSTALL 1" DIAMETER WESTERN RED CEDAR MULCH A MINIMUM OF 3-4" DEEP (NO FABRIC) UNLESS OTHERWISE SHOWN. RIVER ROCK TO BE WASHED, ROUNDED, AND 1 1/2" IN SIZE PLACED OVER DEWITT PRO 5 FILTER FABRIC, 3" DEEP. (SUBMIT SAMPLES)
- MAINTENANCE
THE PROPERTY OWNER OF RECORD, THE OWNERS AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
- IRRIGATION
ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM TO INCLUDE IRRIGATION TO ALL PROPOSED PLANT MATERIAL. TURF AREAS LESS THAN 25' IN WIDTH SHALL BE IRRIGATED WITH A POP-UP SPRAY SYSTEM AND ALL TURF AREAS GREATER THAN 25' SHALL HAVE A ROTARY POP-UP HEAD SYSTEM PROVIDING HEAD TO HEAD COVERAGE. ALL SHRUB BEDS SHALL BE IRRIGATED USING A DRIP IRRIGATION SYSTEM, ZONED SEPARATE FROM TURF AREAS.

DATE:	SCALE:
03/08/2017	N/A
PROJECT MANAGER:	PROJECT NO.:
CMP	-
DRAWN BY:	DRAWING FILE:
CMP	-

PROJECT:



STARBUCKS COFFEE COMPANY
550 W. 104TH AVE.
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:
LANDSCAPE DETAILS

SHEET NUMBER:
6 OF 10

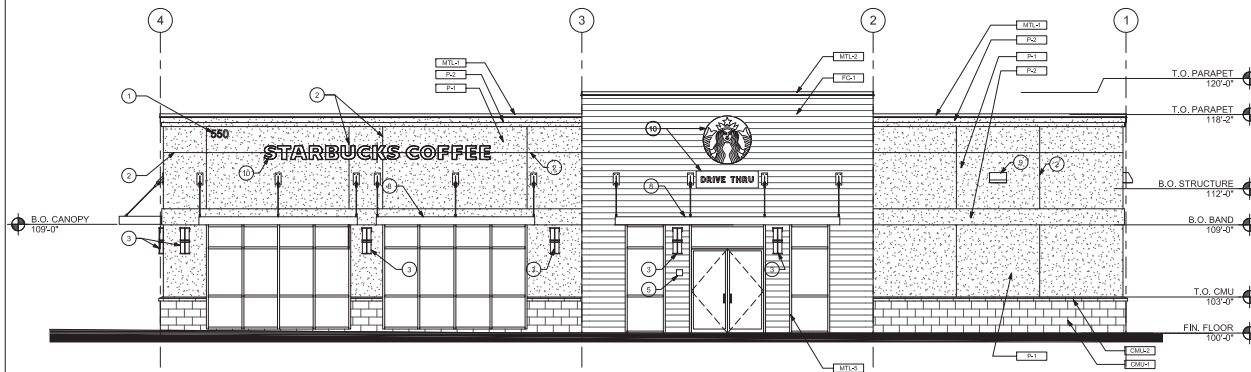
STARBUCKS AT 104TH & MELODY

LOTS 2, 3, AND 4, BLOCK 1, NORTH GLENN SEVENTEENTH FILING, IN THE NW ¼ OF SECTION 15, T.2S., R68W, 6TH P.M. CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY AND FINAL PUD

Sterling Design Associates, llc
CIVIL ENGINEERING - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com



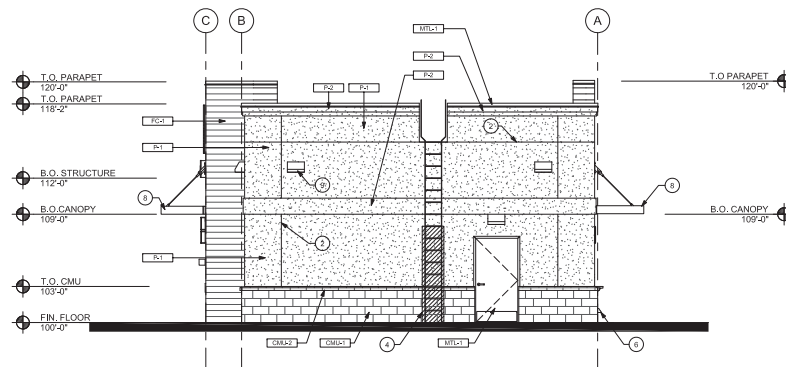
SHEET NOTES

1. ADDRESS SIGN FOR REFERENCE ONLY
2. EIFS CONTROL JOINT, TYP.
3. EXTERIOR WALL SCENCE
4. 8'-0" CAGE COVER LADDER
5. KNOX BOX, MOUNT AT 6'-0" AFF
6. OVERFLOW DRAIN OUTLET
7. NOT USED
8. METAL AWNING
9. EXTERIOR WALL PACK LIGHT
10. SIGN AREA FOR REFERENCE ONLY. ALL EXTERIOR SIGNAGE TO BE REVIEWED AND DESIGNED UNDER A SEPARATE PERMIT

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUES & REVISIONS		
NO. 1	DATE: 05-01-2017	BY: CMP
DESCRIPTION: 2ND SUBMITTAL		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

1 SOUTH ELEVATION
Scale: NO SCALE



2 EAST ELEVATION
Scale: NO SCALE

EXTERIOR FINISH SCHEDULE			
NO.	MATERIAL	FINISH/STYLE	COLOR
CMU-1	CMU VENEER	MUTUAL MATERIALS - 4" SPLIT FACE CMU VENEER	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-2	CMU CAP	CMU CAP	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-3	CMU	MUTUAL MATERIALS - 8" SPLIT FACE CMU	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-4	CMU CAP	SLOPED CMU CAP 10X4X16	TO MATCH MUTUAL MATERIALS "STEEL"
FC-1	HARDIE REVEAL SIDING	PAINTED	SHERWIN WILLIAMS - SW 7020 "BLACK FOX"
G-1	GROUT		LATICRETE 35 "MOCHA"
MTL-1	METAL COPING	PRE-FINISHED	TO MATCH SHERWIN WILLIAMS - SW 7018 "DOVETAIL"
MTL-2	METAL COPING	PRE-FINISHED	TO MATCH SHERWIN WILLIAMS - SW 7020 "BLACK FOX"
MTL-3	METAL CANOPY	ANODIZED	DARK BRONZE
MTL-4	METAL SUNSHADE AWNING	ANODIZED	DARK BRONZE
MTL-5	ALUMNUM STOREFRONT SYSTEM	ANODIZED	DARK BRONZE
MTL-6	HOLLOW METAL DOOR	PAINT	SHERWIN WILLIAMS - SSW 7018 "DOVETAIL"
MTL-7	METAL TRASH ENCLOSURE GATE & POST	PAINT	MATTE BLACK
P-1	1 1/2" EIFS W INTEGRAL COLOR FINISH COAT	MEDIUM SAND FLOAT	SHERWIN WILLIAMS - SW 7016 "MINDFUL GRAY"
P-2	1 1/2" EIFS W INTEGRAL COLOR FINISH COAT	MEDIUM SAND FLOAT	SHERWIN WILLIAMS - SW 7018 "DOVETAIL"

DATE: 03/08/2017
 SCALE:
 PROJECT MANAGER:
 PROJECT NO.:
 DRAWN BY:
 DRAWING FILE:

PROJECT:

STARBUCKS COFFEE COMPANY
 550 W. 104TH AVE.
 NORTHGLENN, CO 80234

CLIENT:
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134
 TEL: (206) 318-1575

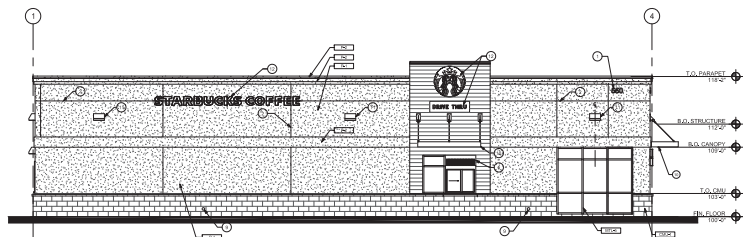
SHEET TITLE:
ARCHITECTURAL ELEVATIONS
 SHEET NUMBER:
7 OF 10

STARBUCKS AT 104TH & MELODY

LOTS 2, 3, AND 4, BLOCK I, NORTH GLENN SEVENTEENTH FILING, IN THE NW 1/4 OF SECTION 15, T.2S., R68W, 6TH P.M. CITY OF NORTHGLENN, COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD

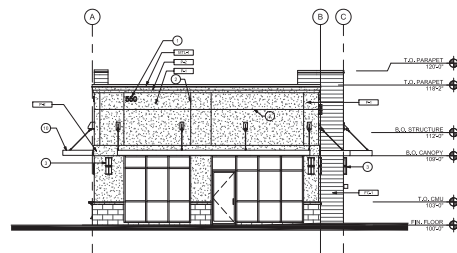
Sterling Design Associates, llc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com



1 NORTH ELEVATION

Scale: NO SCALE



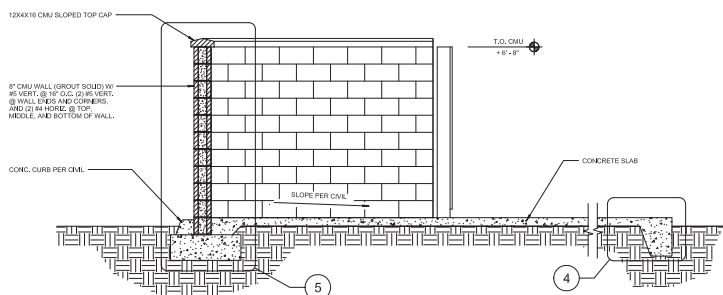
2 WEST ELEVATION

Scale: NO SCALE

SHEET NOTES

1. ADDRESS SIGN FOR REFERENCE ONLY
2. EIFS CONTROL JOINT, TYP.
3. EXTERIOR WALL SCOTCH
4. NOT USED
5. AIR CURTAIN ABOVE DRIVE-THRU WINDOW
6. NOT USED
7. NOT USED
8. NOT USED
9. SECONDARY ROOF DRAIN OUTLET
10. METAL CANOPY
11. EXTERIOR WALL PACK LIGHT
12. SIGN AREA FOR REFERENCE ONLY. ALL EXTERIOR SIGNAGE TO BE REVIEWED AND DESIGNED UNDER A SEPARATE PERMIT

**PRELIMINARY
NOT FOR CONSTRUCTION**



3 TRASH ENCLOSURE SECTION

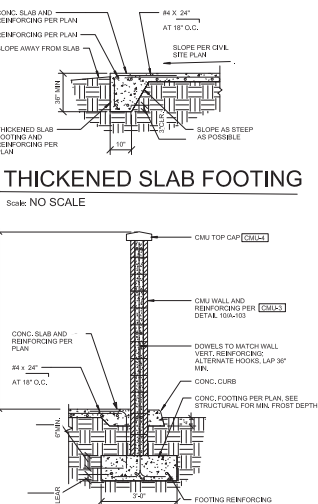
Scale: NO SCALE

EXTERIOR FINISH SCHEDULE			
NO.	MATERIAL	FINISH/STYLE	COLOR
CMU-1	CMU VENEER	MUTUAL MATERIALS - 4" SPLIT FACE CMU VENEER	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-2	CMU CAP	CMU CAP	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-3	CMU	MUTUAL MATERIALS - 8" SPLIT FACE CMU	TO MATCH MUTUAL MATERIALS "STEEL"
CMU-4	CMU CAP	SLOPED CMU CAP 10X4X16	TO MATCH MUTUAL MATERIALS "STEEL"
FC-1	HARDIE REVEAL SIDING	PAINTED	SHERWIN WILLIAMS - SW 7020 "BLACK FOX"
G-1	GROUT		LATICRETE 35 "MOCHA"
MTL-1	METAL COPING	PRE-FINISHED	TO MATCH SHERWIN WILLIAMS - SW 7018 "DOVETAIL"
MTL-2	METAL COPING	PRE-FINISHED	TO MATCH SHERWIN WILLIAMS - SW 7020 "BLACK FOX"
MTL-3	METAL CANOPY	ANODIZED	DARK BRONZE
MTL-4	METAL SUNSHADE AWNING	ANODIZED	DARK BRONZE
MTL-5	ALUMINUM STOREFRONT SYSTEM	ANODIZED	DARK BRONZE
MTL-6	HOLLOW METAL DOOR	PAINT	SHERWIN WILLIAMS - SSW 7018 "DOVETAIL"
MTL-7	METAL TRASH ENCLOSURE GATE & POST	PAINT	MATTE BLACK
P-1	1 1/2" EIFS W/ INTEGRAL COLOR FINISH COAT	MEDIUM SAND FLOAT	SHERWIN WILLIAMS - SW 7016 "MINDFUL GRAY"
P-2	1 1/2" EIFS W/ INTEGRAL COLOR FINISH COAT	MEDIUM SAND FLOAT	SHERWIN WILLIAMS - SW 7018 "DOVETAIL"

ISSUES & REVISIONS

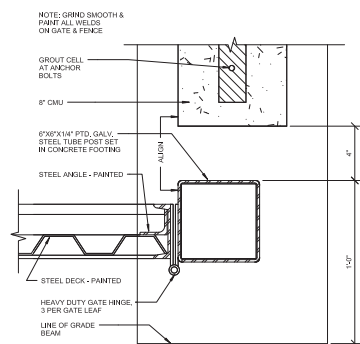
NO.	DATE:	BY:
1	05-01-2017	CMP
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

DESCRIPTION: 2ND SUBMITTAL



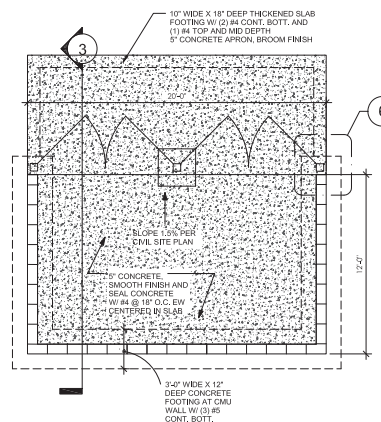
4 THICKENED SLAB FOOTING

Scale: NO SCALE



6 GATE POST DETAIL

Scale: NO SCALE



7 TRASH ENCLOSURE PLAN

Scale: NO SCALE

DATE: 03/08/2017
 SCALE:
 PROJECT MANAGER:
 PROJECT NO.:
 DRAWN BY:
 DRAWING FILE:

PROJECT:

STARBUCKS COFFEE COMPANY
 550 W. 104TH AVE.
 NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134

TEL: (206) 318-1575

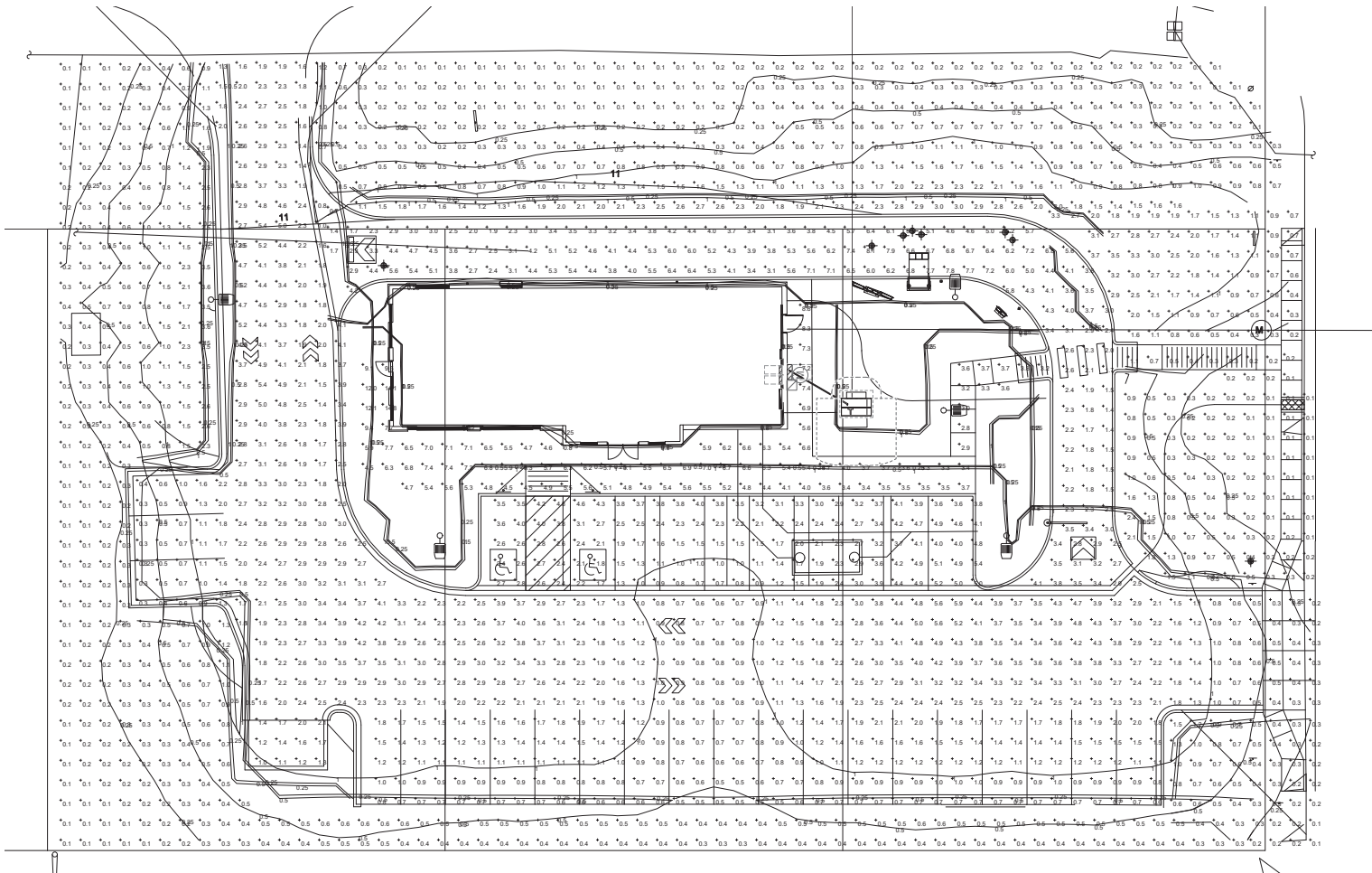
SHEET TITLE:
ARCHITECTURAL ELEVATIONS

SHEET NUMBER:

STARBUCKS COFFEE COMPANY
LOTS 2, 3, AND 4, BLOCK 1, NORTH GLENN SEVENTEENTH FILING,
COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC



ISSUES & REVISIONS	
NO. 1	DATE: - BY: -
DESCRIPTION: -	
NO. 2	DATE: - BY: -
DESCRIPTION: -	
NO. 3	DATE: - BY: -
DESCRIPTION: -	
NO. 4	DATE: - BY: -
DESCRIPTION: -	
NO. 5	DATE: - BY: -
DESCRIPTION: -	
NO. 6	DATE: - BY: -
DESCRIPTION: -	

DATE:	SCALE:
03/08/2017	N/A
PROJECT MANAGER:	PROJECT NO.:
SCL	-
DRAWN BY:	DRAWING FILE:
SCL	-

PROJECT:



STARBUCKS COFFEE COMPANY
550 W. 104TH BLVD
NORTHGLENN, CO 80234

CLIENT:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134

TEL: (206) 318-1575

SHEET TITLE:
SITE LIGHTING CALCULATIONS

SHEET NUMBER:
9 OF 10

1 S
 SCALE: 1/16" = 1'-0"

STARBUCKS COFFEE COMPANY
 LOTS 2, 3, AND 4, BLOCK 1, NORTH GLENN SEVENTEENTH FILING,
 COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY AND FINAL PUD



2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	
NO. 1	DATE: BY:
DESCRIPTION:	
NO. 2	DATE: BY:
DESCRIPTION:	
NO. 3	DATE: BY:
DESCRIPTION:	
NO. 4	DATE: BY:
DESCRIPTION:	
NO. 5	DATE: BY:
DESCRIPTION:	
NO. 6	DATE: BY:
DESCRIPTION:	

DATE:	SCALE:
03/08/2017	N/A
PROJECT MANAGER:	PROJECT NO.:
SCL	-
DRAWN BY:	DRAWING FILE:
SCL	-

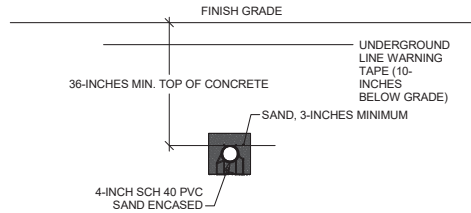
PROJECT:

STARBUCKS COFFEE COMPANY
 550 W. 104TH BLVD
 NORTHGLENN, CO 80234

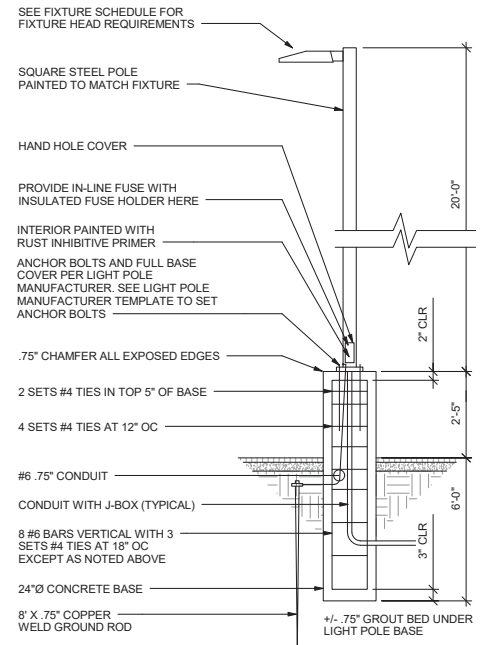
CLIENT:
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WA 98134
 TEL: (206) 318-1575

SHEET TITLE:
SITE LIGHTING DETAILS

SHEET NUMBER:
10 OF 10



2 UNDERGROUND CONDUIT DETAIL
 SCALE: NTS



1 PARKING LOT LIGHT POLE BASE DETAIL
 SCALE: NTS

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.6 fc	6.8 fc	0.3 fc	22.7:1	8.7:1
Calc Zone #2	+	1.1 fc	5.1 fc	0.1 fc	51.0:1	11.0:1
Calc Zone #3	+	0.8 fc	3.6 fc	0.1 fc	36.0:1	8.0:1
Calc Zone #4	+	4.9 fc	17.7 fc	0.8 fc	22.1:1	6.1:1
Calc Zone #5	+	3.3 fc	7.3 fc	0.7 fc	10.4:1	4.7:1

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⏏	T2	4	BEACON PRODUCTS	VP-L-80NB-180-T2	VPER 180W-T2	80 -NICHA 5K LEDS	1	VP-L-80NB-180-T2.ies	16175	0.75	180
⏏	T4	2		80NB-180-T4-5K		80 NICHA LEDS	1	80NB-180-T4.ies	16887	0.75	180
⏏	OC-42	12	Lithonia Lighting	WST 2/42TRT MD	ARCHITECTURAL SCONCE WITH MEDIUM THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS MEETS THE NIGHTTIME FRIENDLY CRITERIA	TWO 42-WATT TRIPLE TUBE COMPACT FLUORESCENT, HORIZONTAL POSITION.	2	WST_2_42TRT_M D.ies	3200	0.75	93
⏏	T3	0	BEACON LIGHTING	80NB-180-T3-5K		80 NICHA LEDS	1	80NB-180-T3.ies	17126	0.75	180
⏏	T5R	0	BEACON PRODUCTS	2198 BOLEDS AT 700 mA WITH TYPE TSR LENS	80NB-180-TSR	80 NICHA LEDS	1	80NB-180-TSR.ies	18107	0.75	180
⏏	T2G	0	COOPER LIGHTING - HIGRAW-EDISON	GLEON-AA-03-LED-E1-T2	GALLEON LED AREA LUMINAIRE (3) LIGHTSQUARES WITH 14 LEBS EACH AND TYPE II OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONDIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		42	GLEON-AA-03-LED-E1-T2.ies	292	0.75	154
⏏	T3G	0	COOPER LIGHTING - HIGRAW-EDISON	GLEON-AA-03-LED-E1-T3	GALLEON LED AREA LUMINAIRE (3) LIGHTSQUARES WITH 14 LEBS EACH AND TYPE II OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONDIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		42	GLEON-AA-03-LED-E1-T3.ies	290	0.75	154
⏏	T4G	0	COOPER LIGHTING - HIGRAW-EDISON	GLEON-AA-03-LED-E1-T4	GALLEON LED AREA LUMINAIRE (3) LIGHTSQUARES WITH 14 LEBS EACH AND TYPE II OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONDIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		42	GLEON-AA-03-LED-E1-T4.ies	279	0.75	154